

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: TRC 12-19-23

SUBJECT: Major Site Plan – Fire Department Addition

PRESENTER: Matt Champion

ATTACHMENTS: Staff Report & Site Plan

SUMMARY OF REQUEST: Major Site Plan review for SR 5.10 Fire and Rescue Station

SUGGESTED MOTION:

I move to approve/deny the major site plan for EHSFD Station 3 addition.



Henderson County, North Carolina Code Enforcement Services

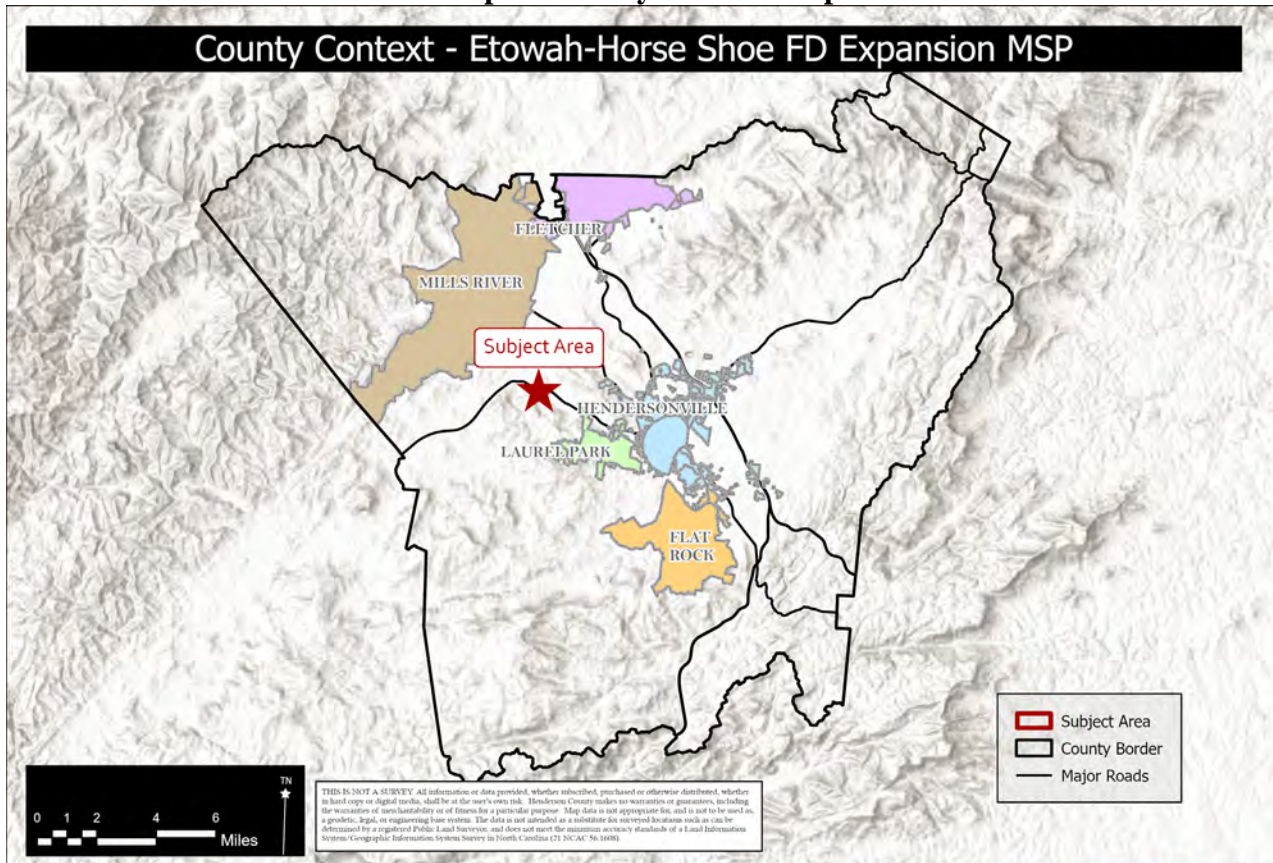
1. Committee Request

- 1.1. **Applicant:** Etowah Horse-Shoe Volunteer Fire Department
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9549-37-1688
- 1.4. **Size:** 1.6 Acres
- 1.5. **Location:** Brevard Rd across from Robin Crest Dr
- 1.6. **Supplemental Requirements:**

SR 5.10. Fire and Rescue Station

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Accessibility. *Roads* shall be maintained for motor/emergency *vehicle* access.
- (4) Operations. No drills are to be held before 8:00 a.m. or after 10:00 p.m. on an existing *residential zoning district*. No fire trucks or other emergency *vehicles* are to be permanently stored outdoors.

Map A: County Context Map



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
 Assessed Acreage: 1.6 Acres PIN: 9549-37-1688
 Current Zoning: Residential Two (R2)



2. History & Characteristics:

2.1. **Current Property Owners:** Etowah Horse-Shoe Volunteer Fire Department property was purchased, and current building completed in 2009.

2.2. **Natural Resources:**

2.2.1. **Streams:** The subject property is bound by Shaw Creek on its south boundary.

2.2.2. **Slopes:** The subject area contains slopes between 0% to 16% with small area of slopes between 16% and 25% along Brevard Rd. There is a small area where slopes are greater than 25%.

Map B: Aerial Map



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
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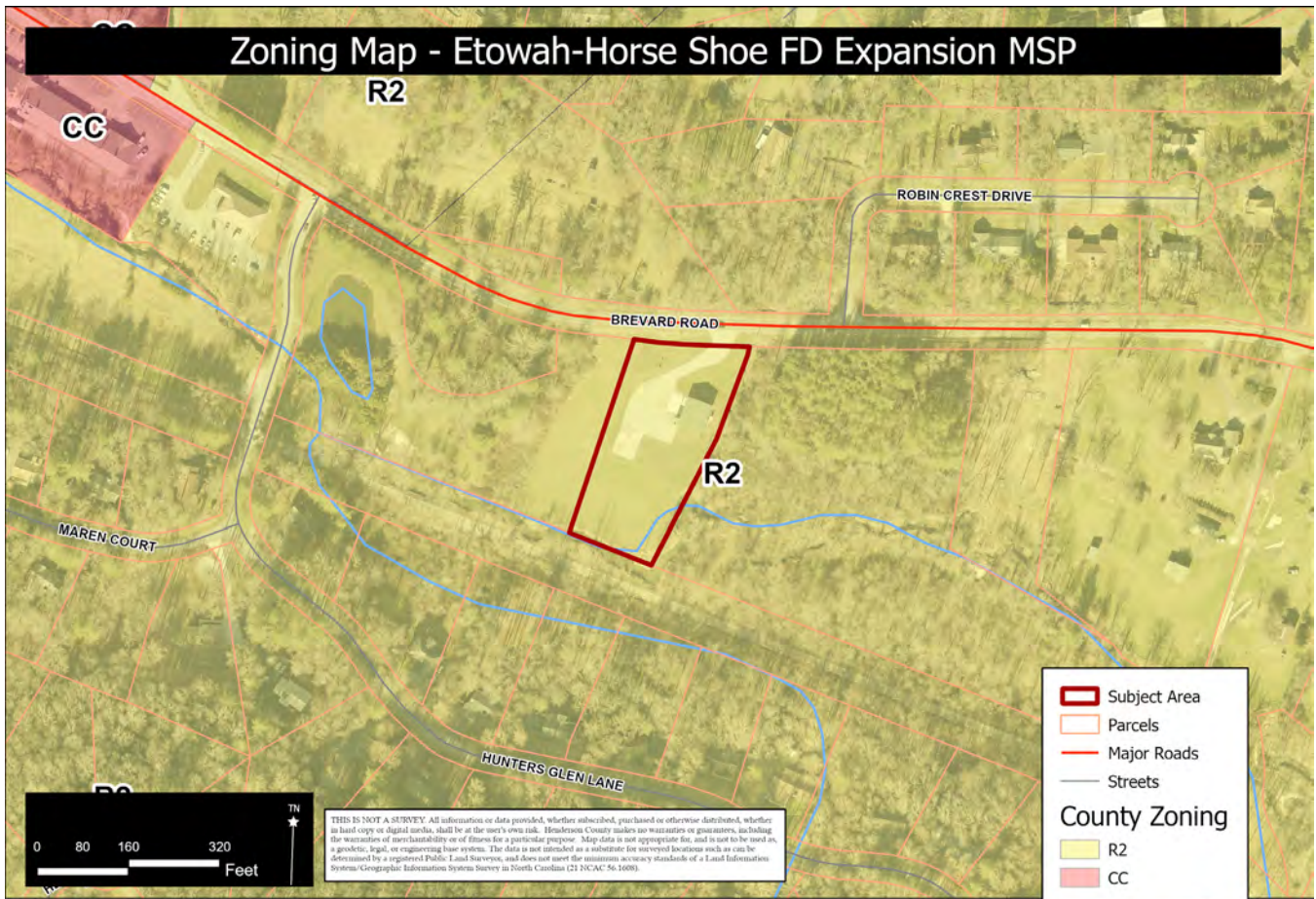


3. Current Conditions

3.1. **Current Use:** The subject area is currently a Fire and Rescue substation.

3.2. **Adjacent Area Uses:** The surrounding properties contain residential and commercial uses.

Map C: Zoning Map

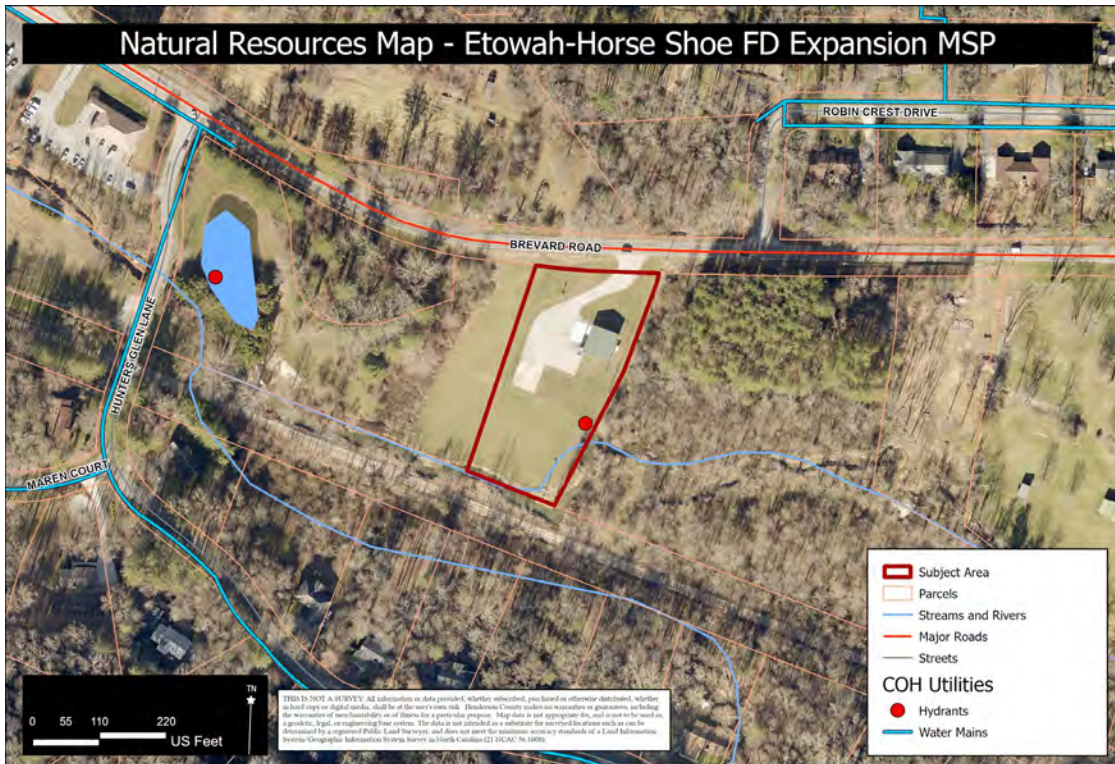


Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
Assessed Acreage: 1.6 Acres PIN: 9549-37-1688
Current Zoning: Residential Two (R2)



3. **Zoning** The subject area is located within the Residential Two (R2) zoning district.
- 3.1 **Residential Two (R2):** The purpose of Residential District Two (R2) is to foster orderly growth where the *principal use* of land is residential. The intent of this district is to allow for low to medium density *residential development* consistent with the recommendations of the *Comprehensive Plan*. It is also the intent of this district to allow for flexibility in the continuation of existing nonresidential *uses*. This general *use district* is typically meant to be utilized in areas designated as Transitional (RTA) in the *Comprehensive Plan*. (LDC §42-28)
- 3.2 **Adjacent Zoning:** Residential Two (R2) surrounds the subject area. Community Commercial is west of the property.

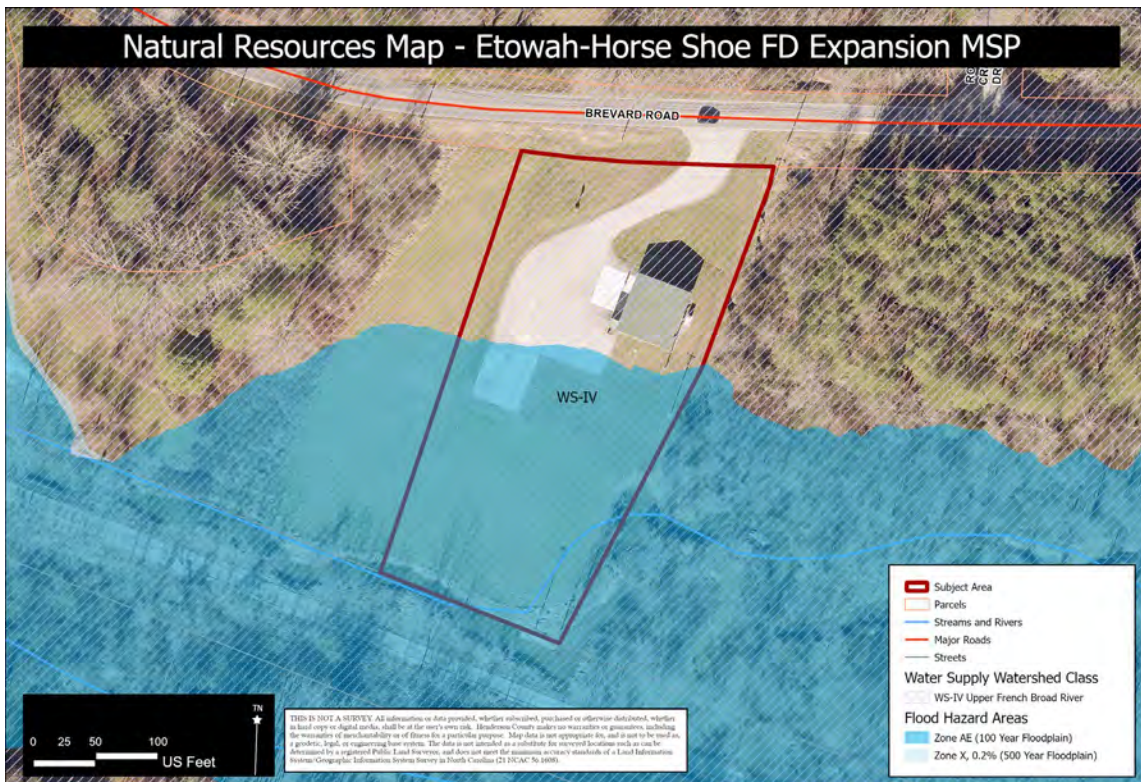
Map D: Public Utilities Map



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
 Assessed Acreage: 1.6 Acres PIN: 9549-37-1688
 Current Zoning: Residential Two (R2)



Map E: Natural Resources



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
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 Current Zoning: Residential Two (R2)

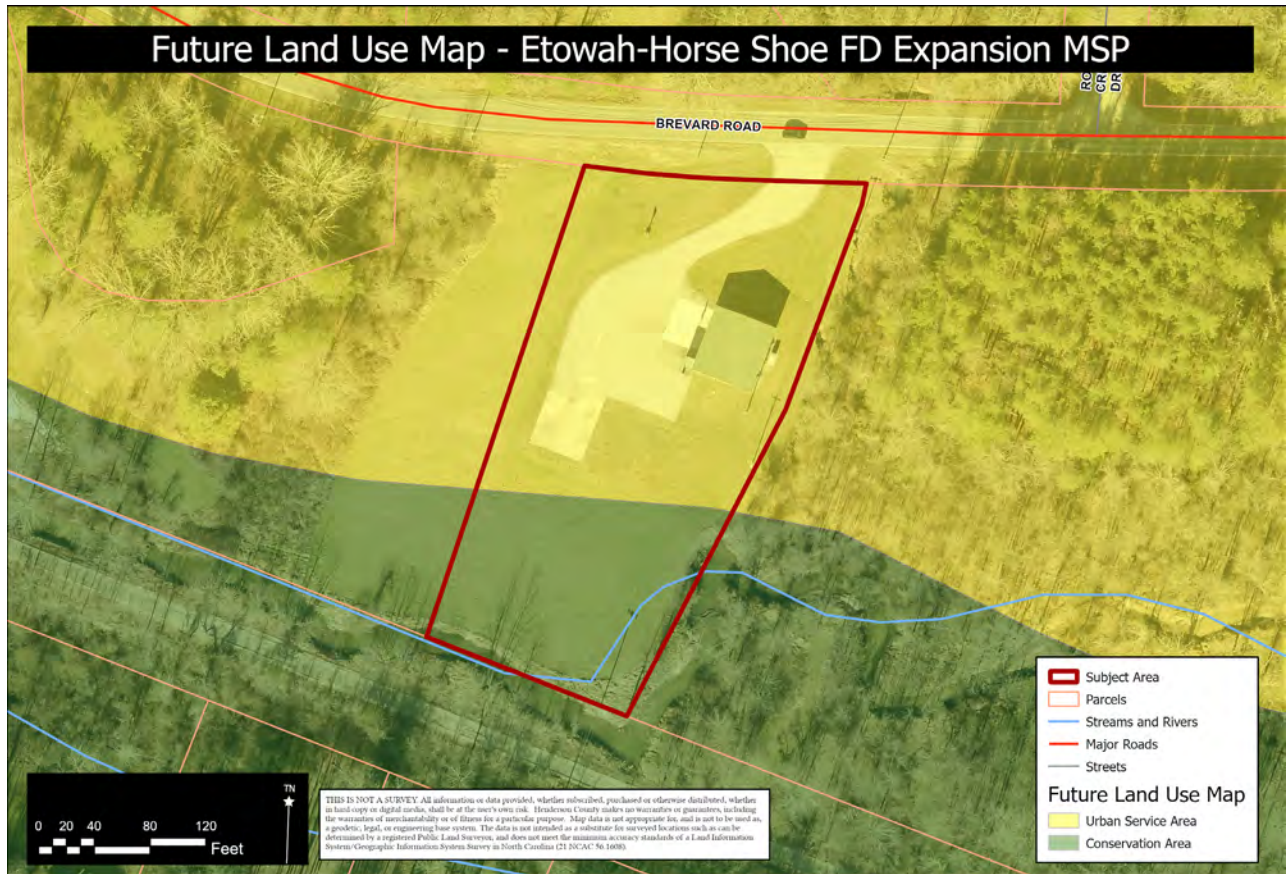


- 4. **Floodplain /Watershed Protection** The subject area is in the 100-year Special Flood Hazard Area. The property is in the WS-IV Protected Area Upper French Broad River Water Supply Watershed district. Shaw Creek abuts the property south and east.
- 5. **Water and Sewer** This property will be served by Hendersonville Water and a private septic system.

Public Water: City of Hendersonville

Public Sewer: N/A

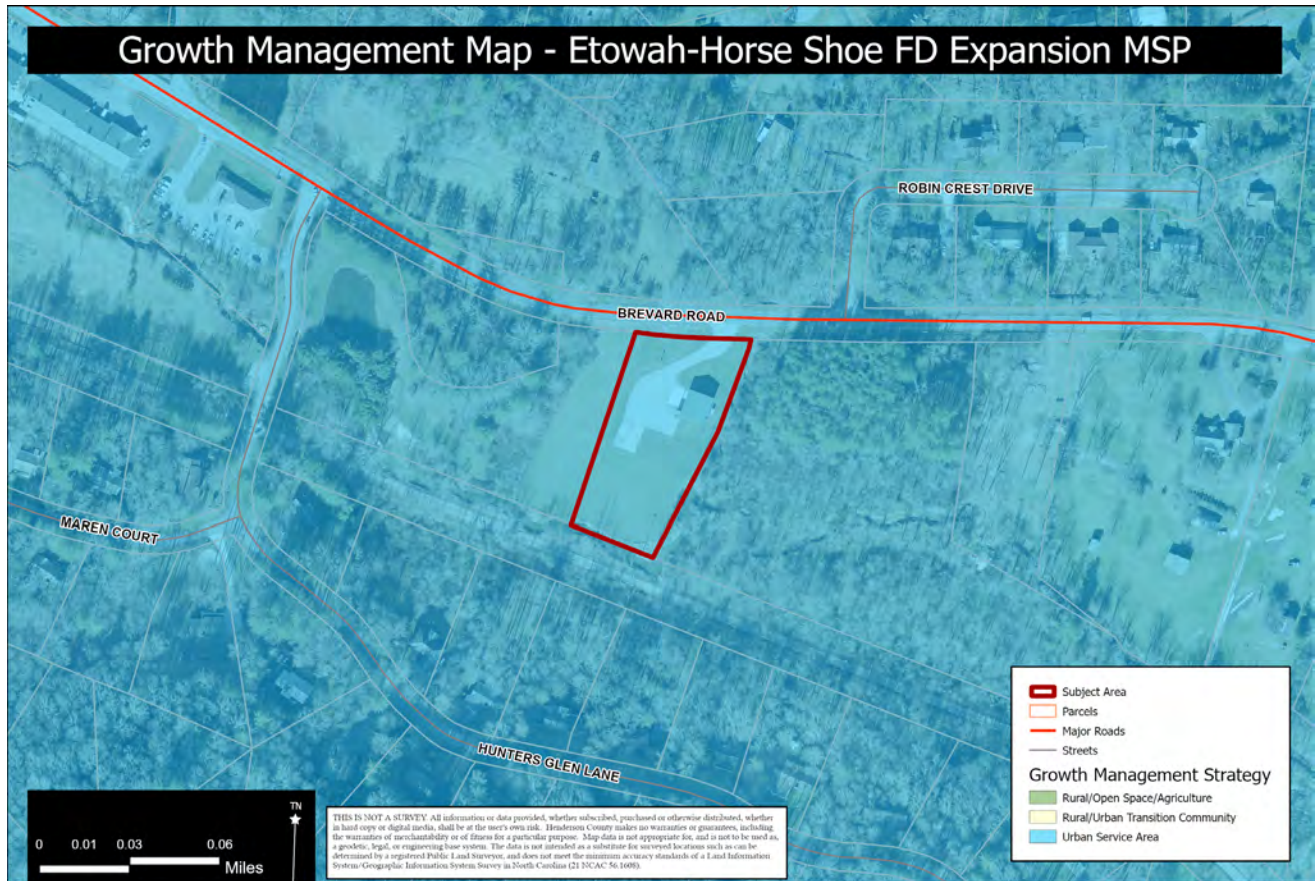
Map E: CCP Future Land Use Map



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
Assessed Acreage: 1.6 Acres PIN: 9549-37-1688
Current Zoning: Residential Two (R2)



Map F: Growth Management Strategy



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department
 Assessed Acreage: 1.6 Acres PIN: 9549-37-1688
 Current Zoning: Residential Two (R2)



6. **The Henderson County Comprehensive Plan (CCP)** The CCP Future Land Use Map identifies the subject area as being in a Urban Services Area and Conservation Area (See Map E).

Rural Transition Area: The CCP states that, “The Urban Services Area is that area within which most urban services and urban- scale development is currently concentrated, and within which such development should generally be concentrated through the year 2020.” (CCP, Pg. 132).

The Growth Management Strategy map places the subject area in the Urban Service Area.

7. **Proposal** The applicant is proposing to expand the existing EHSFD Station #3 substation. The addition will include sleeping quarters and apparatus parking. The existing building square footage is 2,125 and total new square footage will be 13,204. The site will have 27 parking spaces and 2 van accessible spaces.

8. **Photos**

Pictometry



Google Street View





1 NEW WORK SITE PLAN
SP101 3/4" = 1'-0"



THE TAMARA PEACOCK COMPANY
Architects
104 FIRST AVENUE EAST, SUITE A
HENDERSONVILLE, NC 28792
Phone: 828.696.4000

project design team:
the tamara peacock co. architects
104 FIRST AVENUE EAST, SUITE A
HENDERSONVILLE, NC 28792
PH: 828.696.4000

owner:
MICHAEL HUGGINS, FIRE CHIEF
ETOWAH HORSESHOE FIRE &
15 MORGAN ROAD
HORSESHOE, NC

project name:
ETOWAH FIREHOUSE
#3 23-020
3712 Brevard Road,
Etowah Horseshoe,
NC 28791

Issued for:
SCHEMATIC

date:
5/23/2023

sheet name:
SITE PLAN
NEW WORK

revisions:

This document is property of Tamara Peacock Company and no part herein shall be used except for the specific project without consent of The Tamara Peacock Company. This document was prepared by The Tamara Peacock Company according to the terms of general conditions of the contract for construction.

This document does not either in whole or in part constitute any direction or instruction to any contractor with regard to construction means, methods or techniques. By this document the architect does not intend to express any opinion, direction or instruction of any kind whatsoever as to the manner in which the construction work is to be accomplished.

date:
8/10/2023 3:13:12 PM

Proj No:
23-020

Drawn by:
AUTUMN

Checked by:
C.H.

Proj Mgr:
DESIGNER

Checked by:
APPROVER

sheet no.:
SP101

BUILDING STATISTICS

ADDRESS: 3712 BREVARD ROAD
ETOWAH- HORSESHOE, NC 28791

BUILDING USE: GOVERNMENTAL FIRE DEPT.
BUILDING TYPE: TYPE II-B, SPRINKLERED

OCCUPANCY USE: BUSINESS 477 SF
S-2 STORAGE 5422 SF
R-2 RESIDENTIAL 2966 SF

ZONING: R2 RESIDENTIAL
ADJACENT ZONING: R2 RESIDENTIAL

BUILDING SQUARE FOOTAGE: 6601 SF
NEW WORK SF: 13,204 SF
SITE ACEAGE: 1.6
TOTAL STORIES: 2

PIN: # 9549-37-1889
PROPERTY DESCRIPTION: ETOWAH HORSE SHOE FIRE DEPARTMENT LO1.95AC PL2009-7736

PROPERTY OWNER: ETOWAH-HORSE SHOE VOLUNTEER FIRE DEPARTMENT

NOTE: TOTAL UNIT S.F. TAKEN FROM CENTER LINE OF ADJACENT, EXTERIOR FACE OF OUTER, OCC. S.F. IS USEABLE FINISH FACE TO FINISH FACE DIMENSIONS.

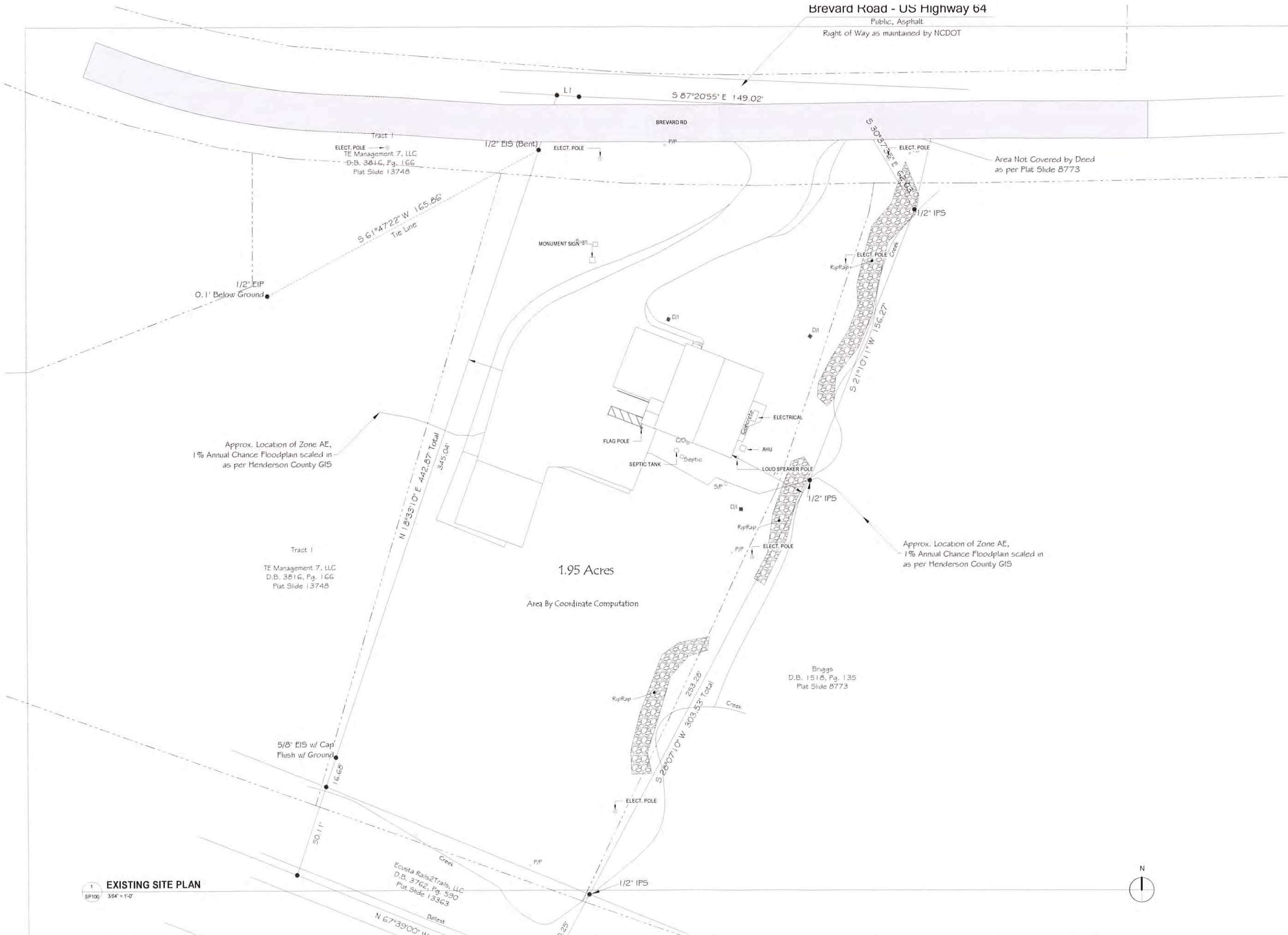
ZONING LEGEND

A - SITE DATA	
ZONING DISTRICT	R2 RESIDENTIAL
SITE AREA	69,696 SF
B - SITE COMPOSITION (LC)	
SITE AREA	N/A
BUILDING AREAS (LOT COVERAGE)	80,000
TOTAL PAVED AREAS	MAX 50%
TOTAL OPEN LANDSCAPED AREA	N/A
C - SETBACKS (LC)	
FRONT SETBACK BREVARD RD	50' - 0"
SIDE SETBACK	10' - 0"
REAR SETBACK	10' - 0"
D - BLDG. HEIGHT (LC)	
MAXIMUM HEIGHT ALLOWED	40' - 0"

PARKING

A - REGULAR OFF-STREET PARKING SPACES		REQUIRED	PROVIDED
RESIDENTIAL	7 DORMITORIES	11	11
BUSINESS	5603 SF	12	12
STORAGE (warehouse)	11726 SF	1	1
LOADING	12260 SF	1	1
B - ACCESSIBLE PARKING SPACE		2	2
C - TOTAL PARKING SPACES EXISTING		16	N/A
D - TOTAL SURPLUS		N/A	0
E - NEW PARKING SPACES ADDED		N/A	10
F - TOTAL PARKING SPACES		27	27

HENDERSON COUNTY ZONING REGULATIONS 42-193 REQUIRED PARKING SPACES
RESIDENTIAL MULTIFAMILY 1.5 PER DWELLING UNIT
COMMERCIAL/OFFICE/INSTITUTIONAL/CVIC 1500 SF OF GROSS FLOOR AREA
INDUSTRIAL/WAREHOUSE 14000 SF OF GROSS FLOOR AREA
OFF-STREET LOADING REQUIREMENT 1 SPACE FOR 10,001-40,000 GROSS SF



NOT TO SCALE

THE TAMARA PEACOCK COMPANY
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Tamara Peacock, R.A.
 License No: 12126

issued for:
 SCHEMATIC

date:
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sheet name:
SITE PLAN DEMO WORK

revisions:

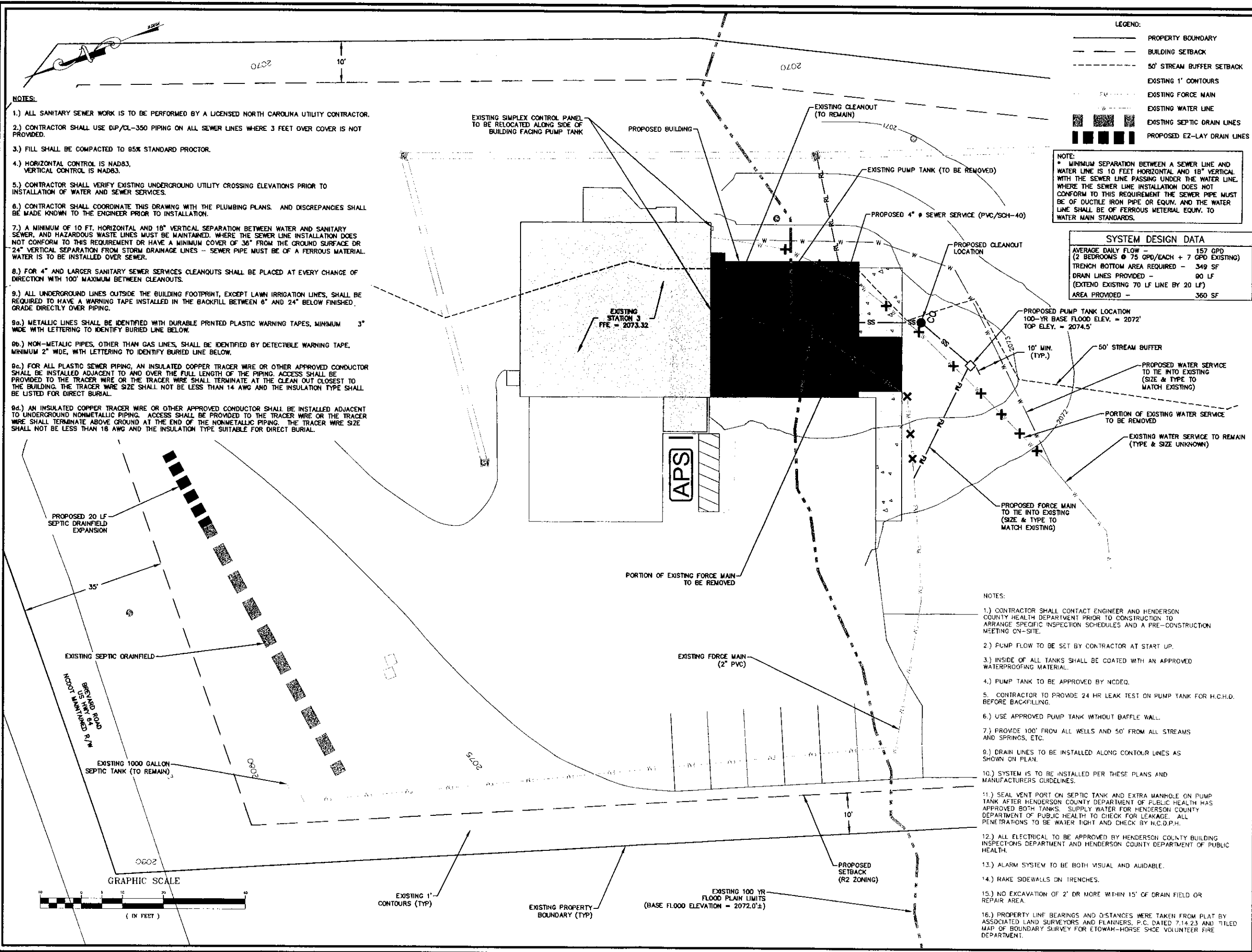
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date: 5/10/2023 3:12:13 PM
 P/R No: 23-020
 drawn by: JUTINGER
 checked by: JUTINGER
 in-charge: JUTINGER
 owner: Being Called the Parcel a
 D.B. 1306, P.
 CHECKER APPROVER

sheet no:
SP100
 Map of Boundary:
 Etowah-Hc
 Volunteer Fire

1 EXISTING SITE PLAN
 SP100 3/8" = 1'-0"





- NOTES:**
- 1.) ALL SANITARY SEWER WORK IS TO BE PERFORMED BY A LICENSED NORTH CAROLINA UTILITY CONTRACTOR.
 - 2.) CONTRACTOR SHALL USE DIP/CL-350 PIPING ON ALL SEWER LINES WHERE 3 FEET OVER COVER IS NOT PROVIDED.
 - 3.) FILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
 - 4.) HORIZONTAL CONTROL IS HAD83, VERTICAL CONTROL IS HAD83.
 - 5.) CONTRACTOR SHALL VERIFY EXISTING UNDERGROUND UTILITY CROSSING ELEVATIONS PRIOR TO INSTALLATION OF WATER AND SEWER SERVICES.
 - 6.) CONTRACTOR SHALL COORDINATE THIS DRAWING WITH THE PLUMBING PLANS. AND DISCREPANCIES SHALL BE MADE KNOWN TO THE ENGINEER PRIOR TO INSTALLATION.
 - 7.) A MINIMUM OF 10 FT. HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER, AND HAZARDOUS WASTE LINES MUST BE MAINTAINED. WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT OR HAVE A MINIMUM COVER OF 36" FROM THE GROUND SURFACE OR 24" VERTICAL SEPARATION FROM STORM DRAINAGE LINES - SEWER PIPE MUST BE OF A FERROUS MATERIAL. WATER IS TO BE INSTALLED OVER SEWER.
 - 8.) FOR 4" AND LARGER SANITARY SEWER SERVICES CLEANOUTS SHALL BE PLACED AT EVERY CHANGE OF DIRECTION WITH 100' MAXIMUM BETWEEN CLEANOUTS.
 - 9.) ALL UNDERGROUND LINES OUTSIDE THE BUILDING FOOTPRINT, EXCEPT LAWN IRRIGATION LINES, SHALL BE REQUIRED TO HAVE A WARNING TAPE INSTALLED IN THE BACKFILL BETWEEN 8" AND 24" BELOW FINISHED GRADE DIRECTLY OVER PIPING.
 - 9a.) METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3" WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - 9b.) NON-METALLIC PIPES, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE WARNING TAPE, MINIMUM 2" WIDE, WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
 - 9c.) FOR ALL PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEAN OUT CLOSEST TO THE BUILDING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
 - 9d.) AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO UNDERGROUND NONMETALLIC PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE ABOVE GROUND AT THE END OF THE NONMETALLIC PIPING. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 18 AWG AND THE INSULATION TYPE SUITABLE FOR DIRECT BURIAL.

LEGEND:

- PROPERTY BOUNDARY
- - - BUILDING SETBACK
- - - 50' STREAM BUFFER SETBACK
- - - EXISTING 1" CONTOURS
- - - EXISTING FORCE MAIN
- - - EXISTING WATER LINE
- - - EXISTING SEPTIC DRAIN LINES
- - - PROPOSED EZ-LAY DRAIN LINES

NOTE:
MINIMUM SEPARATION BETWEEN A SEWER LINE AND WATER LINE IS 10 FEET HORIZONTAL AND 18" VERTICAL WITH THE SEWER LINE PASSING UNDER THE WATER LINE. WHERE THE SEWER LINE INSTALLATION DOES NOT CONFORM TO THIS REQUIREMENT THE SEWER PIPE MUST BE OF DUCTILE IRON PIPE OR EQUIV. AND THE WATER LINE SHALL BE OF FERROUS METERAL EQUIV. TO WATER MAIN STANDARDS.

SYSTEM DESIGN DATA

AVERAGE DAILY FLOW -	157 GPD
(2 BEDROOMS @ 75 GPD/EACH + 7 GPD EXISTING)	
TRENCH BOTTOM AREA REQUIRED -	349 SF
DRAIN LINES PROVIDED -	90 LF
(EXTENDING EXISTING 70 LF LINE BY 20 LF)	
AREA PROVIDED -	360 SF

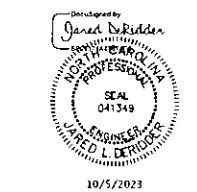
- NOTES:**
- 1.) CONTRACTOR SHALL CONTACT ENGINEER AND HENDERSON COUNTY HEALTH DEPARTMENT PRIOR TO CONSTRUCTION TO ARRANGE SPECIFIC INSPECTION SCHEDULES AND A PRE-CONSTRUCTION MEETING ON-SITE.
 - 2.) PUMP FLOW TO BE SET BY CONTRACTOR AT START UP.
 - 3.) INSIDE OF ALL TANKS SHALL BE COATED WITH AN APPROVED WATERPROOFING MATERIAL.
 - 4.) PUMP TANK TO BE APPROVED BY NCDEQ.
 - 5.) CONTRACTOR TO PROVIDE 24 HR LEAK TEST ON PUMP TANK FOR H.C.H.D. BEFORE BACKFILLING.
 - 6.) USE APPROVED PUMP TANK WITHOUT BAFFLE WALL.
 - 7.) PROVIDE 100' FROM ALL WELLS AND 50' FROM ALL STREAMS AND SPRINGS, ETC.
 - 8.) DRAIN LINES TO BE INSTALLED ALONG CONTOUR LINES AS SHOWN ON PLAN.
 - 9.) SYSTEM IS TO BE INSTALLED PER THESE PLANS AND MANUFACTURERS GUIDELINES.
 - 10.) SEAL VENT PORT ON SEPTIC TANK AND EXTRA MANHOLE ON PUMP TANK AFTER HENDERSON COUNTY DEPARTMENT OF PUBLIC HEALTH HAS APPROVED BOTH TANKS. SUPPLY WATER FOR HENDERSON COUNTY DEPARTMENT OF PUBLIC HEALTH TO CHECK FOR LEAKAGE. ALL PENETRATIONS TO BE WATER TIGHT AND CHECK BY H.C.D.P.H.
 - 11.) ALL ELECTRICAL TO BE APPROVED BY HENDERSON COUNTY BUILDING INSPECTIONS DEPARTMENT AND HENDERSON COUNTY DEPARTMENT OF PUBLIC HEALTH.
 - 12.) ALARM SYSTEM TO BE BOTH VISUAL AND AUDIBLE.
 - 13.) RAKE SIDEWALLS ON TRENCHES.
 - 14.) NO EXCAVATION OF 2' OR MORE WITHIN 15' OF DRAIN FIELD OR REPAIR AREA.
 - 15.) PROPERTY LINE BEARINGS AND DISTANCES WERE TAKEN FROM PLAT BY ASSOCIATED LAND SURVEYORS AND PLAINERS, P.C. DATED 7.14.23 AND TITLED MAP OF BOUNDARY SURVEY FOR ETOWAH-HORSE SHOE VOLUNTEER FIRE DEPARTMENT.

WGLA Engineering

WGLA ENGINEERING, PLLC
724 5th AVENUE WEST
HENDERSONVILLE, NC 28739
(828) 687-7177
WGLA.COM
NC LICENSE P-1342

ETOWAH HORSE SHOE FIRE DEPARTMENT

HENDERSON COUNTY NORTH CAROLINA



REVISIONS

DATE	DESCRIPTION

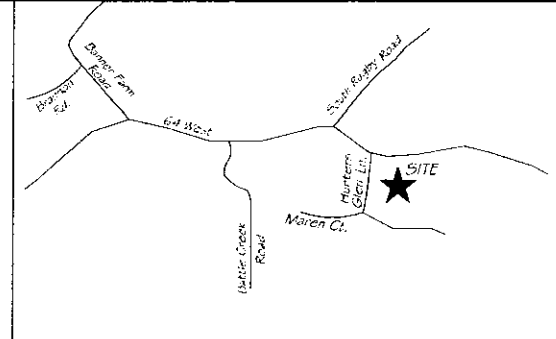
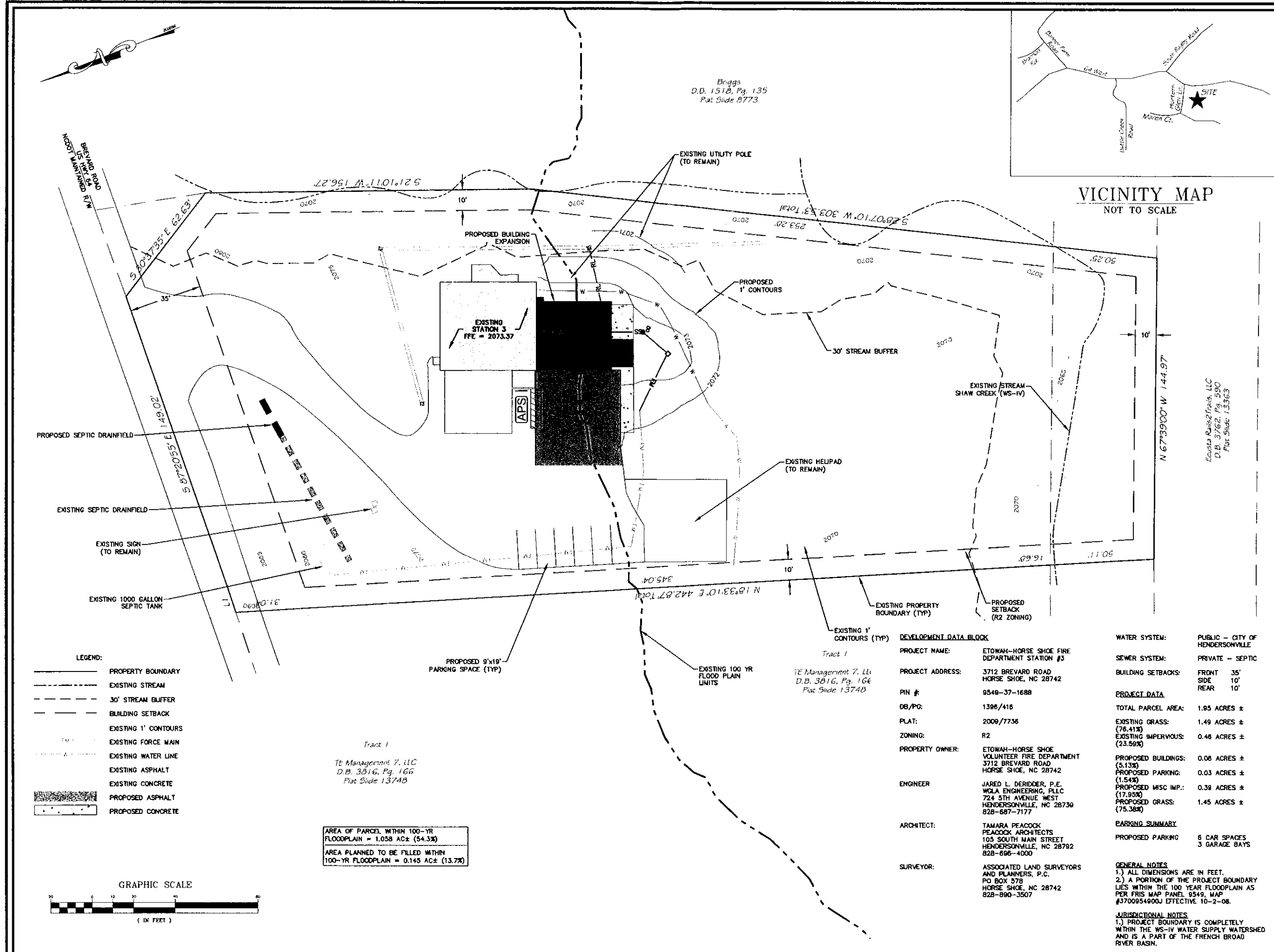


PROJECT NUMBER: 23166
DATE: 8-23-23

STATION 3 UTILITY PLAN

C-201

SCALE: 1"=10'

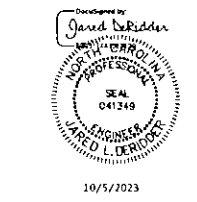


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ETOWAH HORSE SHOE FIRE DEPARTMENT

HENDERSON COUNTY
NORTH CAROLINA



10/5/2023

REVISIONS	
DATE	DESCRIPTION



PROJECT NUMBER: 23166
DATE: 8-23-23

STATION 3 SITE PLAN

C-200

SCALE: 1"=20'

DEVELOPMENT DATA BLOCK	
PROJECT NAME:	ETOWAH-HORSE SHOE FIRE DEPARTMENT STATION #3
PROJECT ADDRESS:	3712 BREVARD ROAD HORSE SHOE, NC 28742
PIN #:	9549-37-1688
06/PG:	1386/416
PLAT:	2009/7736
ZONING:	R2
PROPERTY OWNER:	ETOWAH-HORSE SHOE VOLUNTEER FIRE DEPARTMENT 3712 BREVARD ROAD HORSE SHOE, NC 28742
ENGINEER:	JARED L. DERIDDER, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739 828-687-7177
ARCHITECT:	TAMARA PEACOCK PEACOCK ARCHITECTS 105 SOUTH MAIN STREET HENDERSONVILLE, NC 28792 828-696-4000
SURVEYOR:	ASSOCIATED LAND SURVEYORS AND PLANNERS, P.C. PO BOX 378 HORSE SHOE, NC 28742 828-890-3507

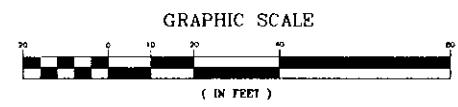
WATER SYSTEM:	PUBLIC - CITY OF HENDERSONVILLE
SEWER SYSTEM:	PRIVATE - SEPTIC
BUILDING SETBACKS:	FRONT 35' SIDE 10' REAR 10'
PROJECT DATA	
TOTAL PARCEL AREA:	1.95 ACRES ±
EXISTING GRASS:	1.49 ACRES ± (76.41%)
EXISTING IMPERVIOUS:	0.46 ACRES ± (23.59%)
PROPOSED BUILDINGS:	0.08 ACRES ± (5.13%)
PROPOSED PARKING:	0.03 ACRES ± (1.54%)
PROPOSED MISC IMP.:	0.39 ACRES ± (17.95%)
PROPOSED GRASS:	1.45 ACRES ± (75.38%)
PARKING SUMMARY	
PROPOSED PARKING	6 CAR SPACES 3 GARAGE BAYS

GENERAL NOTES
1.) ALL DIMENSIONS ARE IN FEET.
2.) A PORTION OF THE PROJECT BOUNDARY LIES WITHIN THE 100 YEAR FLOODPLAIN AS PER FRIS MAP PANEL 9549, MAP #3700954900J EFFECTIVE 10-2-08.

JURISDICTIONAL NOTES
1.) PROJECT BOUNDARY IS COMPLETELY WITHIN THE WS-IV WATER SUPPLY WATERSHED AND IS A PART OF THE FRENCH BROAD RIVER BASIN.

- LEGEND:**
- PROPERTY BOUNDARY
 - - - EXISTING STREAM
 - - - 30' STREAM BUFFER
 - - - BUILDING SETBACK
 - - - EXISTING 1' CONTOURS
 - - - EXISTING FORCE MAIN
 - - - EXISTING WATER LINE
 - - - EXISTING ASPHALT
 - - - EXISTING CONCRETE
 - - - PROPOSED ASPHALT
 - - - PROPOSED CONCRETE

AREA OF PARCEL WITHIN 100-YR FLOODPLAIN = 1.058 AC± (54.3%)
AREA PLANNED TO BE FILLED WITHIN 100-YR FLOODPLAIN = 0.145 AC± (13.7%)



Tract 1
TE Management 7, LLC
D.B. 3816, Pg. 166
Plat Slide 13748

Tract 1
TE Management 7, LLC
D.B. 3816, Pg. 166
Plat Slide 13748

Ecotas Reins2Trails, LLC
D.B. 3762, Pg. 590
Plat Slide 13963

Briggs
D.B. 1518, Pg. 135
Plat Slide 8773