

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: April 16, 2024

SUBJECT: Major Site Plan Review Mountain Home Dunkin'

PRESENTER: Matt Champion, Zoning Administrator

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Retail Sales & Service SR 7.14 & Drive-Thru Window SR 2.2

Suggested Motion: I move that the TRC approve/deny the major site plan for Mountain Home Dunkin'



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** Rick Moore
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PINs:** 9651-66-4259
- 1.4. **Size:** 1.87 acres +/-
- 1.5. **Location:** The subject area is located at 5420 Asheville Hwy (US25).
- 1.6. **Supplemental Requirements:**

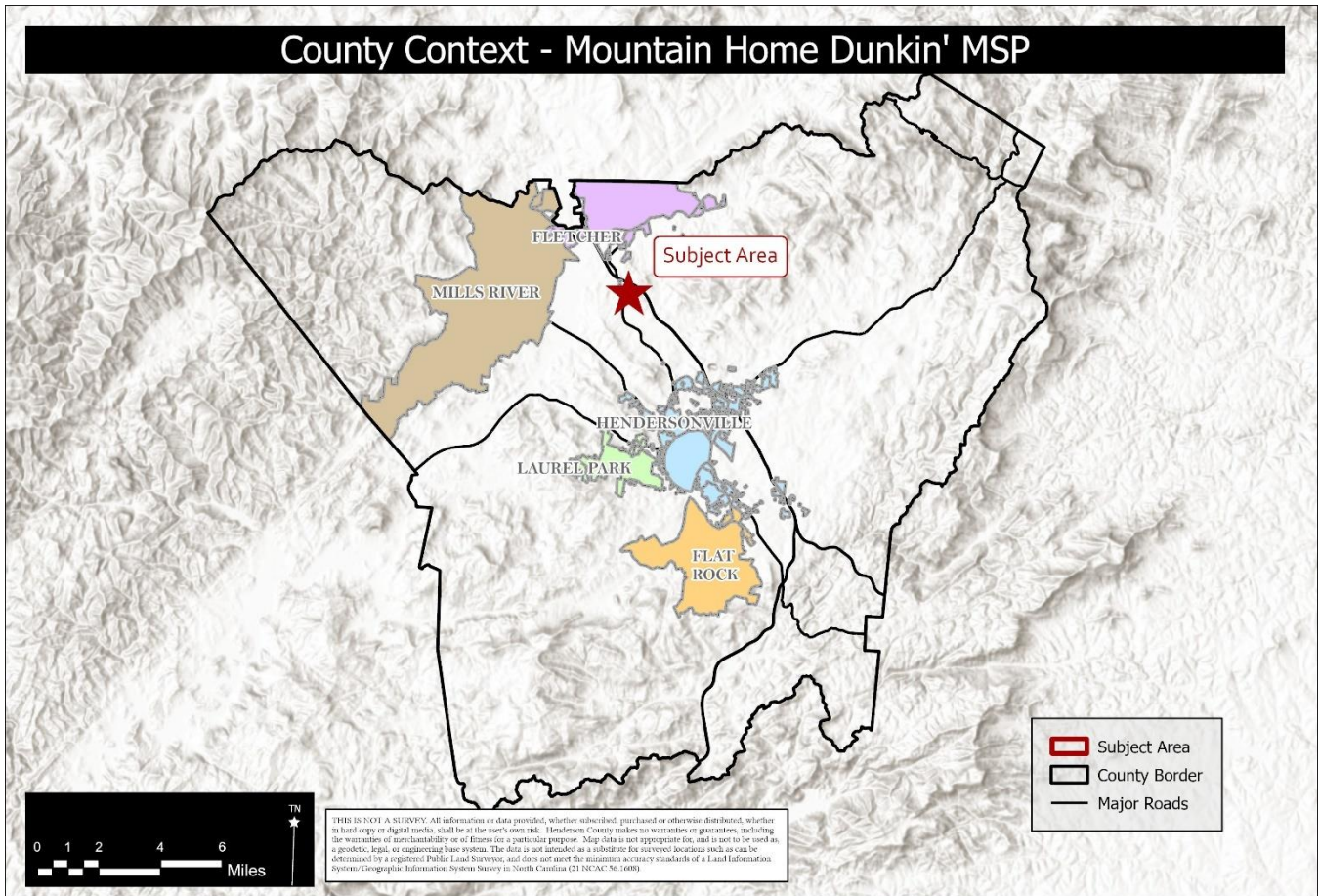
SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (of *Gross Floor Area*)

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

SR 2.2. Drive-Thru Window

- (1) Maximum Number Permitted Per Lot. Two (2) per business, three (3) per restaurant and/or five (5) per financial institution.
- (2) Structure Orientation. The drive-thru window, any communications equipment and menu *signs* shall be located so as not to be seen from any adjacent *residential zoning district* property.
- (3) Stacking Lanes. Stacking lanes shall:
 - a. Be a minimum of 100 feet in length (where window access is provided directly from a *road* of low volume);
 - b. Be distinctly marked (striping, pavement markings, parking islands, etc.);
 - c. Be separate from a passage lane (located to the outer edge of the stacking lane); and
 - d. Not placed within 75 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*).
- (4) Passage Lanes. Passage lanes shall be provided to the outer edge of the stacking lane to ensure the adequate flow of traffic on the site.
- (5) Landscaping Standards. Drive-thru windows, stacking lanes and circulation areas shall be treated as components of on-site parking for the purposes of landscaping requirements.

Map A: County Context



Property Owner/Applicant: Rick Moore
Assessed Acreage: 1.87 Acres PIN: 9651-66-4259
Current Zoning: Regional Commercial (RC)



2. History & Characteristics:

- 2.1. **Current Property Owners:** Rick Moore purchased the property on October 6, 2021.
- 2.2. **Former Property Owners:** Scott McKinley Jarvis Revocable Trust was listed as the former property owner.
- 2.3. **Natural Resources:**
 - 2.3.1. **Streams:** The subject area does not contain any surface water sources. The subject area is within proximity to several large flood hazard areas on the other side of Asheville Hwy.
 - 2.3.2. **Slopes:** The subject area only contains slopes between 0% to 16%.

Map B: Aerial Map



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 Current Zoning: Regional Commercial (RC)



3. Current Conditions

2.1 Current Use: The subject area currently contains an approximately 1,488SQFT United States Post Office and a 2,492SQFT former retail structure. The USPS structure is still currently in use and operates under a lease agreement. The vacant retail structure is no longer in use and is listed as unsound on the Building Summary report. The rest of the subject is vacant with minimal improvements.

2.2 Adjacent Area Uses: The surrounding properties consist of commercial and industrial uses. Some residential uses are found east of the subject area along S. and N. Old Asheville Rd. A self-storage facility is located southeast of the subject area.

4. Current Zoning

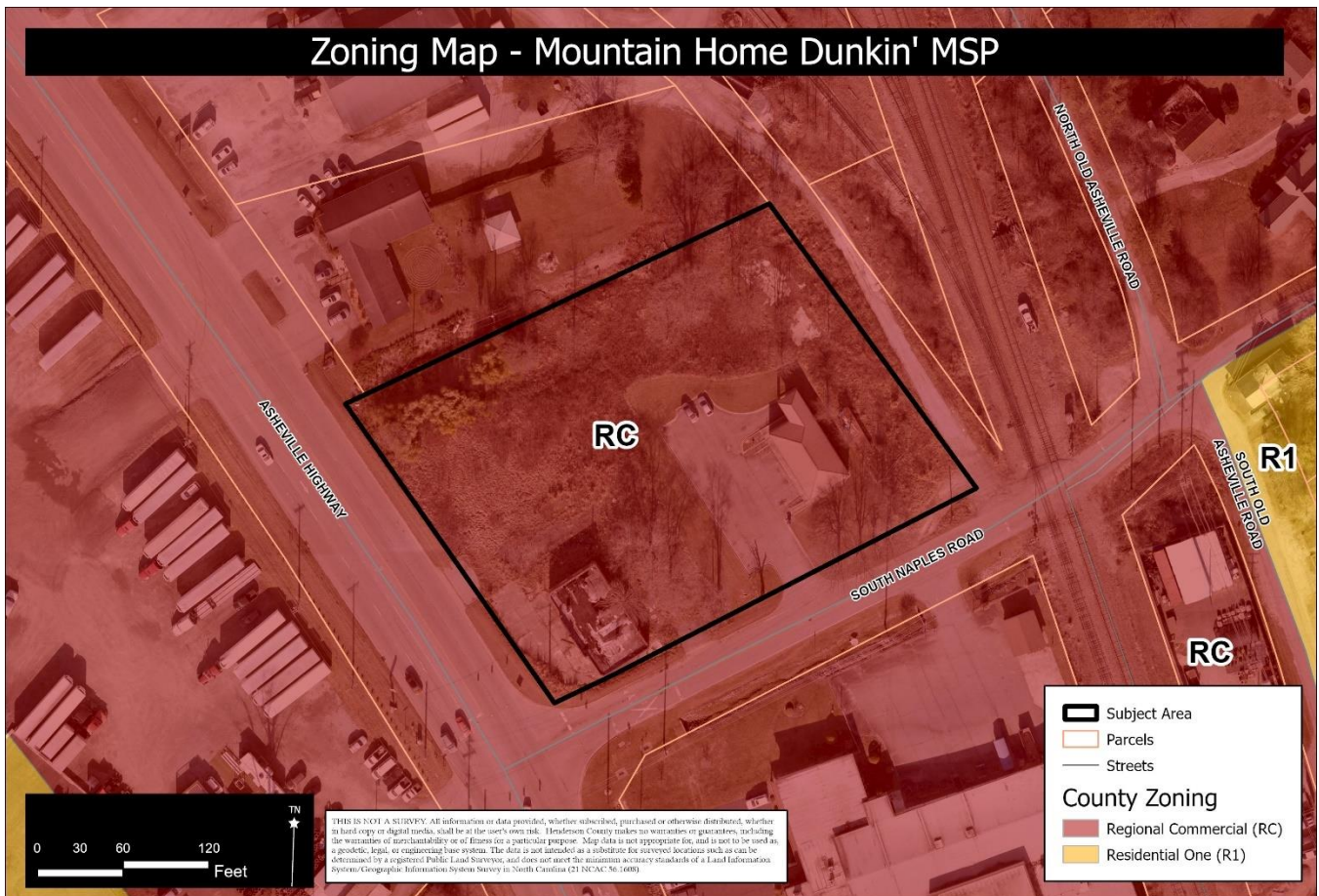
4.1. **Subject Area Zoning:** The subject area is currently zoned Regional Commercial (RC) by Henderson County.

4.2. **Adjacent Area Zoning:** The subject area is surrounded by properties that are also zoned Regional Commercial (RC).

4.2.1. Regional Commercial (RC): “The purpose of the Regional Commercial (RC) zoning district is to foster orderly growth where the principal use of land is commercial. The

intent of this district is to allow for commercial development consistent with the recommendations of the Comprehensive Plan. In accordance with the Comprehensive Plan, the district will allow for and provide commercial development that: (1) includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on the local, community, and regional level; (2) is directed largely to Community Service Centers as defined in the Comprehensive Plan; (3) is compatible with adjacent development and the surrounding community; and (4) will minimize congestion and sprawl. This general use district is meant to be utilized in areas designated as Urban (USA) in the Comprehensive Plan.” Residential density in Regional Commercial is sixteen (16) units per acre with a maximum impervious surface allowance of 80% (LDC §42-28).

Map C: Current Zoning

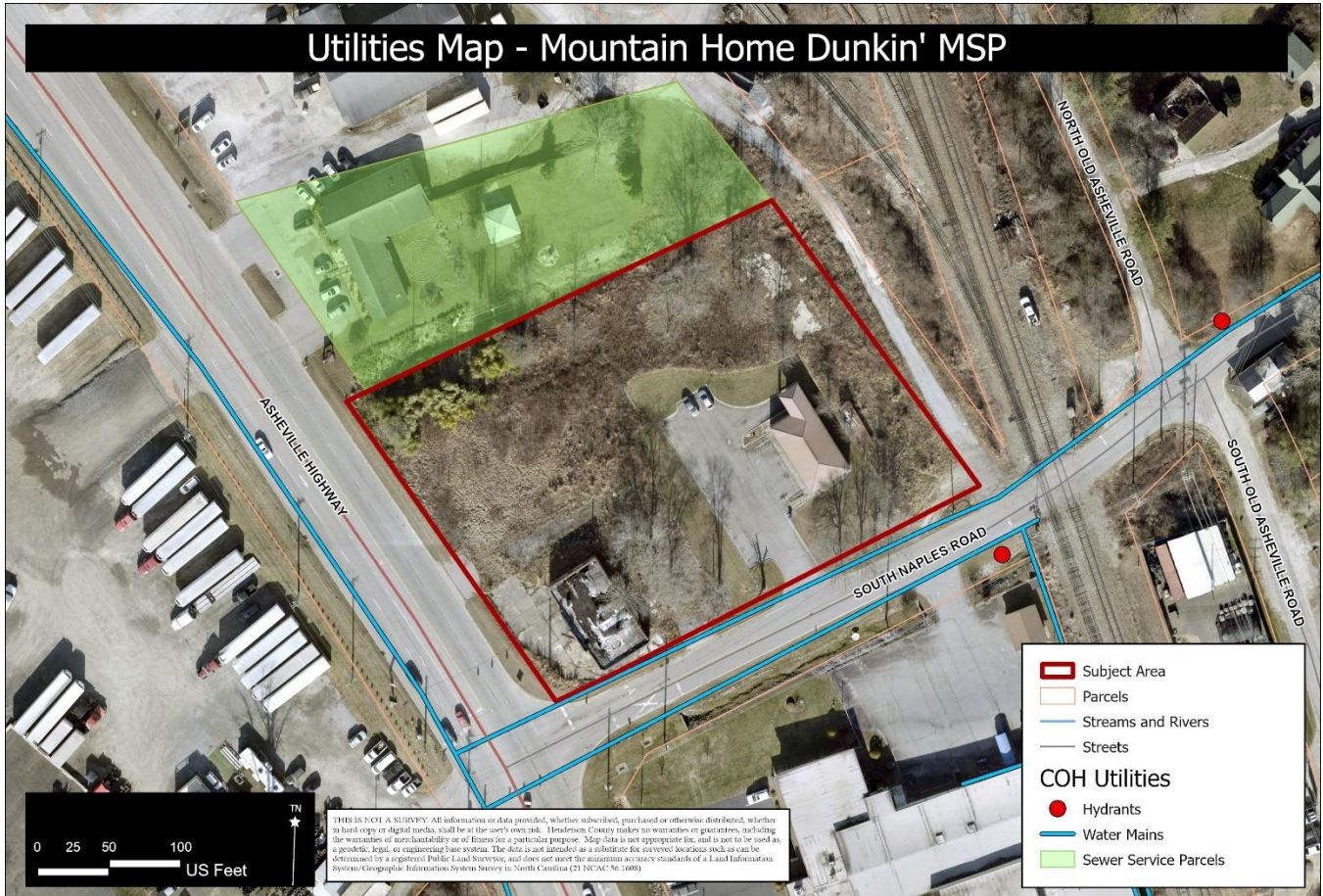


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5. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

Map D: Utilities Map



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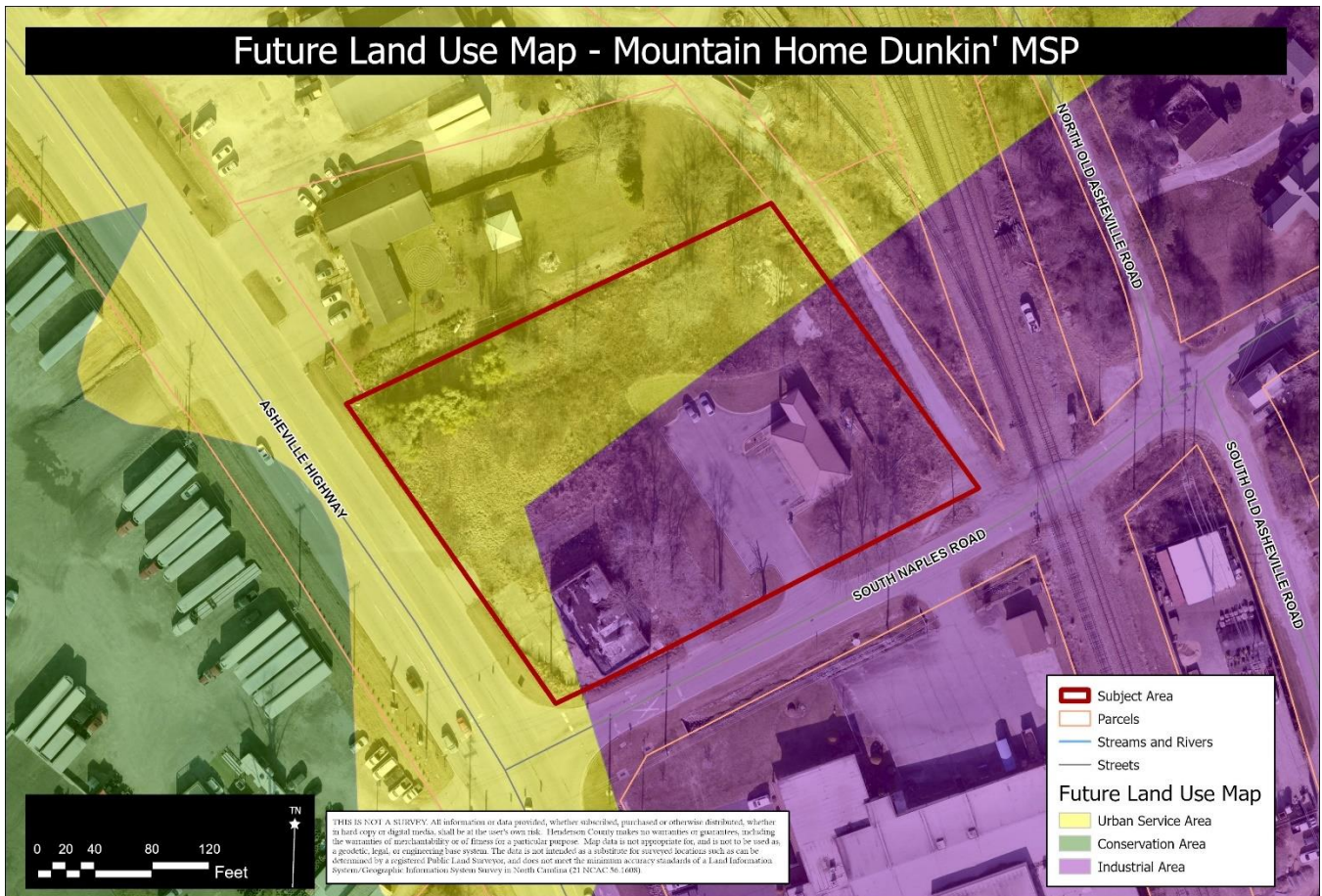


6. **Water and Sewer** The applicant is proposing connection to the City of Hendersonville public water and MSD public sewer to serve this property.

Public Water: Yes

Public Sewer: Yes

Map E: CCP Future Land Use Map



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7. Staff Comments

Henderson County Comprehensive Plan (CCP): The CCP Future Land Use Map places the Subject Area in the Urban Services Area and Industrial Area classification.

- a. **Urban Services Area:** “The USA will contain virtually all existing and future industrial development and will be the focus of future economic development activities. Industrial development will exist within predefined zoning districts whose standards and configuration are in keeping with the surrounding community.” (CCP, Pg. 133)
- b. **Industrial:** Most industrial areas should lie within the Urban Services Area, and in other areas on a very limited basis. Most industrial uses should be segregated from other uses with the exception of Regional Commercial Uses.

8. **Proposal** The applicant is proposing tear down the vacant retail structure and redevelop a portion of the subject area to construct a new 2,230SQFT structure for retail sales and service. The new retail space will a total of 16 parking spaces including 1 ADA van accessible parking space. The major site plan shows a semi-truck parking area for deliveries. The proposed structure includes 1 drive-thru window with enough stacking to accommodate 10 personal vehicles. The major site plan shows 3 total driveway cuts to serve the proposed structure. 2 driveway cuts are proposed as full

access off S. Naples Rd and Asheville Hwy. A second driveway cut is proposed off S. Naples Rd that is proposed as directional. The major site plan shows a total area of disturbance 1.42 acres and post development impervious surfaces at 55%. Also, the major site shows 5' wide sidewalks bordering the subject area and a proposed dumpster location.

9. **Landscaping & Buffering Requirements** The subject area is not required to buffer the perimeter of the property since the surrounding properties all fall within the Regional Commercial (RC) zoning district. The subject area will have to provide a landscaping plan for the following elements:
- 9.1. **Parking area landscaping** is required for new parking areas with 10 or more dedicated parking spaces. The parking area standards requires 1 small or large deciduous tree for every 5 parking spaces. Additionally, when no buffer is required along the property lines and parking is proposed within 20' of a property line, a planting strip is required. The planting strip is a minimum of 10' in width and shall contain 2 small or large deciduous or evergreen trees per 100 linear feet.
 - 9.2. **Dumpster screening** is required for a proposed solid waste collection facility. The dumpster will require a Screen Class One (1) Two (2) or Three (3) that are outlined in Section 42-181 Screen Classifications.

10. **Oblique Aerial Photos**

View from East



View from North



View from South



View from West



01/05/2024

HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION

CONTACT INFORMATION

Property Owner:

Name: Rick Moore Phone: (828) 243-1846
Complete Address: 103 McDowell Rd., Mills River, NC 28759

Applicant:

Name: Hunter Earney Phone: (828) 676-2011
Complete Address: 7 Glenn Bridge Rd. Suite H, Arden, NC 28704

Agent:

Name: _____ Phone: _____
Complete Address: _____
Agent Form (Circle One): Yes No

Plan Preparer:

Name: Hunter Earney Phone: (828) 676-2011
Complete Address: 7 Glenn Bridge Rd. Suite H, Arden, NC 28704

GENERAL INFORMATION

Date of Application: _____
Site Plan Attached (Circle One) Yes No

PARCEL INFORMATION

PIN: 9651664259 Tract Size (Acres): 1.98
Zoning District: RC Fire District: _____
Supplemental Requirement#: _____ Watershed: none
Permitted by Right _____ Floodplain: none
Special Use Permit _____

Location / Property to be developed: Proposed Dunkin Donuts : ± 2,230 SF

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

APPLICATION IDENTIFICATION

N.C. DEPARTMENT OF TRANSPORTATION

Driveway Permit No. _____ Date of Application _____

County: Henderson

Development Name: Mountain Home Dunkin

**STREET AND DRIVEWAY ACCESS
PERMIT APPLICATION**

LOCATION OF PROPERTY:

Route/Road: US 25 (Asheville Hwy)

Exact Distance 1,118 Miles Feet N S E W

From the Intersection of Route No. SR 1534 (Woods Rd.) and Route No. US 25 (Asheville Hwy) Toward SR 1534 (S. Naples Rd.)

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other
 Property: is is not within Henderson County City-Zoning Area.

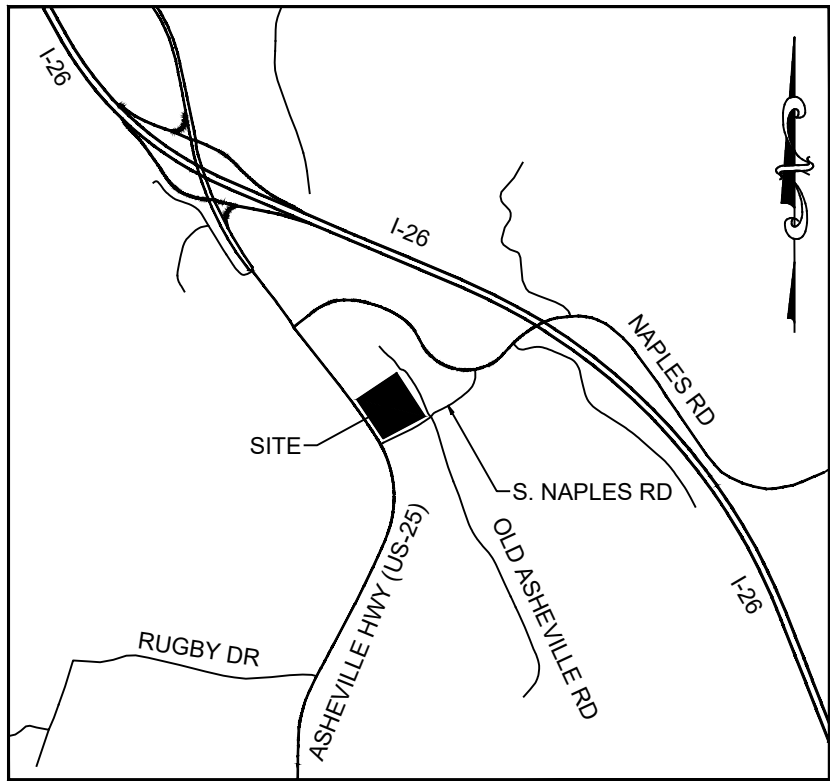
AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

MOUNTAIN HOME DUNKIN' DONUTS ZONING COMPLIANCE PLAN

TOWNSHIP OF HOOPERS CREEK * HENDERSON COUNTY
 NORTH CAROLINA
 DATE: 03/27/2024

LAT: 35.392500
 LONG: -82.502222

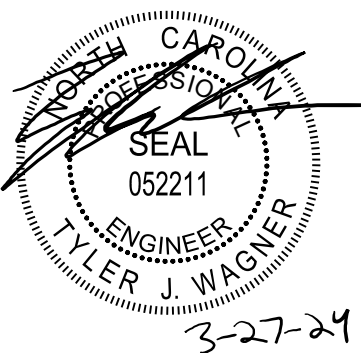


VICINITY MAP
 1"=2000'

Sheet List Table	
Sheet Number	Sheet Title
1	Cover Sheet
2	Abbreviations & Legend
3	Standard Notes
4	Existing Conditions
5	Site Plan
6	Grading Plan
7	Utility Plan
8	Landscaping Plan
9	Details

DEVELOPER INFORMATION:
 RICK MOORE
 103 MCDOWELL RD
 MILLS RIVER, NC 28759
 (828)243-1846

ENGINEERING CONTACT
 TYLER WAGNER, PE
 7 GLENN BRIDGE RD, SUITE H
 ARDEN, NC 28704
 (828) 676-0807
 TWAGNER@FEICONCONSULTING.COM



ABBREVIATIONS

ABAN	ABANDONED	LT	LEFT OFFSET FROM CENTERLINE
AC	ACRES	LP	LIGHT POLE
AGG	AGGREGATE	LF	LINEAR FEET
ARV	AIR RELEASE VALVE	MH	MANHOLE
ASPH	ASPHALT	MAX	MAXIMUM
ABC	ASPHALT BASE COURSE	MBL	MAXIMUM/MINIMUM BUILDING LINE
BC	BACK OF CURB	MJ	MECHANICAL JOINT
BFP	BACKFLOW PREVENTER	MIN	MINIMUM
BEG	BEGIN	MON	MONUMENT
BMP	BEST MANAGEMENT PRACTICES	NIC	NOT IN CONTRACT
BOL	BOLLARD	NTS	NOT TO SCALE
BTM	BOTTOM	OC	ON CENTER
BLDG	BUILDING	OHP	OVERHEAD UTILITIES
CIP	CAST IRON PIPE	PG	PAGE
CB	CATCH BASIN	PED	PEDESTRIAN
CL	CENTERLINE	PB	PLAT BOOK
CO	CLEANOUT	PVC	POLYVINYL CHLORIDE
CBU	CLUSTER BOX UNIT	PCC	PORTLAND CEMENT CONCRETE
COMM	COMMUNICATION	PWR	POWER
CONC	CONCRETE	PP	POWER POLE
CMON	CONCRETE MONUMENT	PL	PROPERTY LINE
CONST	CONSTRUCTION	PROP	PROPOSED
CMP	CORRUGATED METAL PIPE	R	RADIUS
CRK	CREEK	RR	RAILROAD
CY	CUBIC YARDS	RPZ	REDUCED PRESSURE BACKFLOW
C&G	CURB AND GUTTER	RCP	REINFORCED CONCRETE PIPE
CI	CURB INLET	R/W	RIGHT OF WAY
DB	DEED BOOK	RT	RIGHT OFFSET FROM CENTERLINE
DEMO	DEMOLITION	SS	SANITARY SEWER
DIA	DIAMETER	SSCO	SANITARY SEWER CLEANOUT
DOM	DOMESTIC	SSMH	SANITARY SEWER MANHOLE
DCA	DOUBLE CHECK ASSEMBLY	SVC	SERVICE LATERAL
DE	DRAINAGE EASEMENT	SIP	SET IRON PIPE
DWG	DRAWING	S/W	SIDEWALK
DWY	DRIVEWAY	SDE	SIGHT DISTANCE EASEMENT
DI	DROP INLET	SF	SQUARE FEET
DIP	DUCTILE IRON PIPE	STD	STANDARD
ESMT	EASEMENT	STA	STATION
EC	EDGE OF CONCRETE	SD	STORM DRAIN
EG	EDGE OF GRAVEL	STMH	STORM MANHOLE
EP	EDGE OF PAVEMENT	TMH	TELEPHONE MANHOLE
E	ELECTRICAL	TPED	TELEPHONE PEDESTAL
EMH	ELECTRICAL MANHOLE	TEMP	TEMPORARY
EL,ELEV	ELEVATION	T/C	TOP OF CURB
EX	EXISTING	TBM	TRAVERSE BENCHMARK
FC	FACE OF CURB	TYP	TYPICAL
FO	FIBER OPTIC	UG	UNDERGROUND
FG	FINISH GRADE	UE	UTILITY EASEMENT
FFE	FINISHED FLOOR ELEVATION	VG	VALLEY GUTTER
FDC	FIRE DEPARTMENT CONNECTION	VCP	VITRIFIED CLAY PIPE
FH	FIRE HYDRANT	WTR	WATER
FES	FLARED END SECTION	WLWM	WATER MAIN
FL	FLOW LINE	WV	WATER VALVE
FIP	FOUND IRON PIPE	YI	YARD INLET
FIR	FOUND IRON ROD		
G	GAS		
GV	GATE VALVE		
GI	GRATE INLET		
HVAC	HEATING, VENTILATION, AIR CONDITIONING		
HDPE	HIGH DENSITY POLYETHYLENE		
HYD	HYDRANT		
INV	INVERT		
IRR	IRRIGATION		

SYMBOLS & LINETYPE LEGEND

PROPOSED

EXISTING

PROPOSED	EXISTING	DESCRIPTION
		ADA ACCESSIBLE ROUTE
		CENTERLINE
		COMMUNICATIONS (UNDERGROUND)
		CONTOUR LINES
		CREEK, STREAM OR WATER BODY
		CURB & GUTTER
		DISTURBED AREA
		DITCH
		DIVERSION BERM
		DIVERSION BERM (CLEAN)
		DRAINAGE AREA
		EASEMENT (ACCESS)
		EASEMENT (BMP)
		EASEMENT (DMUE)
		EASEMENT (DRAINAGE)
		EASEMENT (SANITARY)
		EASEMENT (STORM)
		EASEMENT (WATER)
		EASEMENT (MISC)
		ELECTRIC (OVERHEAD)
		ELECTRIC (UNDERGROUND)
		EROSION BAFFLE
		FENCE
		FLOODPLAIN
		FLOODWAY
		GAS LINE
		GUARDRAIL
		LANDSCAPE BUFFER
		LANDSCAPED AREA
		PHASE LINE
		PROPERTY LINE (ADJACENT)
		PROPERTY LINE (SUBJECT)
		RAILROAD TRACKS
		RIGHT OF WAY
		ROOF DRAIN
		SANITARY SEWER (FORCEMAIN)
		SANITARY SEWER (GRAVITY)
		SETBACKS
		SILT FENCE
		STORM DRAIN
		STREAM BUFFER (ZONE 1)
		STREAM BUFFER (ZONE 2)
		WATER MAIN
		WOODS LINE
		BACKFLOW PREVENTER
		BENCHMARK
		BLOWOFF
		CATCH BASIN
		COMMUNICATION BOX OR MANHOLE
		COMPUTED POINT
		CURB INLET
		DRAINAGE MANHOLE
		ELECTRIC METER
		ELECTRIC PEDESTAL
		FIBER OPTIC PEDESTAL OR MARKER
		FIRE DEPARTMENT CONNECTION
		FLARED END SECTION
		GAS METER OR MARKER
		GAS VALVE
		HEADWALL OR ENDWALL
		HVAC
		HYDRANT
		IRON PIPE
		LIGHT POLE
		MISCELLANEOUS METER
		MISCELLANEOUS UTILITY PEDESTAL OR MARKER
		REDUCER
		RIGHT OF WAY MONUMENT
		ROCK DAM
		SANITARY CLEANOUT
		SANITARY MANHOLE
		SHRUB
		TRANSFORMER
		TRANSMISSION TOWER
		TREE (CANOPY)
		TREE (UNDERSTORY)
		UTILITY POLE
		WATER METER
		WATER VALVE
		WELL
		YARD GRATE
		YARD INLET
		SWALE NUMBER

HATCHING & SHADING

	ASPHALT
	BUILDING
	CONCRETE
	GRAVEL
	RIP RAP
	ROCK



Civil Engineers and Land Surveyors
7 Glenn Bridge Rd, Suite H
Arden, NC 28704
(828) 676-0607
www.feiconsulting.com
License No. C-0950

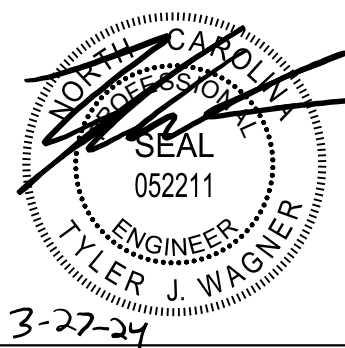
MOUNTAIN HOME DUNKIN' DONUTS

ABBREVIATIONS & LEGEND

REVISION INFORMATION:
RICK MOORE
103 McDowell Rd, NC 28759
(828) 643-1848

NO	DATE	REVISION NOTE

DRAWN BY: JHE
CHECKED BY: TJW
DATE: 03/27/2024
PROJECT NO.: 13055.001
REF. NO.:
SCALE: NTS



NARRATIVE:

THE PURPOSE OF THIS DEVELOPMENT IS TO PROVIDE A DUNKIN' DONUTS RESTAURANT LOCATED AT THE INTERSECTION OF US-25 (ASHEVILLE HWY) AND S. NAPLES ROAD.

GENERAL SITE NOTES:

- CONTRACTOR IS TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE PROJECT ENGINEER.
- ALL PRIVATE STREETS ARE CONSIDERED COMMON ELEMENTS. COMMON ELEMENTS ARE TO BE OWNED AND MAINTAINED BY WHISPER CREEK PROPERTY OWNERS ASSOCIATION EXCEPT WHERE NOTED.
- THIS PROPERTY IS PROVIDED WITH WATER BY THE CITY OF HENDERSONVILLE AND SEWER SERVICE BY THE METROPOLITAN SEWERAGE DISTRICT (MSD). IT IS COVERED BY A UTILITY AGREEMENT AND ANNEXATION PETITION PREVIOUSLY SUBMITTED TO THE CITY, WHICH MAY WELL LEAD TO ITS ANNEXATION IN THE FUTURE.
- THE DEVELOPER RETAINS THE RIGHT OF ACCESS TO COMMON ELEMENTS AS REQUIRED FOR THE DESIGN AND CONSTRUCTION OF AN ALL-WEATHER WALKING TRAIL, ITS ACCESS, AND ANY ACCOMPANYING SITE MODIFICATIONS.
- THE DEVELOPER MAINTAINS A BLANKET EASEMENT ACROSS THE COMMON ELEMENTS HEREON FOR THE PURPOSE OF BUILDING AND DEVELOPING ANY FUTURE BUILDINGS.

SITE PLAN NOTES:

- WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 6' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST HENDERSON COUNTY PLANNING & EROSION CONTROL, AND NCDEQ AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE COMPACTED TO STANDARD PROCTOR MAXIMUM DRY DENSITY AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND SHALL CONFORM TO HENDERSON COUNTY REQUIREMENTS WITHIN PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE HENDERSON COUNTY INSPECTIONS DEPARTMENT, OWNER/REP., HENDERSON COUNTY PLANNING & EROSION CONTROL AND ENGINEER/REP.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPER LETTER HEIGHTS, AND RETROREFLECTIVITY.

SURVEY NOTES:

- AREA COMPUTED BY COMPUTER SOFTWARE.
- THIS MAP DOES NOT MEET G.S. 47-30 REQUIREMENTS AND IS NOT FOR RECORDING.
- THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, AGREEMENTS AND RIGHTS-OF-WAY OF RECORD PRIOR TO THE DATE OF THIS MAP WHICH WERE NOT VISIBLE OR APPARENT AT THE TIME OF INSPECTION.
- THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A TITLE INVESTIGATION, THEREFORE, THIS MAP IS SUBJECT TO ANY AND ALL FACTS AN ACCURATE TITLE INVESTIGATION MAY DISCLOSE.
- BOUNDARY INFORMATION OBTAINED BY FIELD RUN SURVEY, PERFORMED BY FLEMING ENGINEERING.
- LOCATION WORK SHOWN HEREON WAS DERIVED BY ABOVE GROUND INDICATORS ONLY, UNLESS OTHERWISE NOTED.
- THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 3710882300J, REVISED JUNE 18, 2007.

RETAINING WALL NOTES (IF APPLICABLE)

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCRACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED APPROVALS, PERMITS, AND INSPECTIONS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE GAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ANY PART OF RETAINING WALL OR TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN OR AFTER WALL IS CONSTRUCTED AND BACKFILLED.
- NECESSARY INSPECTIONS SHALL BE PERFORMED SUCH THAT THE CONTRACTOR CAN PROVIDE AN ENGINEER'S CERTIFICATION THAT THE WALL HAS BEEN CONSTRUCTED ACCORDING TO THE DESIGNED PLANS.

FIRE DEPARTMENT NOTES:

- SITE SHALL COMPLY WITH THE LATEST NATIONAL BUILDING AND FIRE CODES.
- THE NC STATE BUILDING CODE REQUIRES THAT ANY CONSTRUCTION INCLUDING DECKS LOCATED LESS THAN FIVE (5) FEET FROM A PROPERTY LINE, SHALL HAVE NOT LESS THAN A ONE-HOUR FIRE-RESISTIVE RATING WITH EXPOSURE FROM BOTH SIDES. THIS REQUIREMENT APPLIES TO ANY ATTACHED STRUCTURE SUCH AS DECKS OR PORCHES. THE NC STATE BUILDING CODE REQUIREMENTS IN EFFECT AT THE TIME OF THE BUILDING PERMIT APPLICATION WILL SUPERSEDE THIS NOTE.

GENERAL UTILITY NOTES:

- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HENDERSON COUNTY AND NCDEQ STANDARDS & SPECIFICATIONS, LATEST EDITION.
- UTILIZE UTILITY EASEMENT & NOT RIGHT OF WAY AS MUCH AS POSSIBLE FOR NON-CITY UTILITIES (GAS, POWER, TELECOM, ETC.)
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- PROPERTY TO BE SERVED BY CITY OF HENDERSONVILLE WATER & METROPOLITAN SEWERAGE DISTRICT (MSD).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- ELECTRIC, TELEPHONE, GAS, AND CABLE TV SERVICES ROUTING ARE NOT A PART OF THIS PLAN.
- ALL PROPOSED ELECTRIC AND PHONE LINES SHALL BE INSTALLED UNDERGROUND EXCEPT IN SITUATIONS WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE PROVIDER.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SANITARY SEWER NOTES:

- SANITARY SEWER AND STORM SEWERS SHALL HAVE A VERTICAL SEPARATION OF 24" WHEN THEY ARE LESS THAN 3' APART HORIZONTALLY. WHERE SANITARY SEWER AND THE STORM SEWER HAVE A VERTICAL SEPARATION OF LESS THAN 24" THE SANITARY SEWER LINE SHALL BE CONSTRUCTED OF DIP AND THE SPACE BETWEEN THE PIPES SHALL BE FILLED WITH FLOWABLE FILL THAT MEETS OR EXCEEDS NCDOT STANDARDS.
- MINIMUM SLOPE FOR 4 INCH & 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% AND 1.0%, RESPECTIVELY.
- ALL SEWER CLEANOUTS IN PAVEMENT AREAS SHALL BE TRAFFIC BEARING.
- MATERIALS AND INSTALLATION SHALL CONFORM TO METROPOLITAN SEWERAGE DISTRICT (MSD) STANDARDS.

WATER NOTES:

- WATER MAIN TO BE INSTALLED AT A DEPTH WITH A MINIMUM COVER OF 36 INCHES TO FINISHED SUBGRADE, WITH 18 INCHES VERTICAL CLEARANCE MINIMUM FROM OTHER UNDERGROUND UTILITIES AND 10 FEET HORIZONTAL CLEARANCE FROM ALL OTHER UTILITIES.
- WHERE THE WATER MAIN AND SEWER MAIN CROSS AND THE VERTICAL SEPARATION IS LESS THAN 18" OR THE WATER MAIN GOES UNDERNEATH THE SEWER THE SEWER LINE SHALL BE DIP AND THE SPACE BETWEEN THE TWO SHALL BE FILLED WITH FLOWABLE FILL THAT MEETS OR EXCEEDS NCDOT STANDARDS.
- MATERIALS AND INSTALLATION SHALL CONFORM TO CITY OF HENDERSONVILLE STANDARDS.

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOAT OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.

GRADING NOTES:

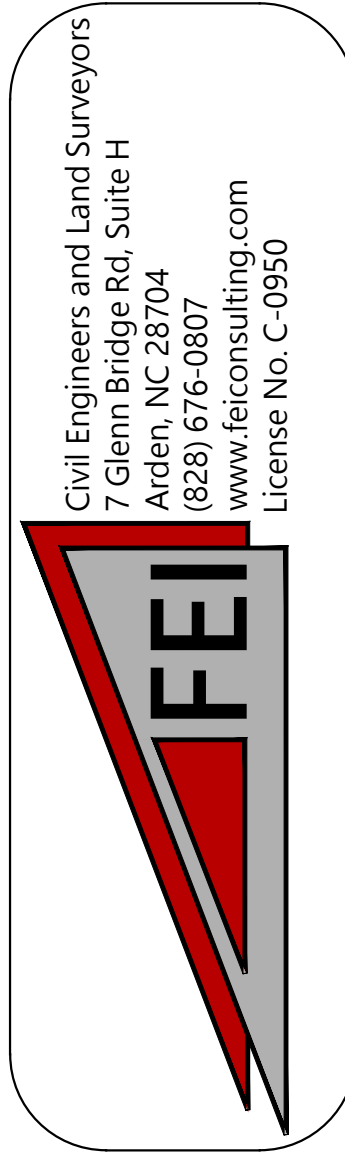
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST HENDERSON COUNTY EROSION CONTROL AND NCDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE EROSION CONTROL OFFICER AND OWNER'S REPRESENTATIVE.
- EXISTING CONTOURS ARE BASED ON SURVEY COMPLETED BY FLEMING ENGINEERING, INC. EXISTING UTILITIES SHOWN ARE BASED ON SURVEY AND THE BEST AVAILABLE RECORDS. THE CONTRACTOR, HOWEVER, SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- GRADING AND CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 88 (NAVD88).
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF GEOTECHNICAL ENGINEER SITE VISITS SUCH THAT ENGINEER CAN PROVIDE ANY NECESSARY STRUCTURAL CERTIFICATIONS FOR ROADWAYS AND BUILDING PADS.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND SHOULD MEET OR EXCEED HENDERSON STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- GRADING IN AREAS DESIGNATED AS "ACCESSIBLE" SHALL COMPLY WITH ALL FEDERAL AND LOCAL ACCESSIBILITY RULES AND GUIDELINES. EVEN THOUGH PLANS MAY NOT SHOW ALL SPOT ELEVATIONS IN THESE REGIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE AREAS ARE GRADED TO AMERICAN DISABILITY ACT (ADA) COMPLIANT SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AREAS WHERE SPILL CURB IS NECESSARY TO CONVEY RUNOFF TO THE NEAREST CATCH BASIN OR DRAIN INLET. THE OWNER AND/OR ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR CURBING INSTALLED THAT DOES NOT DRAIN PROPERLY.
- ALL PROPOSED INLETS, CATCH BASINS, AND DROP INLETS SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS SHOWN AND SPECIFIED ON THE EROSION CONTROL PLAN.
- THE CURB INLETS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS. THE CONTRACTOR SHALL FIELD VERIFY GRADES SURROUNDING ALL BUILDINGS PRIOR TO GRADING ACTIVITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- FOR NPDES PERMIT COMPLIANCE: ALL SLOPES 3:1 AND STEEPER MUST BE STABILIZED WITHIN 7 DAYS, ALL OTHER AREAS MUST BE STABILIZED WITHIN 14 DAYS.
- ALL STORM PIPE SPECIFIED AS REINFORCED CONCRETE (RCP) SHALL BE MINIMUM CLASS III PIPE.

EROSION CONTROL NOTES:

- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE PROVIDED FOR ALL LAND DISTURBING WORK IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- ALL PERMANENT EROSION CONTROL MEASURES SHALL BE INCORPORATED INTO THE WORK AT THE EARLIEST PRACTICAL TIME.
- ALL TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE PERMANENT MEASURES HAVE TAKEN EFFECT OR APPROVED BY THE EROSION CONTROL OFFICER.

EROSION CONTROL MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED.
- SEDIMENT BASINS SHALL BE INSPECTED REGULARLY DURING LAND DISTURBING ACTIVITIES AND AFTER EACH RUNOFF-PRODUCING RAINFALL. SEDIMENT SHALL BE REMOVED AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF EACH BASIN. PORTIONS OF THE BASIN'S GRAVEL FACING THAT ARE CONTAMINATED BY SEDIMENT SHALL BE REPLACED WITH FRESH GRAVEL DURING EACH SEDIMENT REMOVAL EPISODE.
- SEDIMENT FENCES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED AS NEEDED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL EVENT, AND TO REDUCE PRESSURE ON THE FENCE. FENCING MATERIALS AND SEDIMENT DEPOSITS SHALL BE REMOVED, AND THE AREA BROUGHT TO GRADE FOLLOWING STABILIZATION OF UPGRADIENT DISTURBED AREAS.
- DIVERSION DITCHES MUST REMAIN IN PLACE UNTIL PROJECT IS STABILIZED AND PERMISSION GIVEN BY THE EROSION CONTROL OFFICER.
- A RAIN GAUGE AND REPORT BOX SHALL BE LOCATED ON-SITE FOR RAINFALL MONITORING AND SITE INSPECTIONS. THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING THE WEEKLY INSPECTIONS OR AFTER 1/2" OF RAINFALL TO CONFORM WITH THE NPDES PERMIT REQUIREMENTS. REPORTS SHALL BE KEPT IN THE INSPECTION BOX AND REMAIN AVAILABLE TO REVIEWING AGENCIES UPON REQUEST.



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 7 Glenn Bridge Rd, Suite H
 Arden, NC 28704
 (828) 676-0607
 www.ficonsulting.com
 License No. C-0950

MOUNTAIN HOME DUNKIN' DONUTS

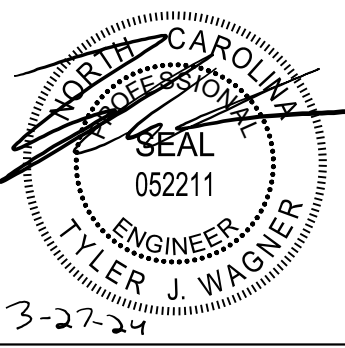
STANDARD NOTES

PROJECT LOCATION
 TOWNSHIP: HOOPERS CREEK
 COUNTY: HENDERSON
 STATE: NORTH CAROLINA

DEVELOPER INFORMATION:
 RICK MOORE
 103 MCDOWELL RD
 HILLS RIVER, NC 28759
 (828) 676-1978

NO	DATE	REVISION NOTE
1		
2		
3		
4		
5		

DRAWN BY: JHE
 CHECKED BY: TJW
 DATE: 03/27/2024
 PROJECT NO.: 13055.001
 REF. NO.:
 SCALE: NTS

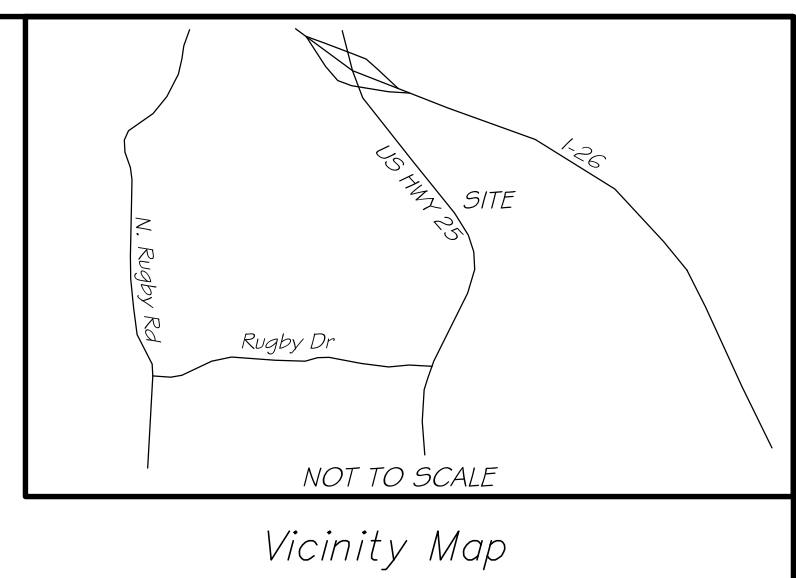


3-27-24
SHEET
 3 OF 9

Point	Northing	Easting	Elev.	Invert In	Invert In	Invert Out
CB 1	616534.127	956189.408	2063.30	2058.20	2058.80	2057.90
CB 2	616479.439	956240.520	2063.31	2058.71	2058.31	2058.61
CB 3	616401.842	956296.309	2062.98	2058.68	2058.58	2058.48
CB 4	616326.494	956342.932	2063.62	2059.32	2059.17	2059.12
CB 5	616255.999	956389.716	2064.08	2061.58		2061.48
CB 6	616203.758	956436.016	2064.54	2062.04		
CB 7	616207.897	956507.403	2066.11			2062.61
DI 1	616292.928	956459.104	Unable To Access			

Point	Northing	Easting	Elev.	Invert In	Invert In	Invert Out
SSMH 1	616425.867	956276.604	2063.76	Locked		
SSMH 2	616433.962	956277.516	2064.03	2058.63		2058.43
SSMH 3	616532.151	956198.693	2063.84	Locked		

1.98 Acres
Total Acreage of D.B. 1153, Pg. 309
Including Leased Agreement Area
Area By Coordinate Computation



Preliminary Drawing
- For Review Purposes Only -

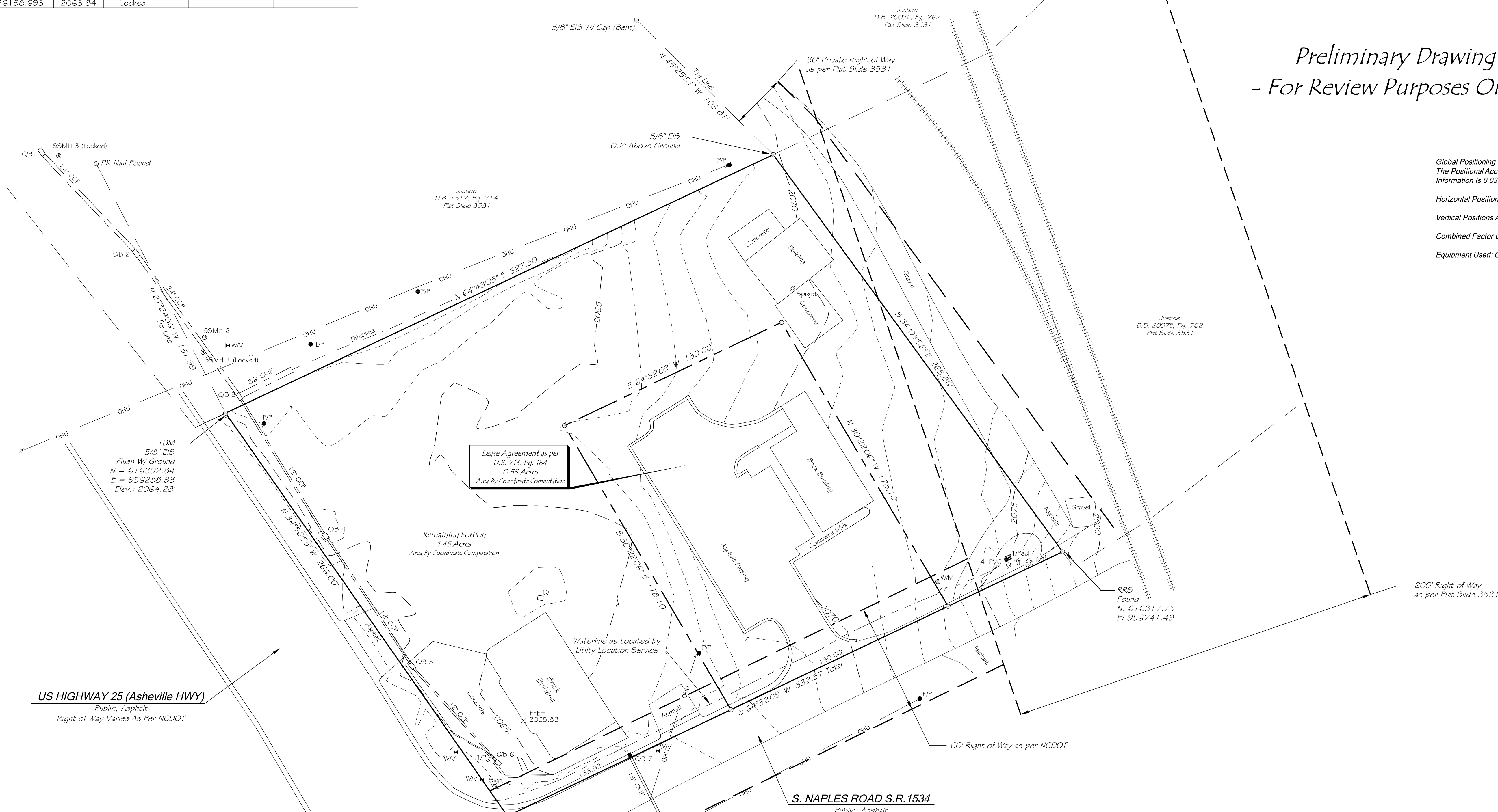
Global Positioning System Certification (RTK)
The Positional Accuracy Of The RTK Derived Positional
Information Is 0.03' Horizontal & 0.03' Vertical

Horizontal Positional Are Referenced To NAD 83 (NSRS 2011)

Vertical Positions Are Referenced To NAVD 88 (Geoid 12)

Combined Factor 0.99978127 (Ground To Grid)

Equipment Used: Carlson GPS-BRX6



Building Setbacks as per
Henderson County RC Zoning:
Front: 30'
Side: 10'
Rear: 10'

- Notes:
1. Property is subject to all easements, restrictions and right of ways of record.
 2. The locations of underground utilities are based on above-ground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered.
 3. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate title search may disclose.
 4. The certification of survey and plat was prepared for the entity named in the title block hereon and does not extend to any other entity, unless recertified by the professional land surveyor.
 5. All miscellaneous survey related materials, including but not limited to, project plans, deed and ROW research, maps, field notes and data, survey reports, record title report, calculations, working drawings, estimates, and other materials acquired and/or prepared by the surveyor as instruments of service shall remain the property of the surveyor and assigns.
 6. This drawing is not valid unless the original signature and stamp are attached. Any reproduction or variance to this survey by electronic or any other means are not to be considered issued by the professional surveyor.
 7. Property is currently zoned RC as per Henderson County GIS.
 8. Property is not located in a Water Supply Watershed.
 9. Property is not located within 1/2 mile of a designated Farmland Preservation District.
 10. Property is located in Zone X, minimal flood risk as per FRIS Map Panel 9651, Map # 3700965100J, effective date 10-02-2008.
 11. Contour Lines are at 1' interval.



- Legend:
- ECM = Existing Concrete Monument
 - EIP = Existing Iron Pipe
 - EIS = Existing Iron Stake
 - IPS = Iron Pipe Set
 - Q = Unmarked Point, Unless Otherwise Noted
 - ROW/MON = Right of Way Monument
 - ROW = Right of Way
 - RRS = Railroad Spike
 - RCP = Re-enforced Corrugated Pipe
 - CMP = Corrugated Metal Pipe
 - L/P = Light Pole
 - P/P = Power Pole
 - SSMH = Sanitary Sewer Manhole
 - T/P = Traffic Light Pole
 - WL = Underground Water Line
 - WV = Water Valve
 - = Railroad Tracks
 - OHU ----- = Overhead Utility Line

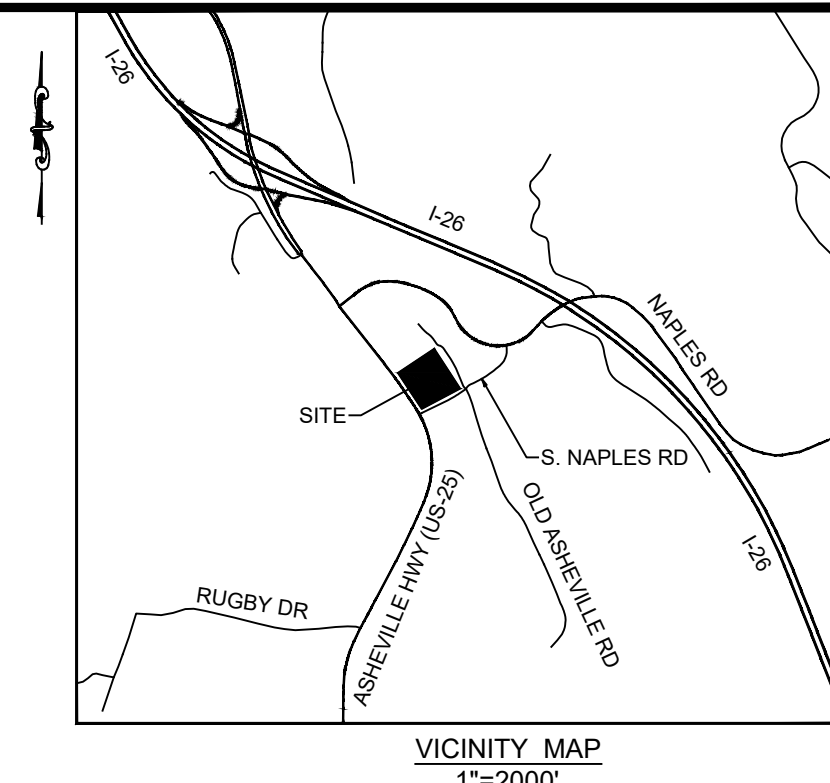
Being all of that Property
Described in D.B. 3798, Pg. 558
And Recorded at Plat Slide 18653

Map of Topographic Survey for
Rick Moore
-Owners-
D.B. 3798, Pg. 558

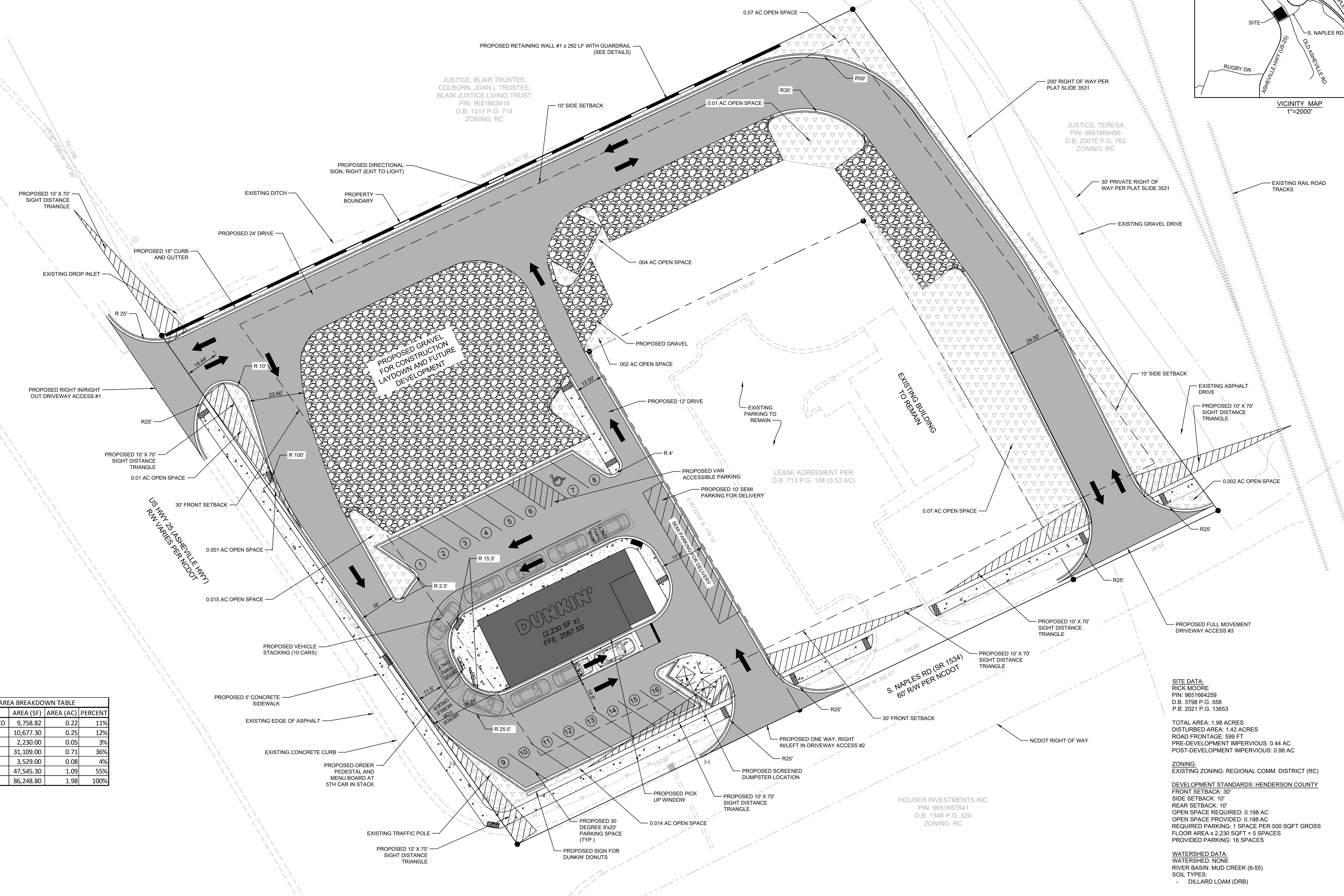
Pin: 9651-66-4259

Hoopers Creek Township	Henderson County, NC
------------------------	----------------------

ASSOCIATED LAND SURVEYORS
& PLANNERS P.C.
P.O. BOX 578 * HORSE SHOE, NC 28742
(828) 890-3507 NC BUSINESS LICENSE NO. C-2774
SCALE: 1 Inch = 30 Feet DATE: January 22, 2024
JOB NO.: S-21-673 SURVYOR: KMK/JTB MISC: 8.0



BUILT UPON AREA BREAKDOWN TABLE			
TYPE	AREA (SF)	AREA (AC)	PERCENT
EXISTING TO BE REMOVED	9,758.82	0.22	11%
EXISTING TO REMAIN	10,677.30	0.25	12%
PROPOSED BUILDING*	2,230.00	0.05	3%
PROPOSED PAVEMENT	31,109.00	0.71	36%
PROPOSED SIDEWALK	3,529.00	0.08	4%
TOTAL BUA	47,545.30	1.09	55%
TOTAL SITE AREA	86,248.80	1.98	100%

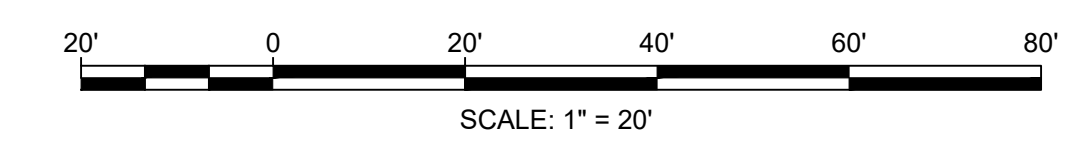


SITE DATA:
 RICK MOORE
 PIN: 9651664299
 D.B. 3798 P.G. 559
 P.B. 2021 P.G. 13653

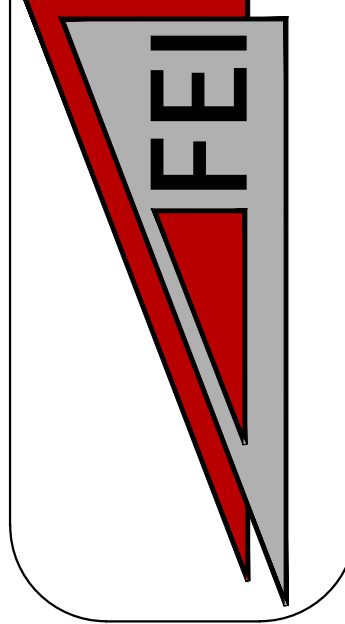
TOTAL AREA: 1.98 ACRES
 DISTURBED AREA: 1.42 ACRES
 ROAD FRONTAGE: 599 FT
 PRE-DEVELOPMENT IMPERVIOUS: 0.44 AC
 POST-DEVELOPMENT IMPERVIOUS: 0.98 AC

ZONING:
 EXISTING ZONING: REGIONAL COMM. DISTRICT (RC)
 DEVELOPMENT STANDARDS: HENDERSON COUNTY
 FRONT SETBACK: 30'
 SIDE SETBACK: 10'
 REAR SETBACK: 10'
 OPEN SPACE REQUIRED: 0.198 AC
 OPEN SPACE PROVIDED: 0.198 AC
 REQUIRED PARKING: 1 SPACE PER 500 SQFT GROSS FLOOR AREA x 2,230 SQFT = 5 SPACES
 PROVIDED PARKING: 16 SPACES

WATERSHED DATA:
 WATERSHED: NONE
 RIVER BASIN: MUD CREEK (6-55)
 SOIL TYPES:
 - DILLARD LOAM (DRB)



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 Arden, NC 28704
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 www.feiconsulting.com
 License No. C-0950



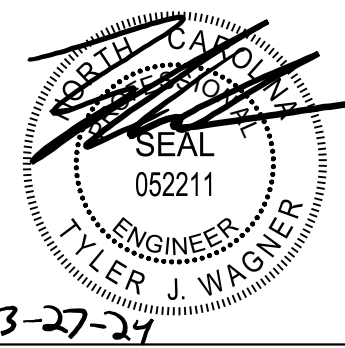
MOUNTAIN HOME DUNKIN' DONUTS
 SITE PLAN

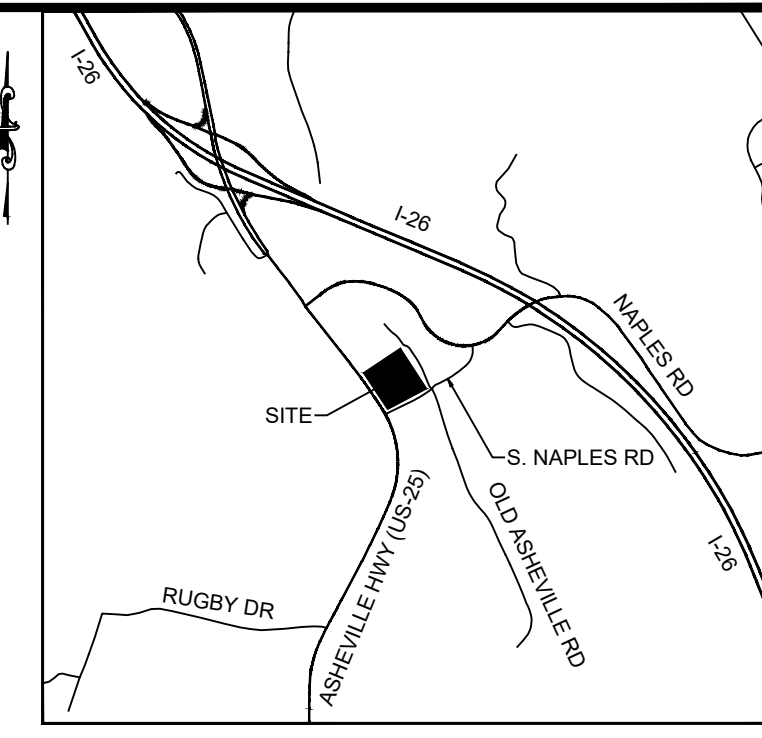
PROJECT LOCATION
 TOWNSHIP: HOOPER'S CREEK
 COUNTY: HENDERSON
 STATE: NORTH CAROLINA

DEVELOPER INFORMATION:
 RICK MOORE
 103 MCDOWELL RD
 WILSON RIVER, NC 28799
 (828) 676-0607

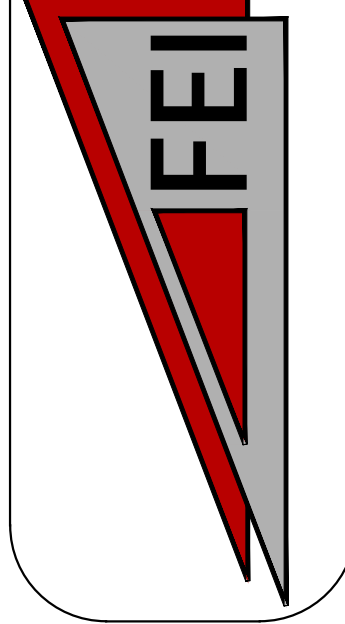
NO.	DATE	REVISION NOTE

DRAWN BY: JHE
 CHECKED BY: TJW
 DATE: 03/27/2024
 PROJECT NO.: 13055.001
 REF. NO.:
 SCALE: 1" = 20'





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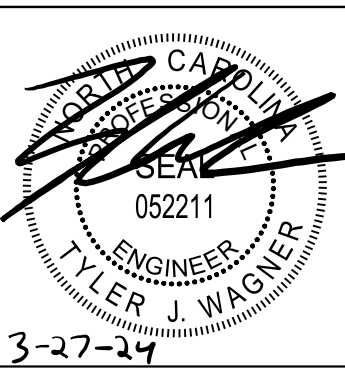
MOUNTAIN HOME DUNKIN' DONUTS
 GRADING PLAN

DEVELOPER INFORMATION:
 RICK MOORE
 103 MCDOWELL RD
 WILSON RIVER, NC 28799
 (828) 676-0607

PROJECT LOCATION:
 TOWNSHIP: HOOPERS CREEK
 COUNTY: HENDERSON
 STATE: NORTH CAROLINA

NO.	DATE	REVISION NOTE

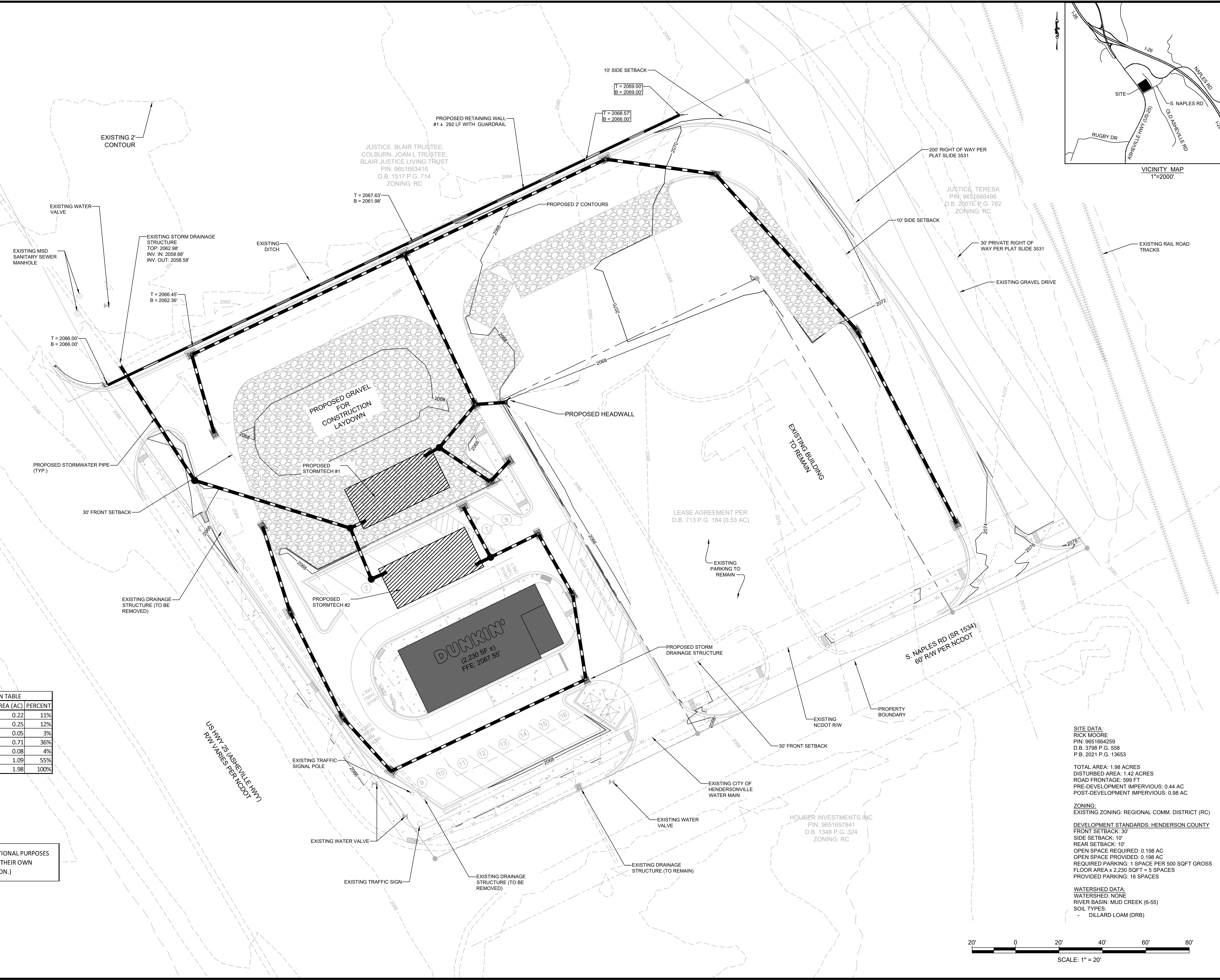
DRAWN BY: JHE
 CHECKED BY: TJW
 DATE: 03/27/2024
 PROJECT NO.: 13055.001
 REF. NO.:



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PROPOSED SIDEWALK	3,529.00	0.08	4%
TOTAL BUA	47,545.30	1.09	55%
TOTAL SITE AREA	86,248.80	1.98	100%

TYPE	AMOUNT (CY)
STRIPPINGS	954
CUT	14
FILL	4940
NET (BORROW)	4927

(CUT & FILL NUMBERS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN TAKEOFF FOR BIDDING AND CONSTRUCTION.)



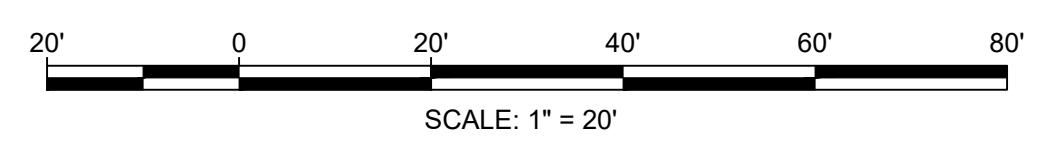
SITE DATA:
 RICK MOORE
 PIN: 9651664259
 D.B. 3798 P.G. 558
 P.B. 2021 P.G. 13653

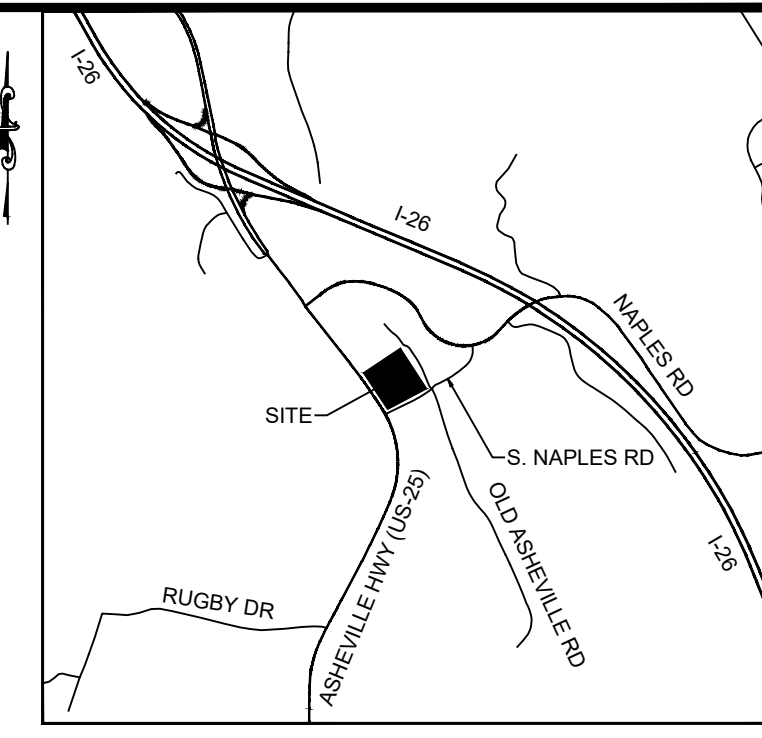
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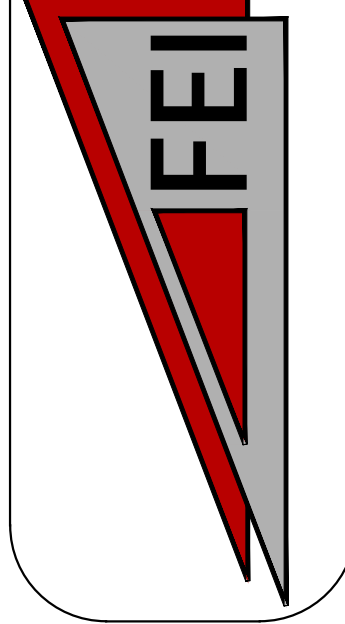
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 SIDE SETBACK: 10'
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 - DILLARD LOAM (DRB)





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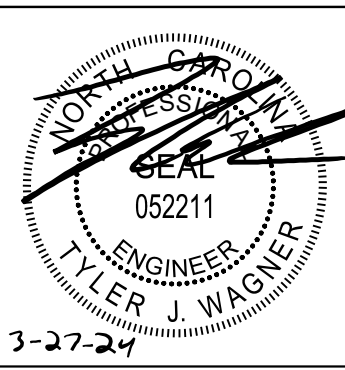
MOUNTAIN HOME DUNKIN' DONUTS
 UTILITY PLAN

DEVELOPER INFORMATION:
 RICK MOORE
 103 MCDOWELL RD
 HENDERSONVILLE, NC 28759
 (828) 676-0607

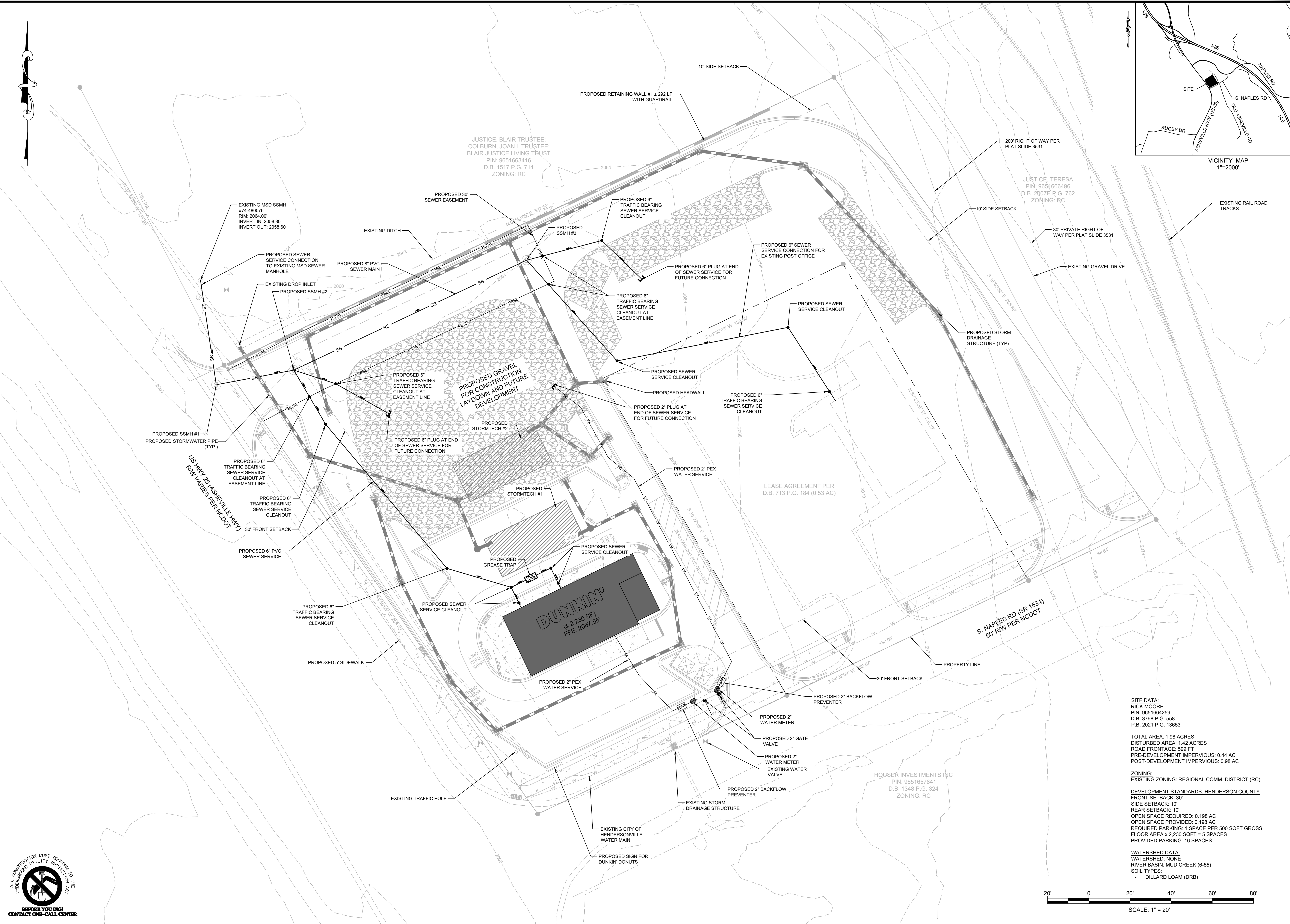
PROJECT LOCATION:
 TOWNSHIP: HOOPERS CREEK
 COUNTY: HENDERSON
 STATE: NORTH CAROLINA

NO.	DATE	REVISION NOTE
1		
2		
3		
4		
5		

DRAWN BY: JHE
 CHECKED BY: TJW
 DATE: 03/27/2024
 PROJECT NO.: 13055.001
 REF. NO.:
 SCALE: 1" = 20'



SHEET
 7 OF 9



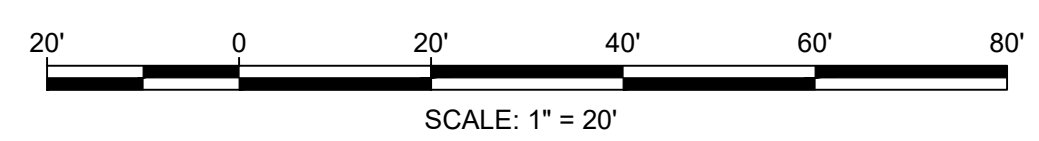
SITE DATA:
 RICK MOORE
 PIN: 9651664259
 D.B. 3743 P.G. 558
 P.B. 2021 P.G. 13653

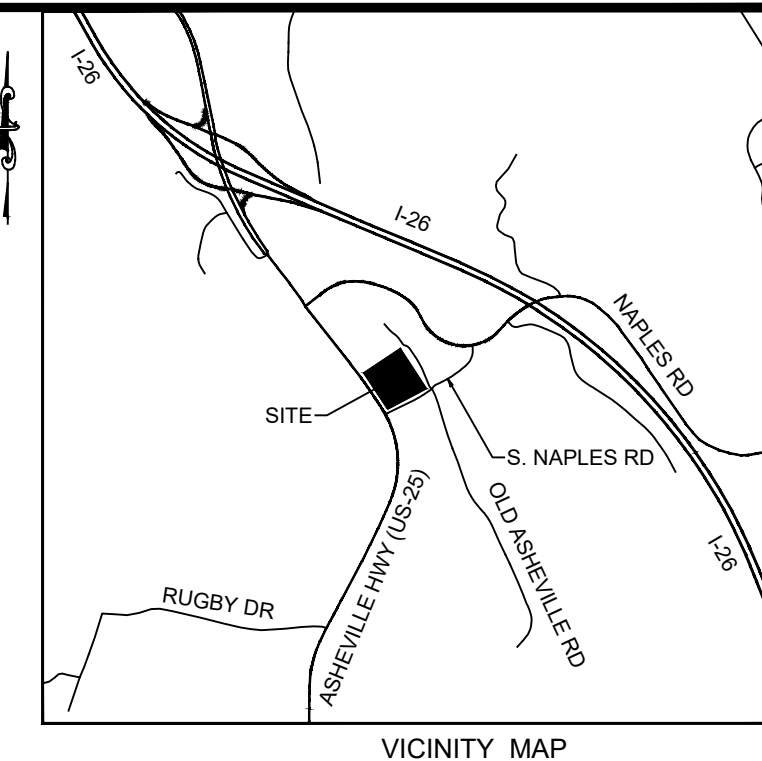
TOTAL AREA: 1.98 ACRES
 DISTURBED AREA: 1.42 ACRES
 ROAD FRONTAGE: 599 FT
 PRE-DEVELOPMENT IMPERVIOUS: 0.44 AC
 POST-DEVELOPMENT IMPERVIOUS: 0.98 AC

ZONING:
 EXISTING ZONING: REGIONAL COMM. DISTRICT (RC)

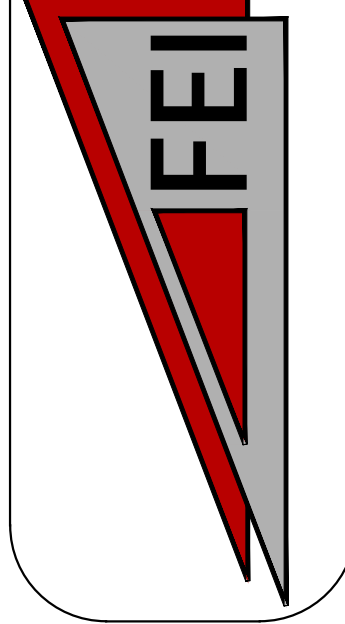
DEVELOPMENT STANDARDS: HENDERSON COUNTY
 FRONT SETBACK: 30'
 SIDE SETBACK: 10'
 REAR SETBACK: 10'
 OPEN SPACE REQUIRED: 0.198 AC
 OPEN SPACE PROVIDED: 0.198 AC
 REQUIRED PARKING: 1 SPACE PER 500 SQFT GROSS
 FLOOR AREA + 2,230 SQFT = 5 SPACES
 PROVIDED PARKING: 16 SPACES

WATERSHED DATA:
 WATERSHED: NONE
 RIVER BASIN: MUD CREEK (6-55)
 SOIL TYPES:
 - DILLARD LOAM (DRB)





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 Arden, NC 28704
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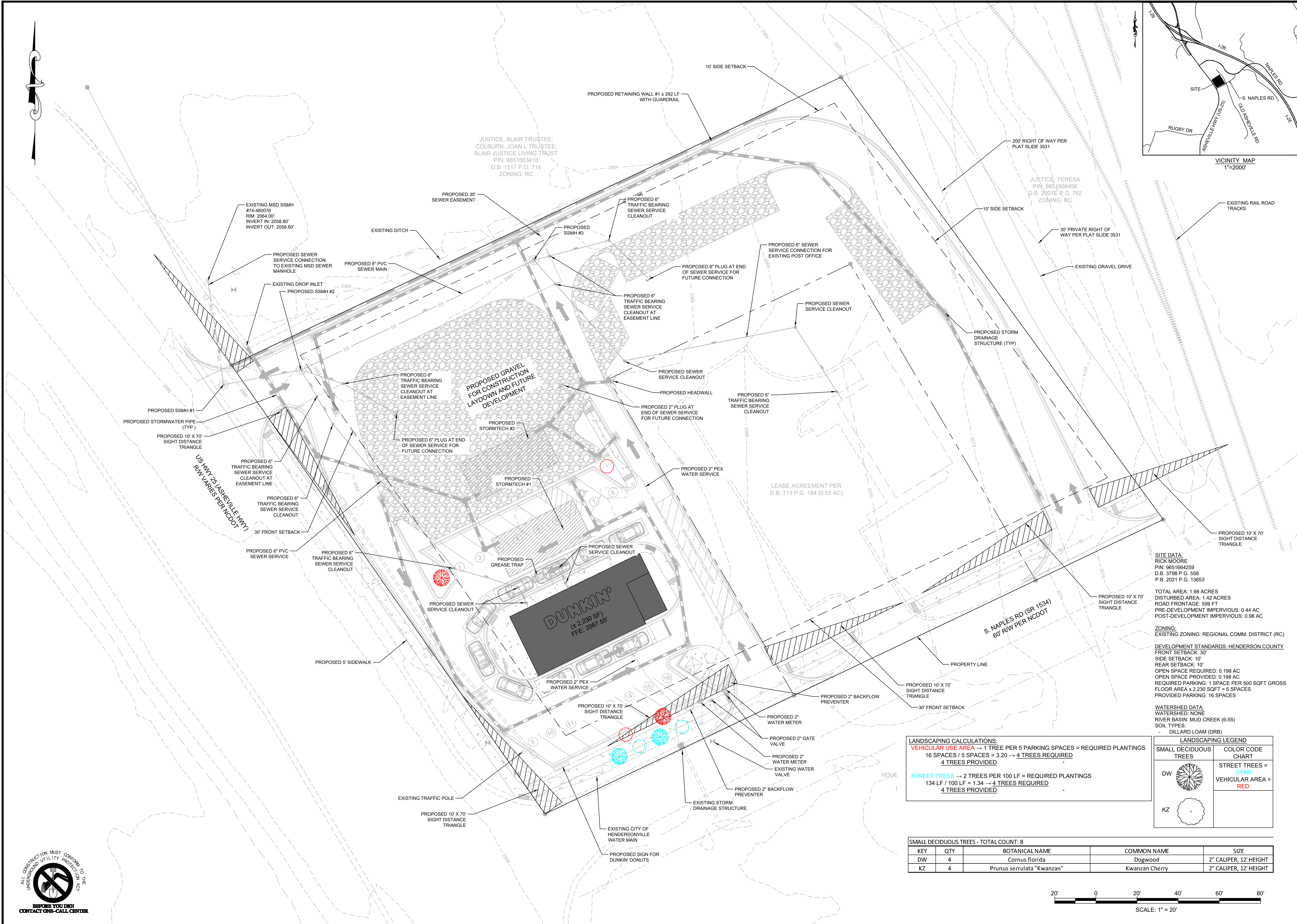
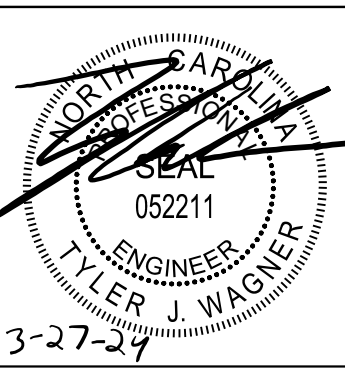
MOUNTAIN HOME DUNKIN' DONUTS
 LANDSCAPING PLAN

PROJECT LOCATION
 TOWNSHIP: HENDERSON CREEK
 COUNTY: HENDERSON
 STATE: NORTH CAROLINA

DEVELOPER INFORMATION:
 RICK MOORE
 103 MCDOWELL RD
 WILSON RIVER, NC 28799
 (828) 676-1948

NO.	DATE	REVISION NOTE

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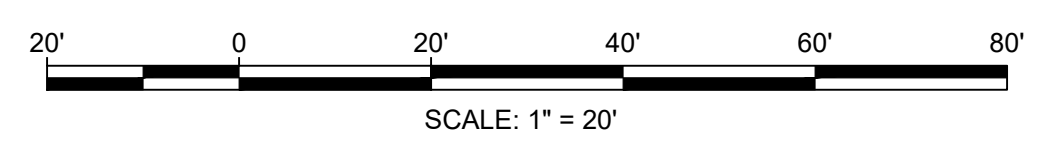


LANDSCAPING CALCULATIONS:
VEHICULAR USE AREA → 1 TREE PER 5 PARKING SPACES = REQUIRED PLANTINGS
 16 SPACES / 5 SPACES = 3.20 → 4 TREES REQUIRED
 4 TREES PROVIDED

STREET TREES → 2 TREES PER 100 LF = REQUIRED PLANTINGS
 134 LF / 100 LF = 1.34 → 4 TREES REQUIRED
 4 TREES PROVIDED

LANDSCAPING LEGEND	
SMALL DECIDUOUS TREES	COLOR CODE CHART
DW	STREET TREES = CYAN
KZ	VEHICULAR AREA = RED

SMALL DECIDUOUS TREES - TOTAL COUNT: 8				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
DW	4	Cornus florida	Dogwood	2" CALIPER, 12' HEIGHT
KZ	4	Prunus serrulata "Kwanzan"	Kwanzan Cherry	2" CALIPER, 12' HEIGHT

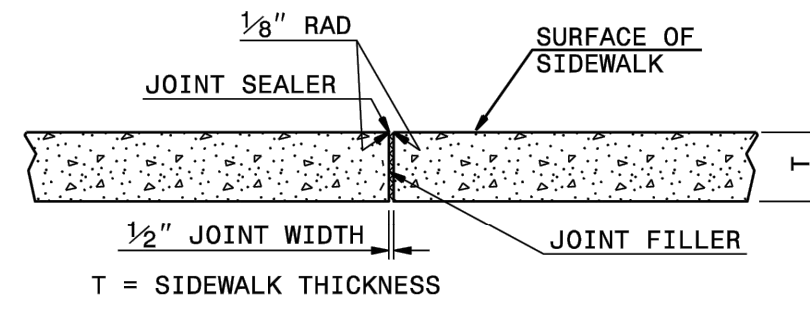


NOTES:

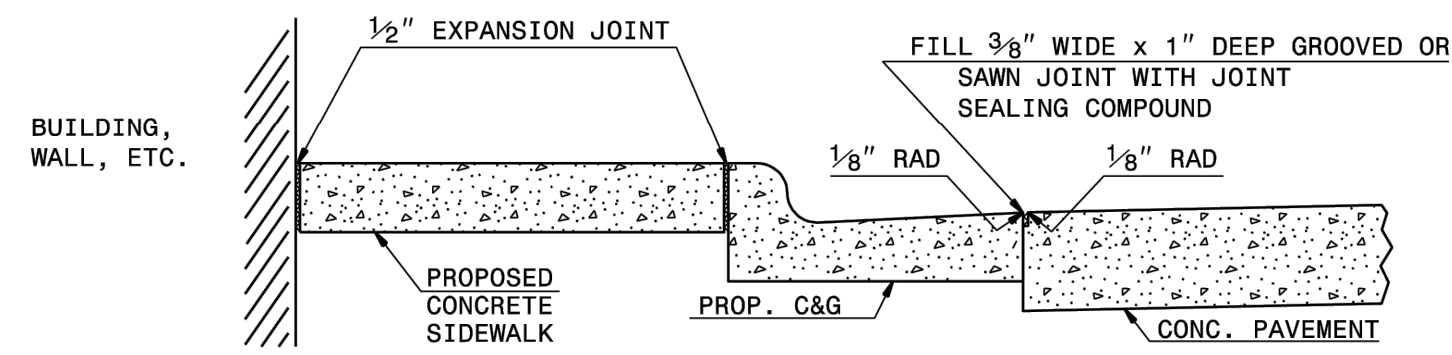
CONSTRUCT STANDARD SIDEWALK 5' WIDE AND 4" THICK UNLESS OTHERWISE DENOTED ON PLANS.

PLACE A GROOVE JOINT 1" DEEP WITH 1/8" RADII IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 50' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.

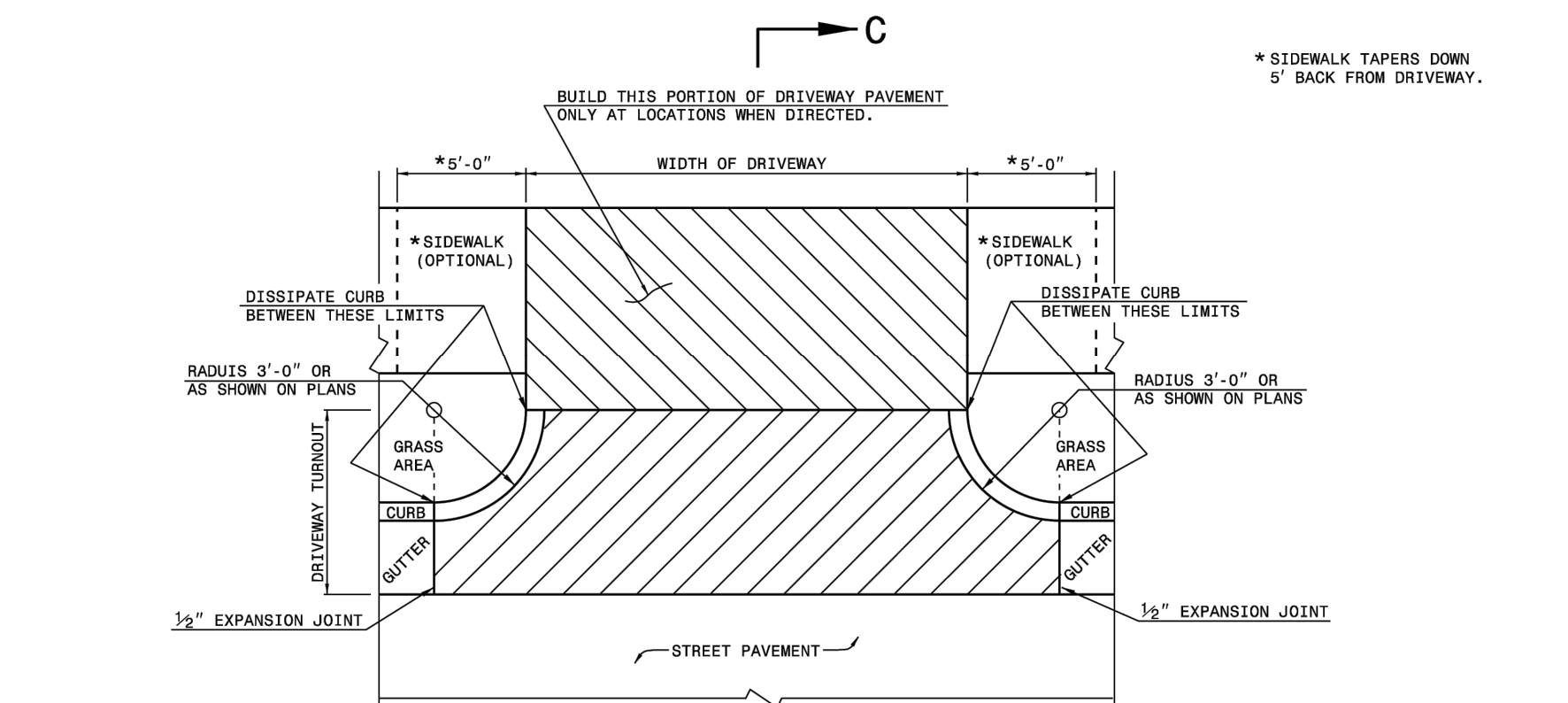
SEE STD. DWG. 848.05 FOR CURB RAMP LOCATION REQUIREMENTS AND CONSTRUCTION GUIDELINES.



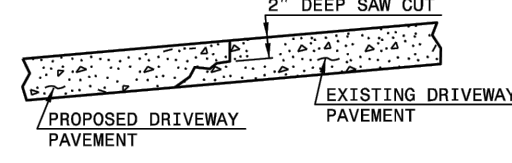
TRANSVERSE EXPANSION JOINT IN SIDEWALK



DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK

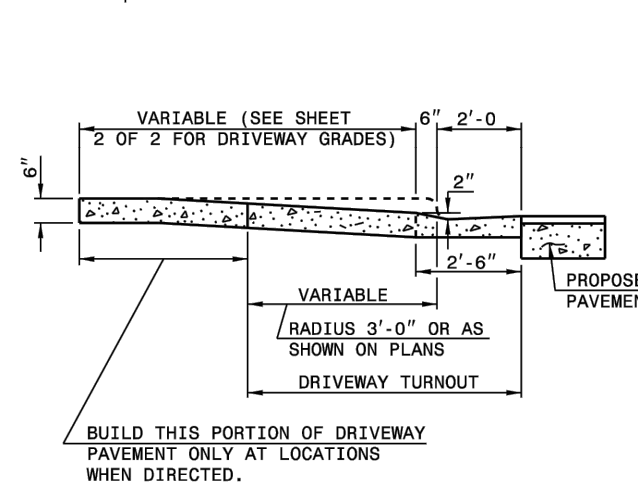


PLAN DETAIL OF DRIVEWAY



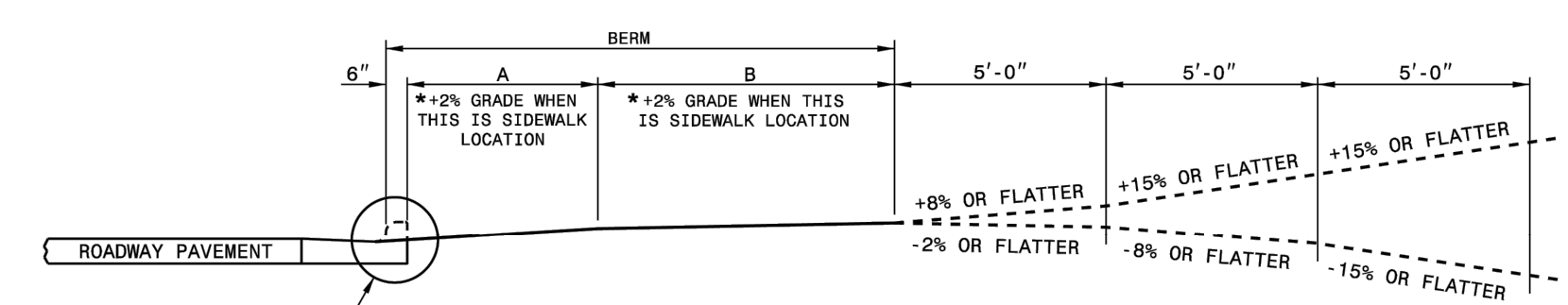
METHOD OF TIE IN

WHEN EXISTING DRIVEWAY PAVEMENT IS CONCRETE, SAW CUT 2" DEEP JOINT AT THE POINT OF TIE-IN. SAW JOINT PERPENDICULAR TO EDGE OF EXISTING DRIVEWAY PAVEMENT.



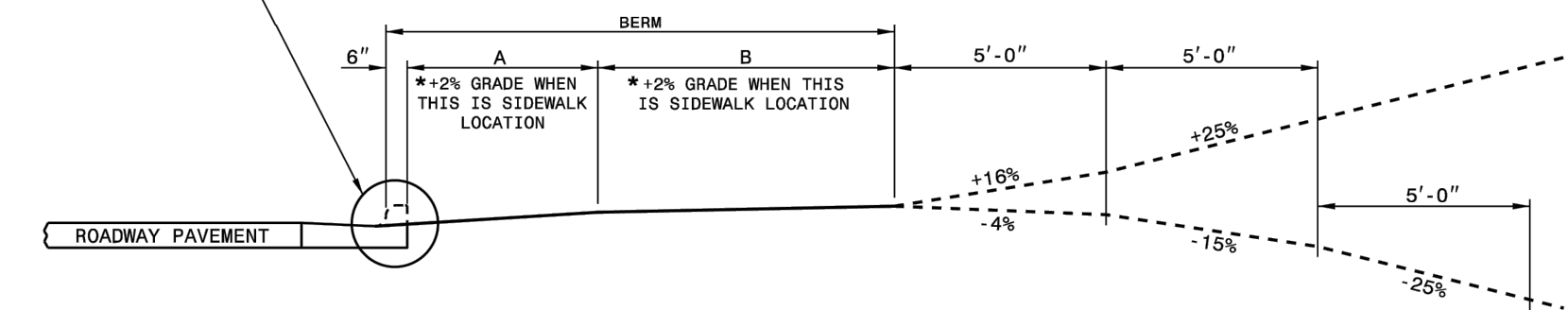
SECTION C-C

DESIRABLE DRIVEWAY GRADES

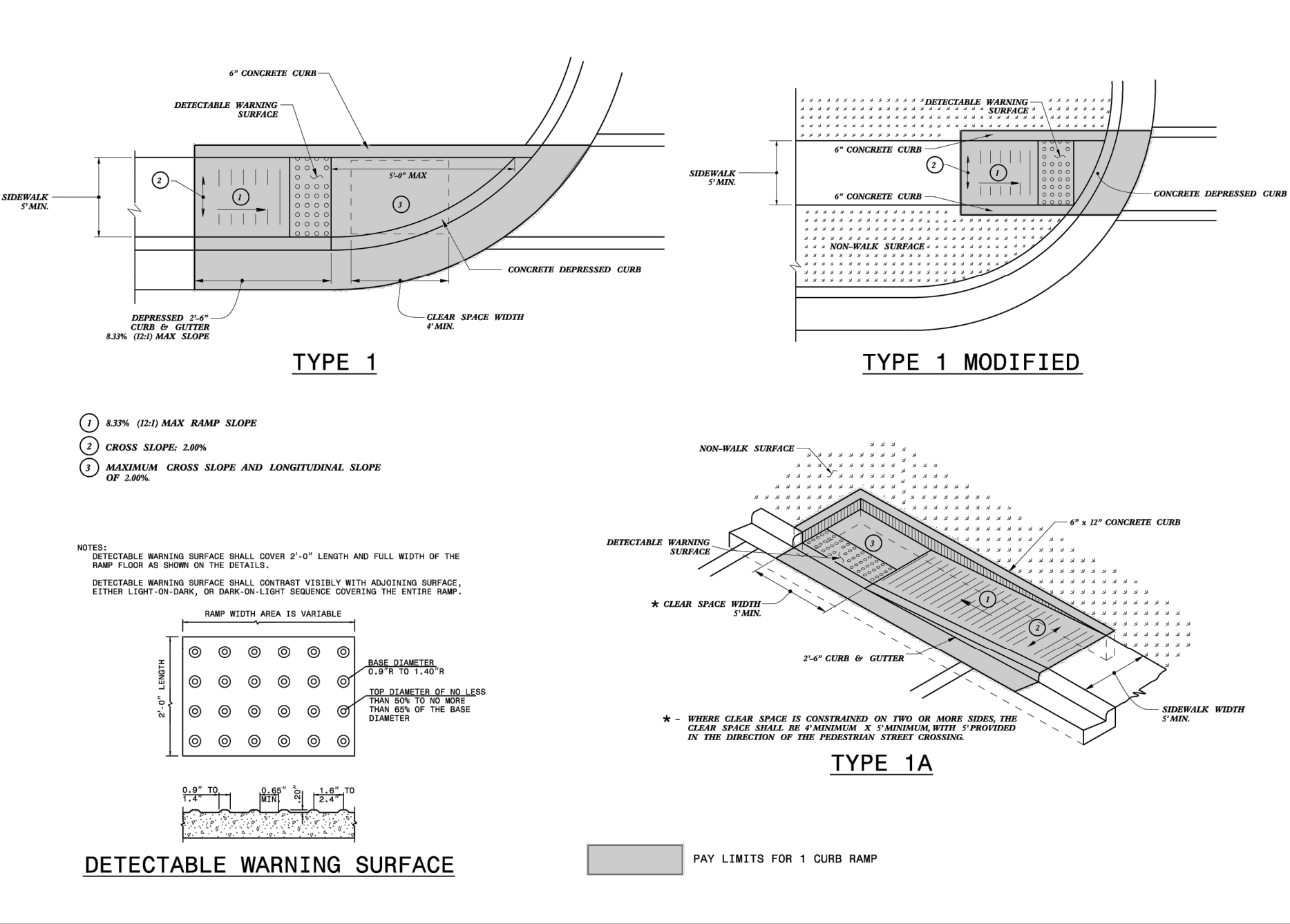


BERM WIDTH	A		B	
	DIST.	GRADE	DIST.	GRADE
8' OR LESS	5'-0"	+2%	2'-6"	+5%
8' OR LESS	2'-0"	+6%	5'-6"	+2%
10'	4'-0"	+4%	5'-6"	+2%
12' & OVER	4'-6"	+4%	7'-0"	+2%

MAXIMUM DRIVEWAY GRADES

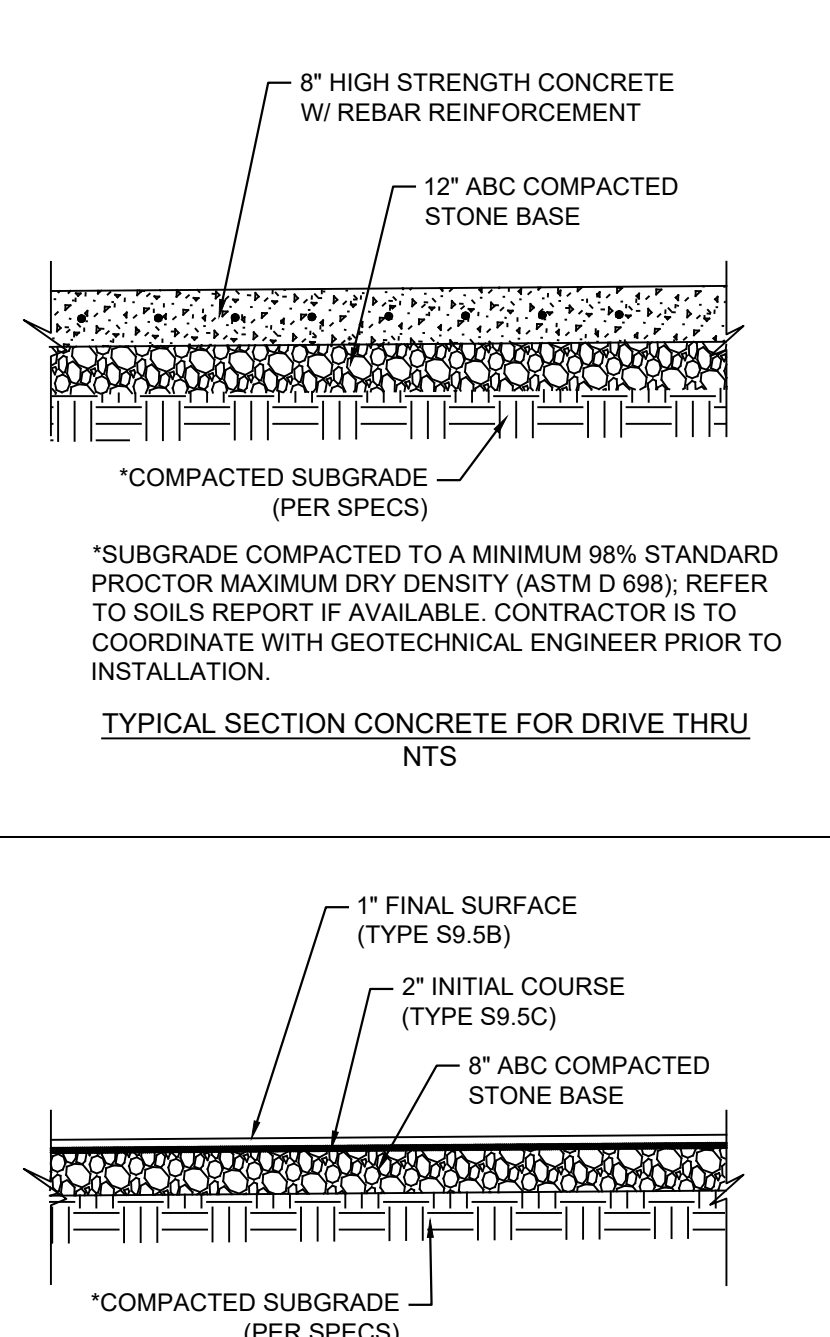


STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR CONCRETE SIDEWALK
SHEET 1 OF 1
848.01



DETECTABLE WARNING SURFACE

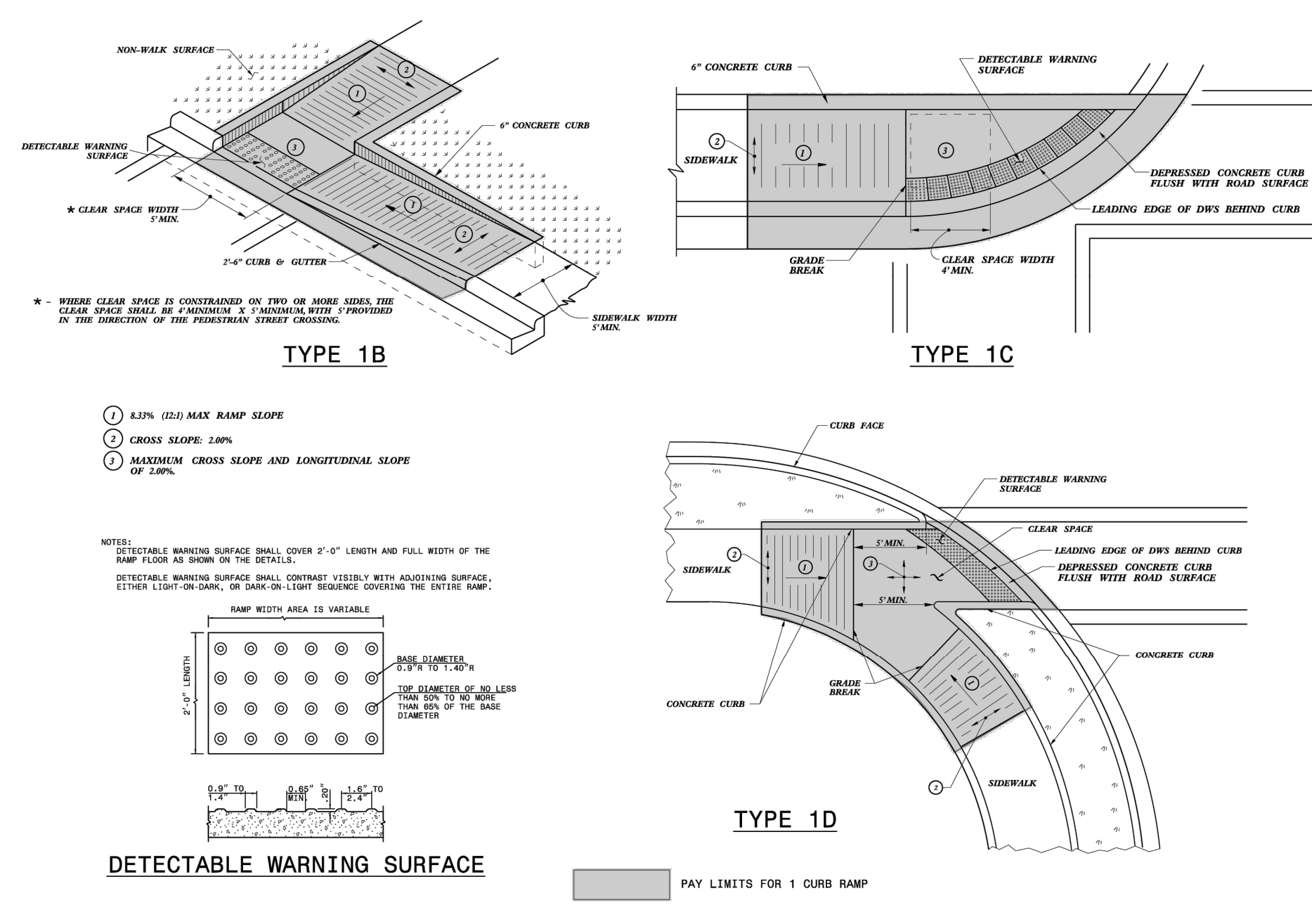
STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR CURB RAMP DIRECTIONAL RAMP
SHEET 6 OF 13
848.06



TYPICAL SECTION CONCRETE FOR DRIVE THRU

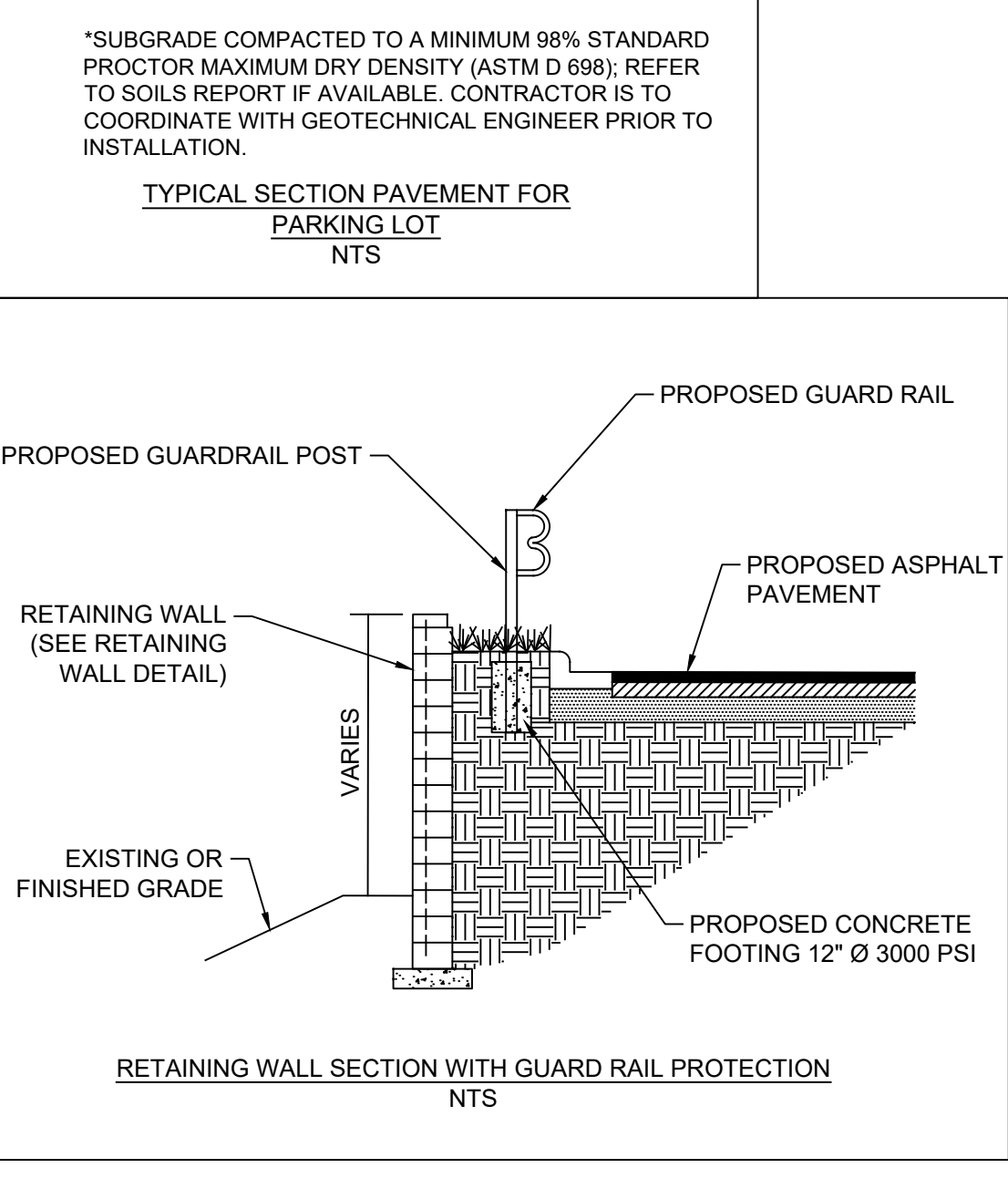
TYPICAL SECTION PAVEMENT FOR PARKING LOT

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR DRIVEWAY TURNOUT RADIUS TYPE
SHEET 1 OF 2
848.02



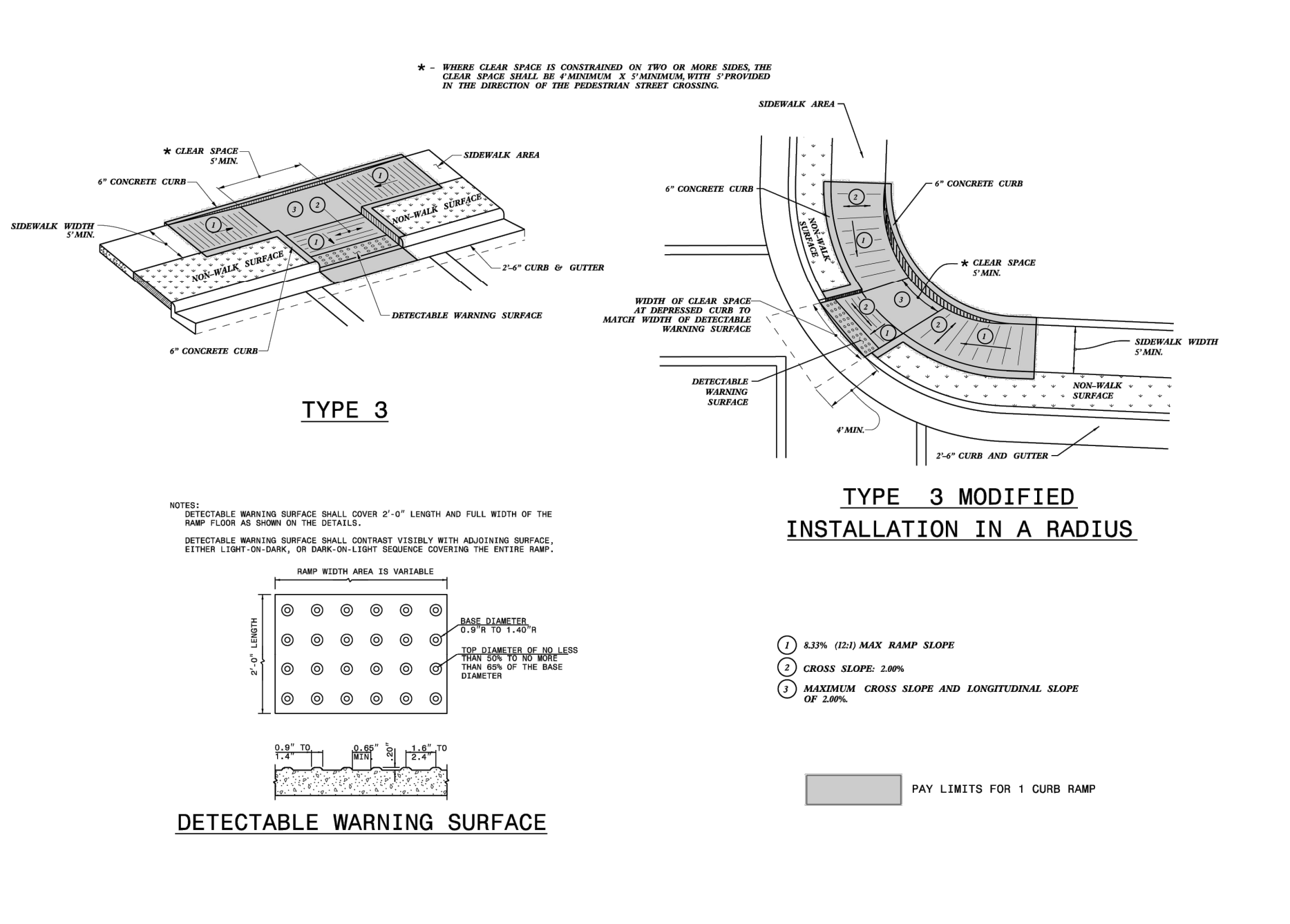
DETECTABLE WARNING SURFACE

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR CURB RAMP DIRECTIONAL RAMP
SHEET 7 OF 13
848.06



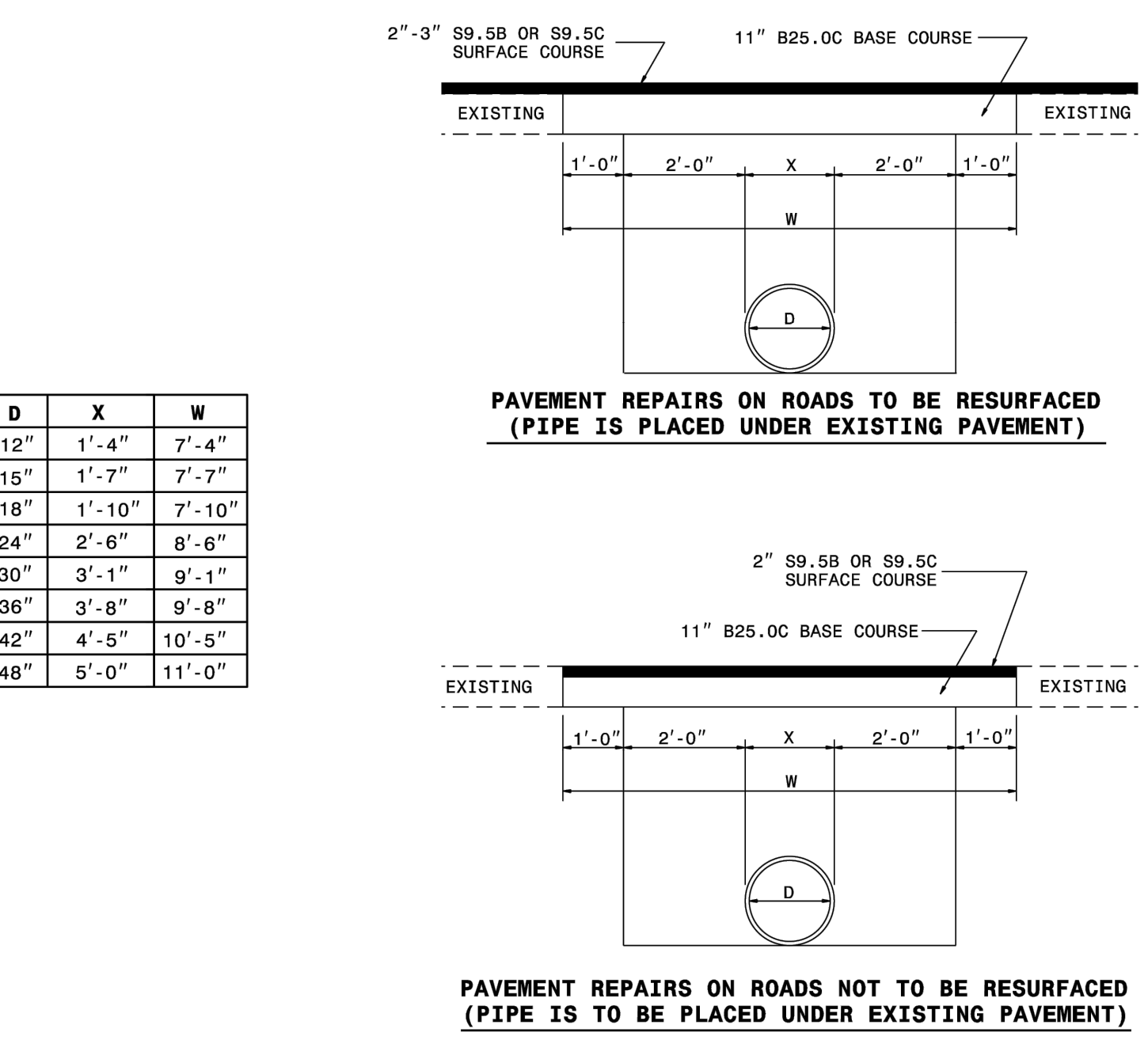
RETAINING WALL SECTION WITH GUARD RAIL PROTECTION

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR DRIVEWAY TURNOUT DRIVEWAY GRADES
SHEET 2 OF 2
848.02



DETECTABLE WARNING SURFACE

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR CURB RAMP PARALLEL RAMP
SHEET 9 OF 13
848.06



PAVEMENT REPAIRS ON ROADS TO BE RESURFACED (PIPE IS PLACED UNDER EXISTING PAVEMENT)

PAVEMENT REPAIRS ON ROADS NOT TO BE RESURFACED (PIPE IS TO BE PLACED UNDER EXISTING PAVEMENT)

D	X	W
12"	1'-4"	7'-4"
15"	1'-7"	7'-7"
18"	1'-10"	7'-10"
24"	2'-6"	8'-6"
30"	3'-1"	9'-1"
36"	3'-8"	9'-8"
42"	4'-5"	10'-5"
48"	5'-0"	11'-0"

STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR PAVEMENT REPAIRS FOR SUPERPAVE MIX TYPES
SHEET 1 OF 1
654.01

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MOUNTAIN HOME DUNKIN' DONUTS
SITE DETAILS
PROJECT LOCATION: TOWNSHIP: HOOPER'S CREEK COUNTY: HENDERSON STATE: NORTH CAROLINA
DEVELOPER INFORMATION: RICK MOORE 103 MCDOWELL RD WILSON RIVER, NC 28799 (828) 676-0607

REVISION NOTE

NO.	DATE	DESCRIPTION

DRAWN BY: JHE
CHECKED BY: TJW
DATE: 03/27/2024
PROJECT NO.: 13055.001
REF. NO.:
SCALE: NTS

3-27-24