

**REQUEST FOR COMMITTEE ACTION**

**HENDERSON COUNTY**

**TECHNICAL REVIEW COMMITTEE**

**MEETING: TRC 12-19-23**

**SUBJECT: Major Site Plan – Fire Department Addition**

**PRESENTER: Matt Champion**

**ATTACHMENTS: Staff Report & Site Plan**

**SUMMARY OF REQUEST: Major Site Plan review for SR 5.10 Fire and Rescue Station**

**SUGGESTED MOTION:**

**I move to approve/deny the major site plan for EHSFD Station 4 addition.**



# Henderson County, North Carolina Code Enforcement Services

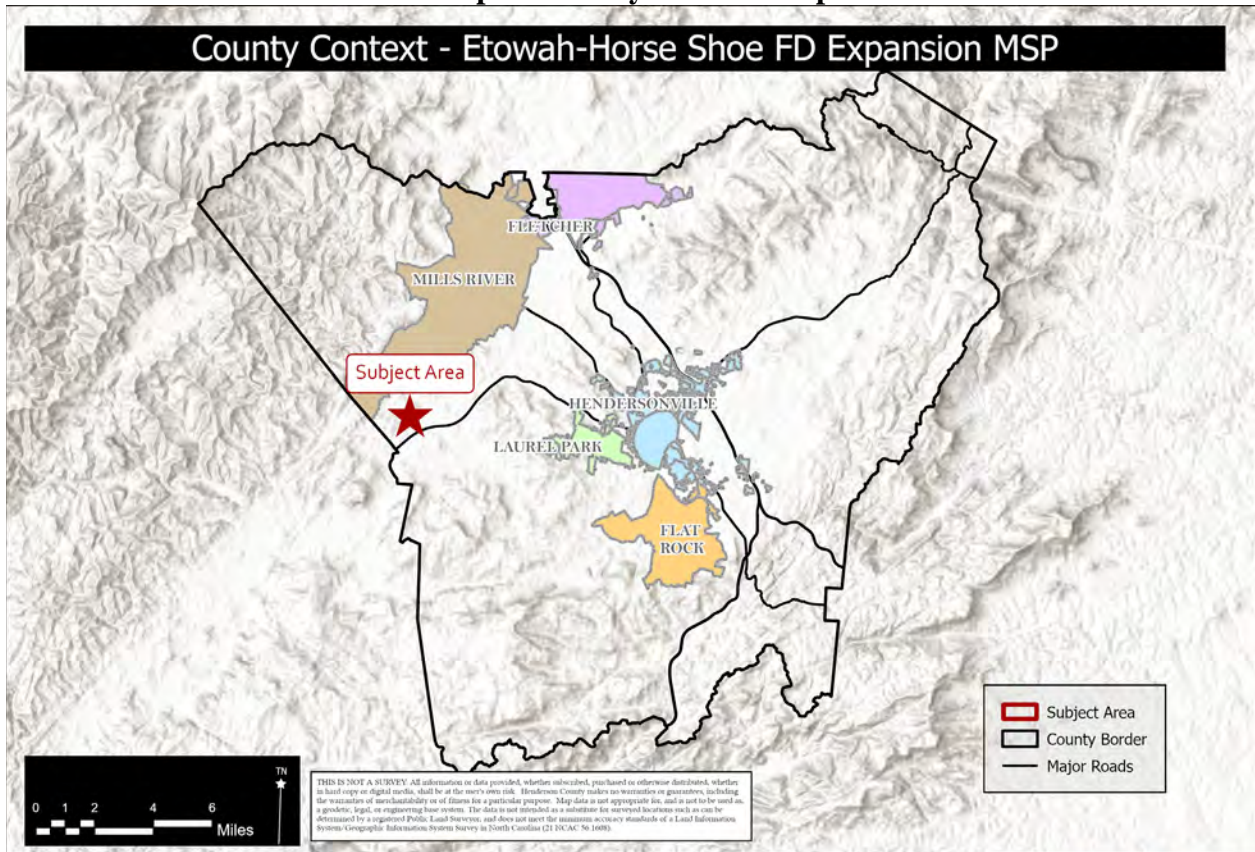
## 1. Committee Request

- 1.1. **Applicant:** Etowah Horse-Shoe Volunteer Fire Department
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9529-20-0731
- 1.4. **Size:** 4.16 Acres
- 1.5. **Location:** 744 Brickyard Rd across from W Fairway Dr
- 1.6. **Supplemental Requirements:**

### SR 5.10. Fire and Rescue Station

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Accessibility. *Roads* shall be maintained for motor/emergency *vehicle* access.
- (4) Operations. No drills are to be held before 8:00 a.m. or after 10:00 p.m. on an existing *residential zoning district*. No fire trucks or other emergency *vehicles* are to be permanently stored outdoors.

**Map A: County Context Map**



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department  
 Assessed Acreage: 4.16 Acres PIN: 9529-20-0731  
 Current Zoning: Residential One (R1)





**2. History & Characteristics:**

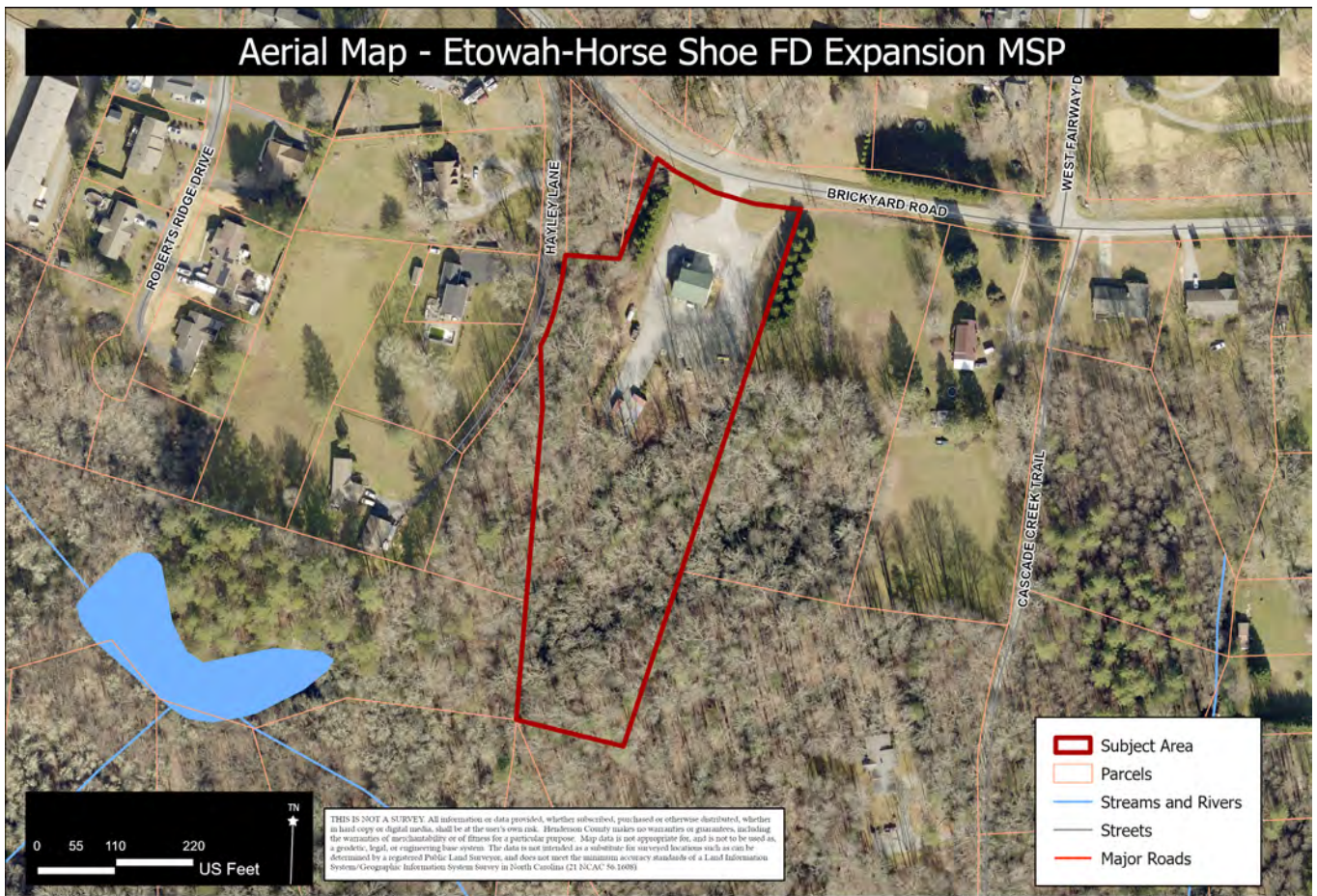
2.1. **Current Property Owners:** Etowah Horse-Shoe Volunteer Fire Department property was purchased, and current building completed in 2009.

2.2. **Natural Resources:**

2.2.1. **Streams:** The subject property has an unknown tributary on the southern portion of the parcel.

2.2.2. **Slopes:** The subject area contains slopes between 0% to 16% with small area of slopes between 16% and 25% on its southern portion. There is a small area where slopes are greater than 25%.

**Map B: Aerial Map**



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department  
Assessed Acreage: 4.16 Acres PIN: 9529-20-0731  
Current Zoning: Residential One (R1)



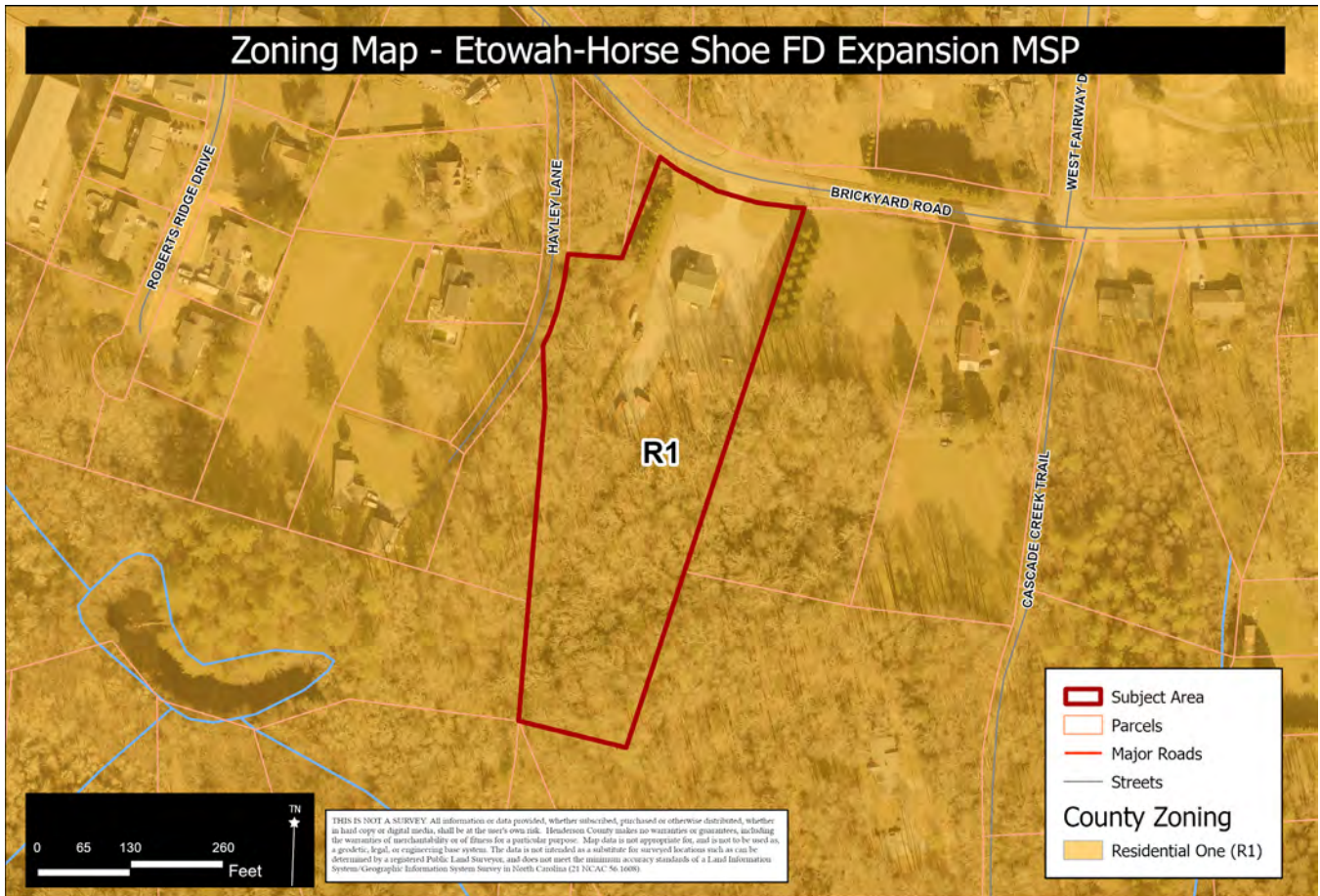
**3. Current Conditions**

3.1. **Current Use:** The subject area is currently a Fire and Rescue station.

3.2. **Adjacent Area Uses:** The surrounding properties contain residential uses.



### Map C: Zoning Map



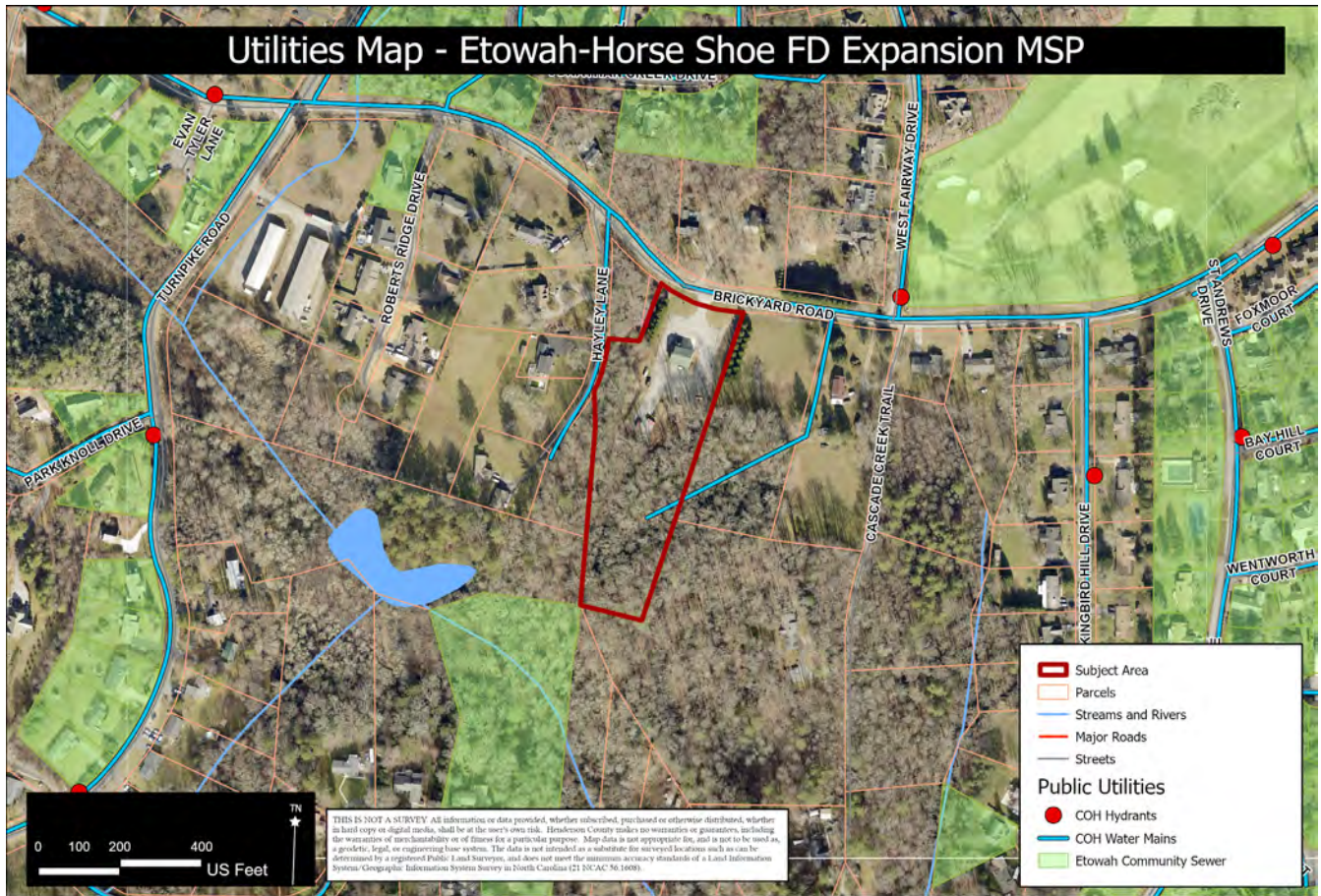
Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department  
Assessed Acreage: 4.16 Acres PIN: 9529-20-0731  
Current Zoning: Residential One (R1)



- 3. **Zoning** The subject area is located within the Residential Two (R1) zoning district.
  - 3.1 **Residential Purpose.** The purpose of Residential District One (R1) is to foster orderly growth where the *principal use* of land is residential. The intent of this district is to allow for medium to high-density *residential development* consistent with the recommendations of the *Comprehensive Plan*. This general *use district* is typically meant to be utilized in areas designated as Urban (USA) in the *Comprehensive Plan*.
  - 3.2 **Adjacent Zoning:** Residential Two (R1) surrounds the subject area.



### Map D: Public Utilities Map



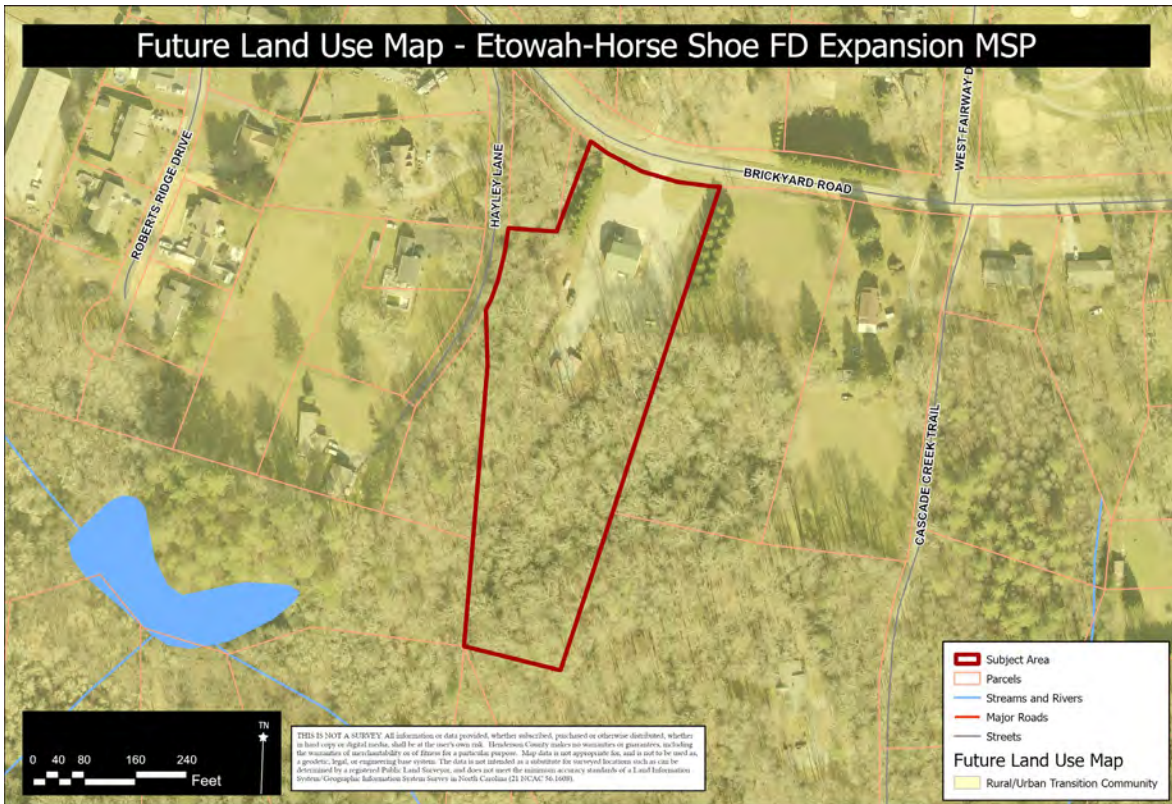
Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department  
 Assessed Acreage: 4.16 Acres PIN: 9529-20-0731  
 Current Zoning: Residential One (R1)



- Floodplain /Watershed Protection** The subject area is not in the 100-year Special Flood Hazard Area. The property is not in a Water Supply Watershed district. There is an unknown tributary on the southern portion of the property.
- Water and Sewer** This property will be served by Hendersonville Water and Etowah Sewer.  
**Public Water:** City of Hendersonville  
**Public Sewer:** Etowah Sewer Company



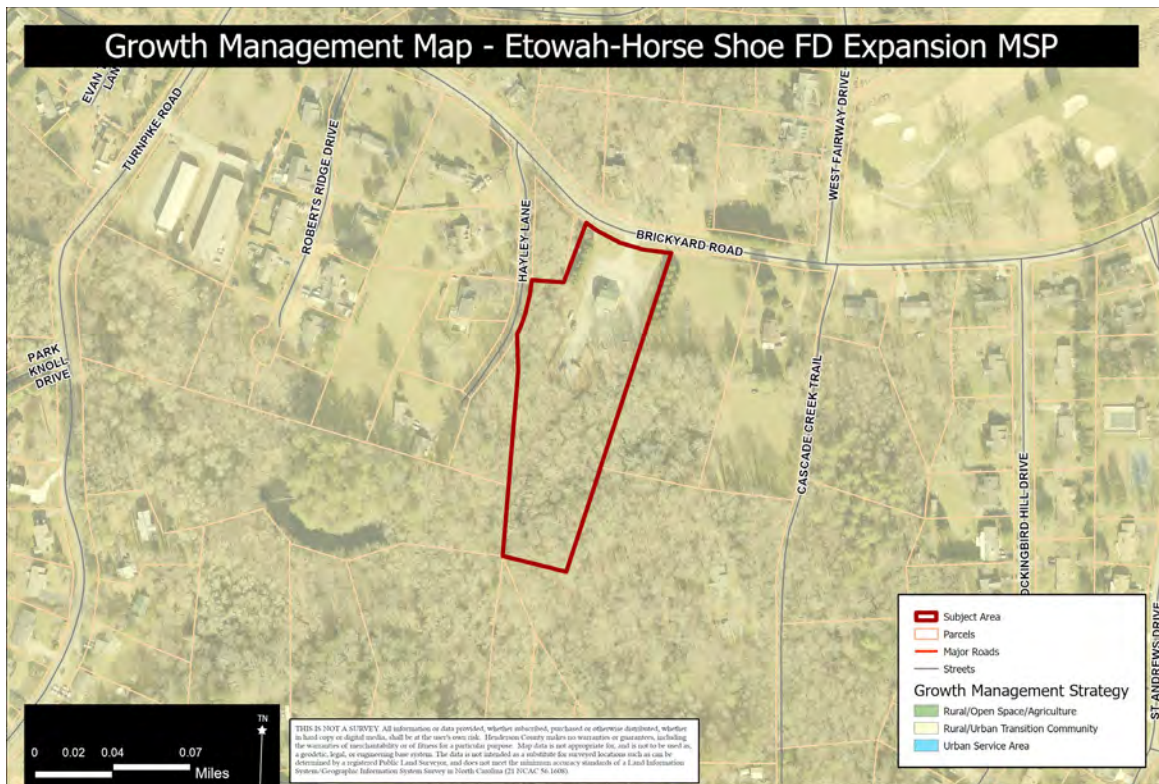
**Map E: CCP Future Land Use Map**



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department  
 Assessed Acreage: 4.16 Acres PIN: 9529-20-0731  
 Current Zoning: Residential One (R1)



**Map F: Growth Management Strategy**



Property Owner/Applicant: Etowah-Horse Shoe Volunteer Fire Department  
 Assessed Acreage: 4.16 Acres PIN: 9529-20-0731  
 Current Zoning: Residential One (R1)





- 6. The Henderson County Comprehensive Plan (CCP)** The CCP Future Land Use Map identifies the subject area as being in Rural/Urban Transition Community (See Map E).

**Rural Transition Area:** The CCP states that, “The Urban Services Area is that area within which most urban services and urban- scale development is currently concentrated, and within which such development should generally be concentrated through the year 2020.” (CCP, Pg. 132).

The Growth Management Strategy map places the subject area in the Rural/Open Space/Agriculture Area..

- 7. Proposal** The applicant is proposing to expand the existing EHSFD Station #4 substation. The addition will include sleeping quarters and apparatus parking. The existing building square footage is ?? and total new square footage will be ??. The site will have ?? parking spaces and ? van accessible spaces.

- 8. Photos**

**Pictometry**



**Google Street View**





# ETOWAH FIREHOUSE #4

## HENDERSONVILLE, NC

### OWNER

ROGER FREEMAN, PRESIDENT AND CHAIRMAN  
 ETOWAH HORSESHOE FIRE & RESCUE  
 3712 BREVARD ROAD  
 ETOWAH HORSESHOE, NC 28791  
 PHONE: (828) 691-1683  
 EMAIL: CHIEF@ETOWAHHORSESHOEFIRE.COM

### ARCHITECT

THE TAMARA PEACOCK COMPANY ARCHITECTS  
 104 FIRST AVENUE EAST, SUITE A  
 HENDERSONVILLE, NC 28792  
 828.696.4000  
 TAMARA@TAMARAPEACOCK.COM  
 TAMARA PEACOCK - ARCHITECT

### GENERAL CONTRACTOR

TBD

### CIVIL

### STRUCTURAL

### PLUMBING

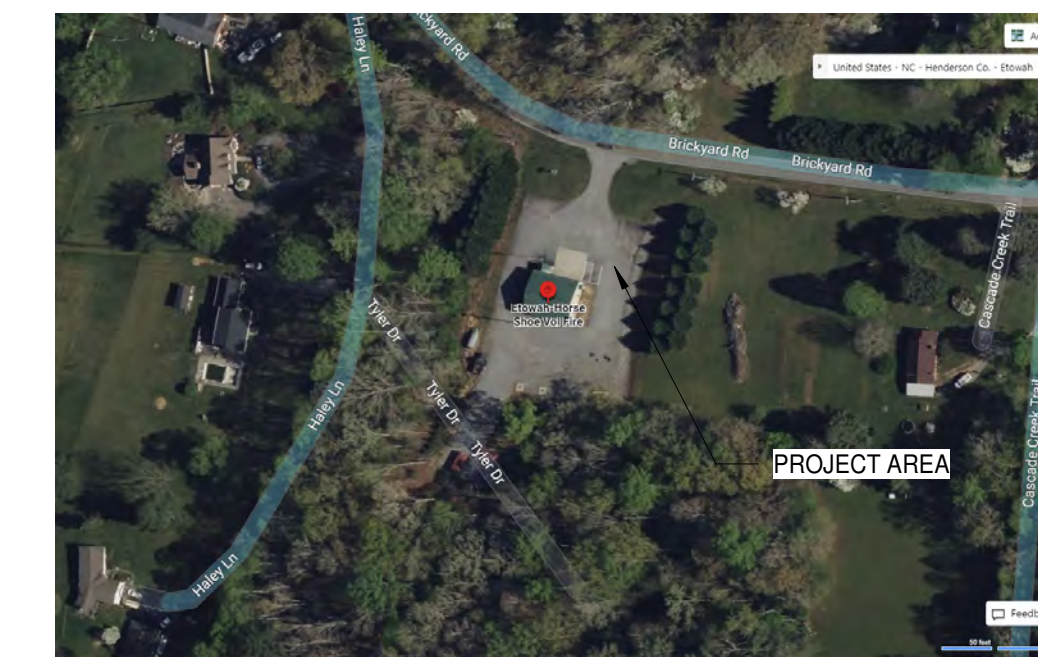
### MECHANICAL

### ELECTRICAL

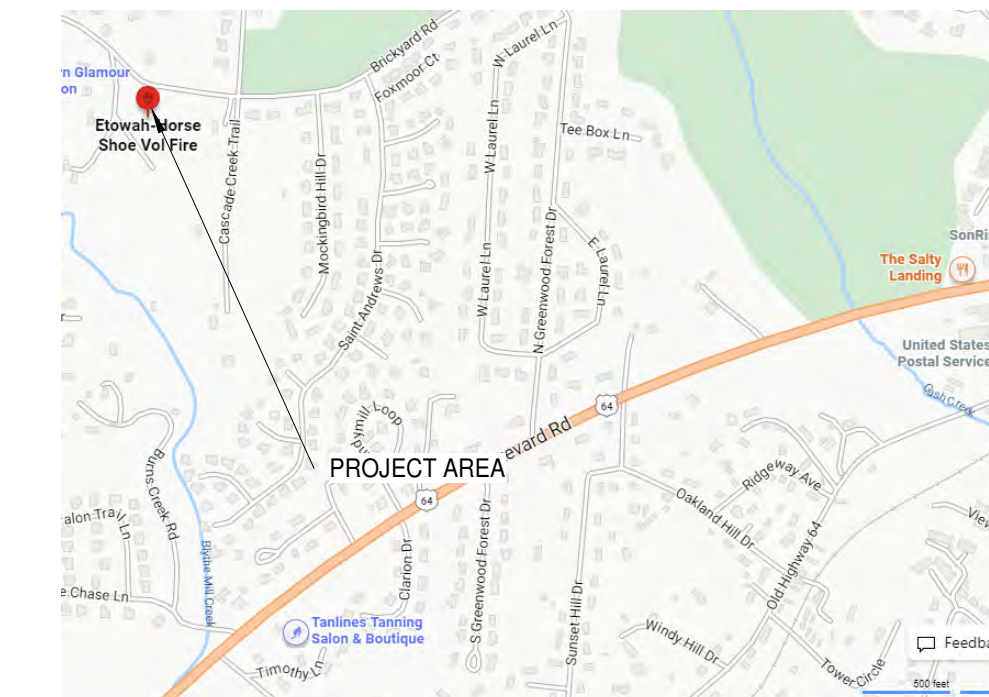
### FIRE PROTECTION



### SITE MAP



### VICINITY MAP



<u>BUILDING DATA</u>	
LEVEL OF ALTERATION:	LEVEL #1
BUILDING CONSTRUCTION TYPE:	TYPE #IIB - NON-SPRINKLERED
BUILDING OCCUPANCY TYPE:	BUSINESS 279.5 SF
GOVERNMENTAL FIRE DEP.	S-2 STORAGE 2364 SF
	R-2 RESIDENTIAL 711.5 SF
BUILDING SQUARE FOOTAGE	
NEW WORK SF:	1152 SF
TOTAL PROPOSED SF:	3084 SF
SITE ACREAGE	4.16 acres
TOTAL STORIES	2
ADDRESS:	3712 BREVARD RD ETOWAH- HORSESHOE, NC 28791
PIN	# 9529-20-0731
PROPERTY DESCRIPTION	SR1323 ON BRICKYARD RD
PROPERTY OWNER	ETOWAH-HORSE SHOE VOLUNTEER FIRE DEPARTMENT
<u>SCOPE OF WORK</u>	
LEVEL OF ALTERATION:	LEVEL #1
THIS IS A RENOVATION OF EXISTING FIRE STATION BUILDING.	
THE NEW WORK INCLUDES CONSTRUCTION OF A NEW ONE STORY BUILDING ADJACENT AND CONNECTED TO EXISTING BUILDING	
<u>APPLICABLE CODES</u>	
2018 NORTH CAROLINA BUILDING CODE 6TH EDITION	
2018 NORTH CAROLINA MECHANICAL CODE 6TH EDITION	
2020 NFPA 70 NATIONAL ELECTRIC CODE	
2018 NORTH CAROLINA STATE ENERGY CODE	
2018 NORTH CAROLINA PLUMBING CODE 6TH EDITION	

## THE TAMARA PEACOCK COMPANY

Architects

104 FIRST AVENUE EAST, SUITE A  
 HENDERSONVILLE, NC 28792  
 PHONE: 828.696.4000

PROJECT DESIGN TEAM:  
 THE TAMARA PEACOCK CO. ARCHITECTS  
 104 FIRST AVENUE EAST, SUITE A  
 HENDERSONVILLE, NC 28792  
 PH: 828-696-4000

OWNER:  
 MICHAEL HUGGINS, FIRE CHIEF  
 ETOWAH HORSESHOE FIRE & RESCUE  
 15 MORGAN ROAD  
 HORSESHOE, NC 28729

PROJECT NAME:  
**ETOWAH FIREHOUSE #4 23-021**  
**744 Brickyard Rd, Etowah, NC 28729**

TAMARA PEACOCK, P.A.  
 LICENSE NO. 12126

ISSUED FOR:  
 SCHEMATIC DESIGN

DATE:  
 5/23/2023

SHEET NAME:  
**COVER SHEET & SHEET INDEX**

REVISIONS:

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DATE: 12/8/2023 10:02:15 AM  
 PROJ. NO.: 20-022  
 DRAWN BY: DW PROJ. MGR.: TP  
 REVISED BY: 20-022 CAPT.: TP

SHEET NO.:  
**GOO1**



ABBREVIATION NOTES:

- 1. GENERALLY TERMS ARE SPELLED OUT AND ABBREVIATIONS USED ONLY TO REDUCE TIME AND SPACE OR WHERE APPROPRIATE OR TO IMPROVE CLARITY.
2. ABBREVIATIONS LISTED BELOW APPLY TO THE ARCHITECTURAL DRAWINGS ONLY. REFER TO DRAWINGS BY OTHER TRADES FOR ABBREVIATIONS USED ON OTHER TRADES DRAWINGS.
3. REFER TO FINISH SCHEDULE FOR MATERIAL ABBREVIATIONS USED ON THE FINISH SCHEDULE.
4. ABBREVIATION LISTED HERE ARE BASED ON THE NATIONAL CAD STANDARD MODULE 5. REFER TO THE NCS FOR ABBREVIATIONS SHOWN ON THE DRAWINGS THAT ARE NOT LISTED HERE. WHERE MULTIPLE TERMS EXISTING FOR THE ABBREVIATION SHOWN, THE TERM REFERENCED IN THE LIST BELOW SHALL BE USED.

Table with columns for abbreviations (A/C, A/E, A/FAN, etc.) and their corresponding full names (AIR CONDITION, ARCHITECT/ENGINEER, ABANDON, etc.). Includes sections for AIR CONDITION, EQUIPMENT, FINISHES, and MATERIALS.

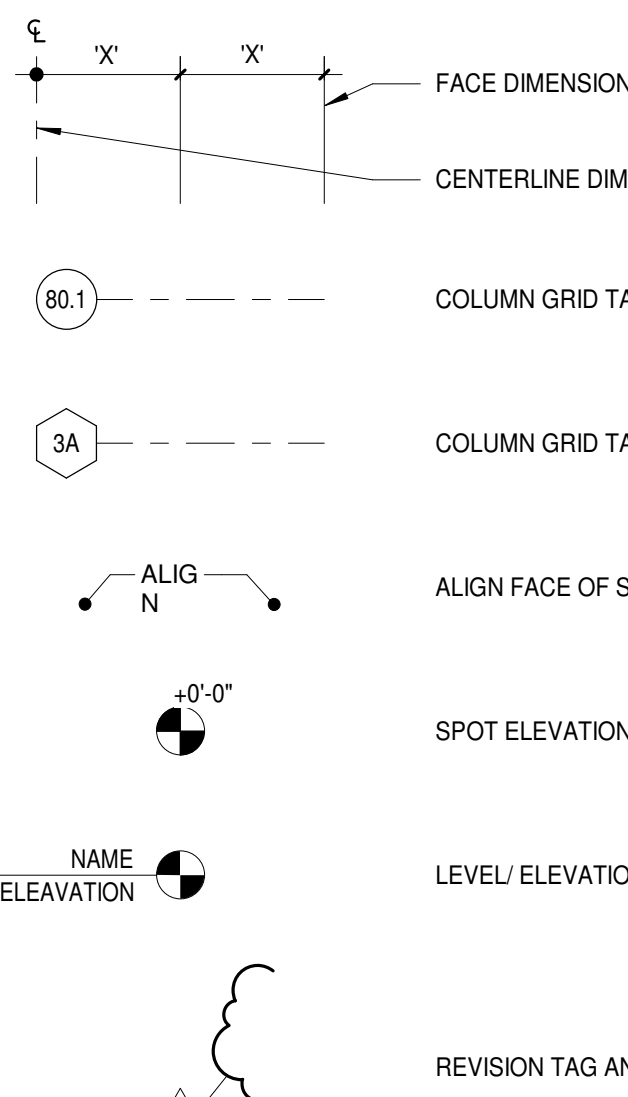
Table with columns for abbreviations (P, PAT, PB, PBD, etc.) and their corresponding full names (PAINT, PATTERN, PANIC BAR / PAINTED BASE, etc.). Includes sections for FINISHES, MATERIALS, and EQUIPMENT.

LINE STYLES

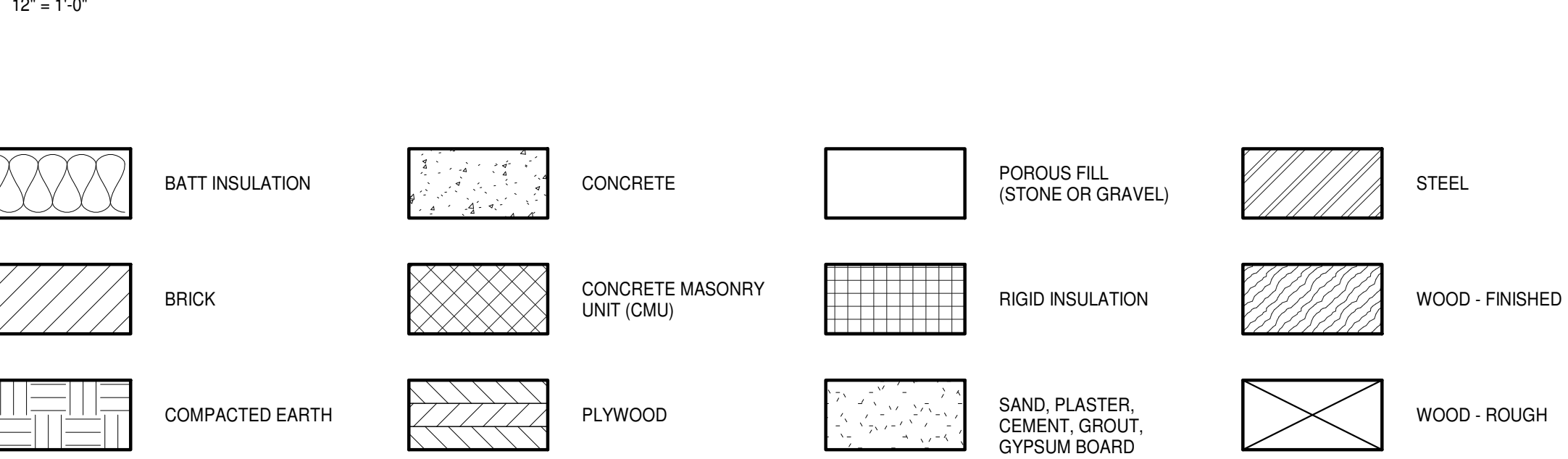
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PEN: 2
PEN: 3
PEN: 4
PEN: 5
PEN: 6

LINE TYPES

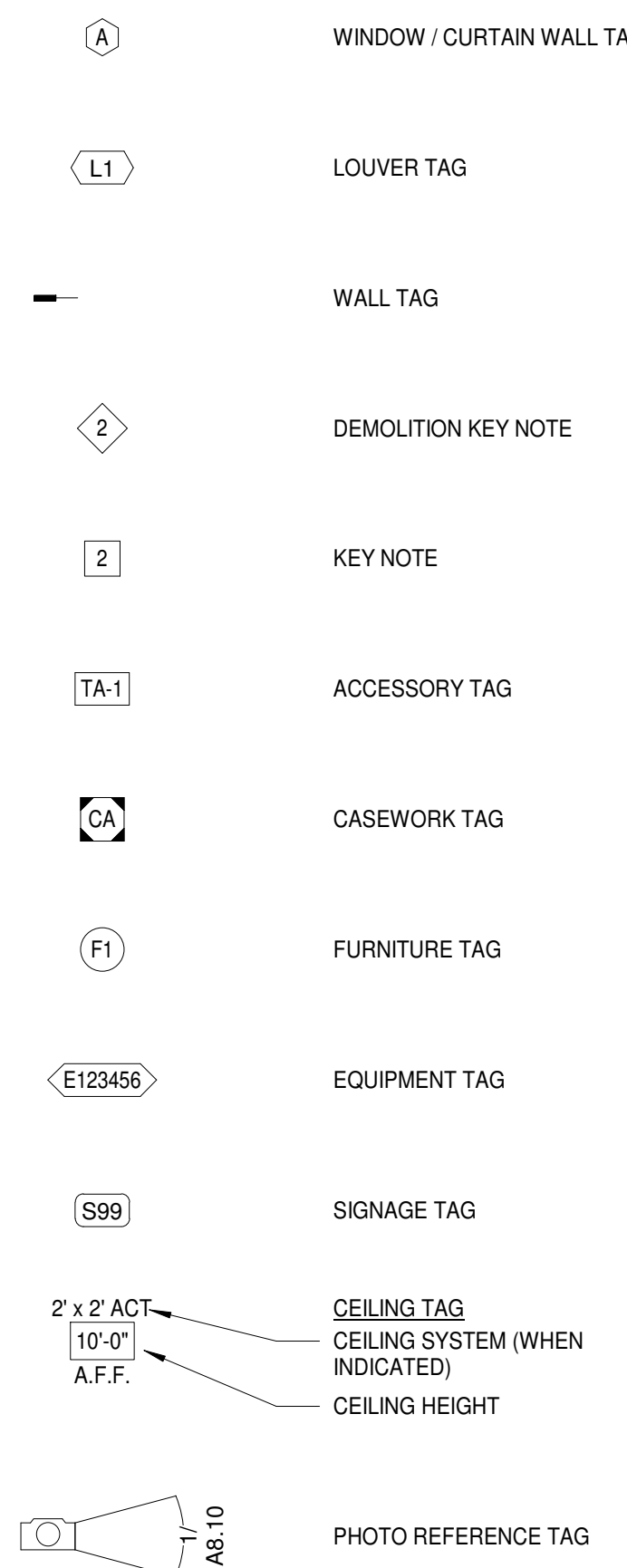
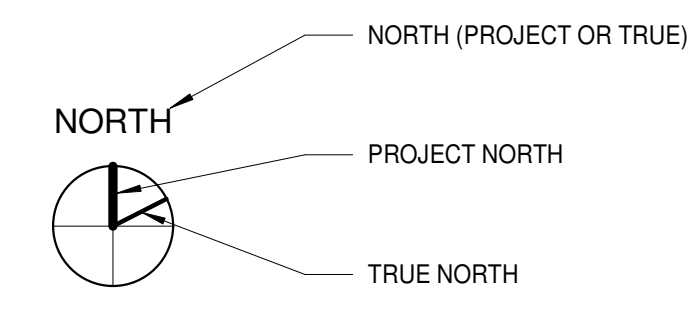
- BEYOND
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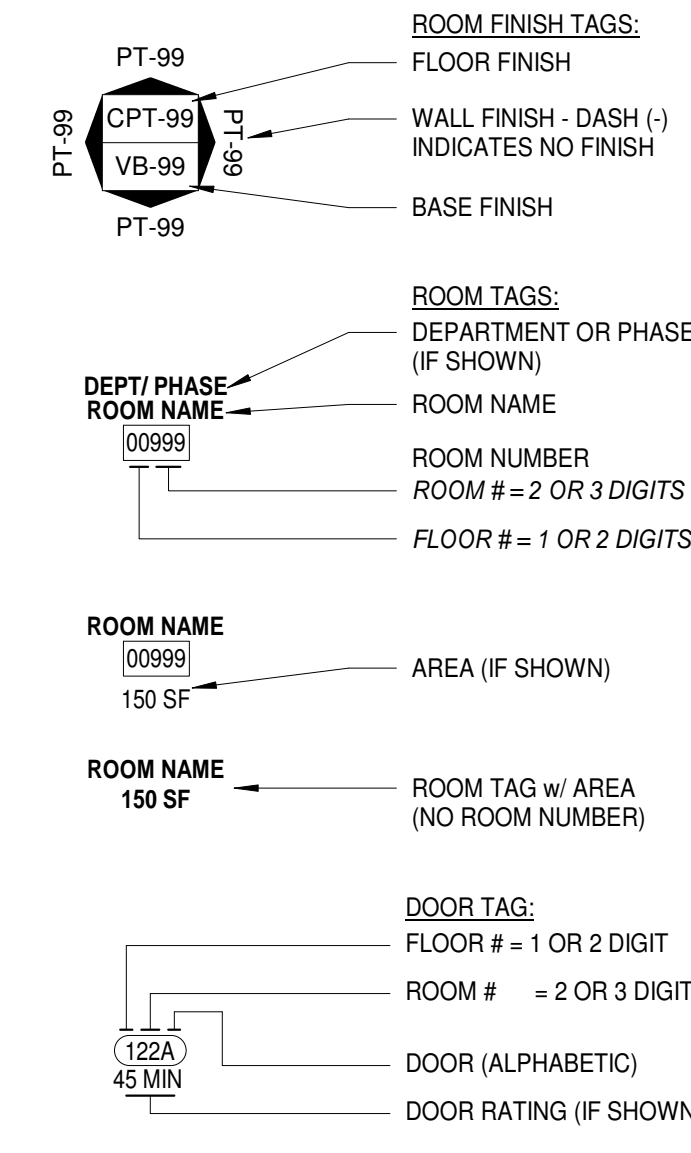
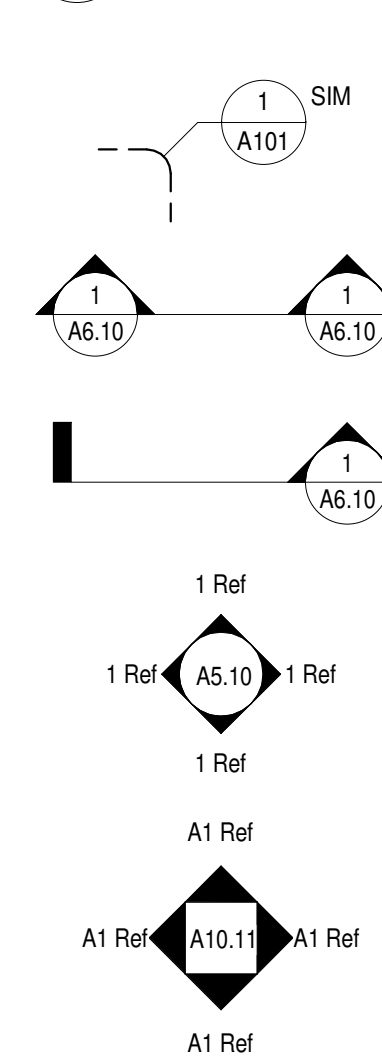
STANDARD GRAPHICS AND SYMBOLS



TYPICAL MATERIALS



VIEW NAME



TAMARA PEACOCK, R.A. LICENSE No. 12126

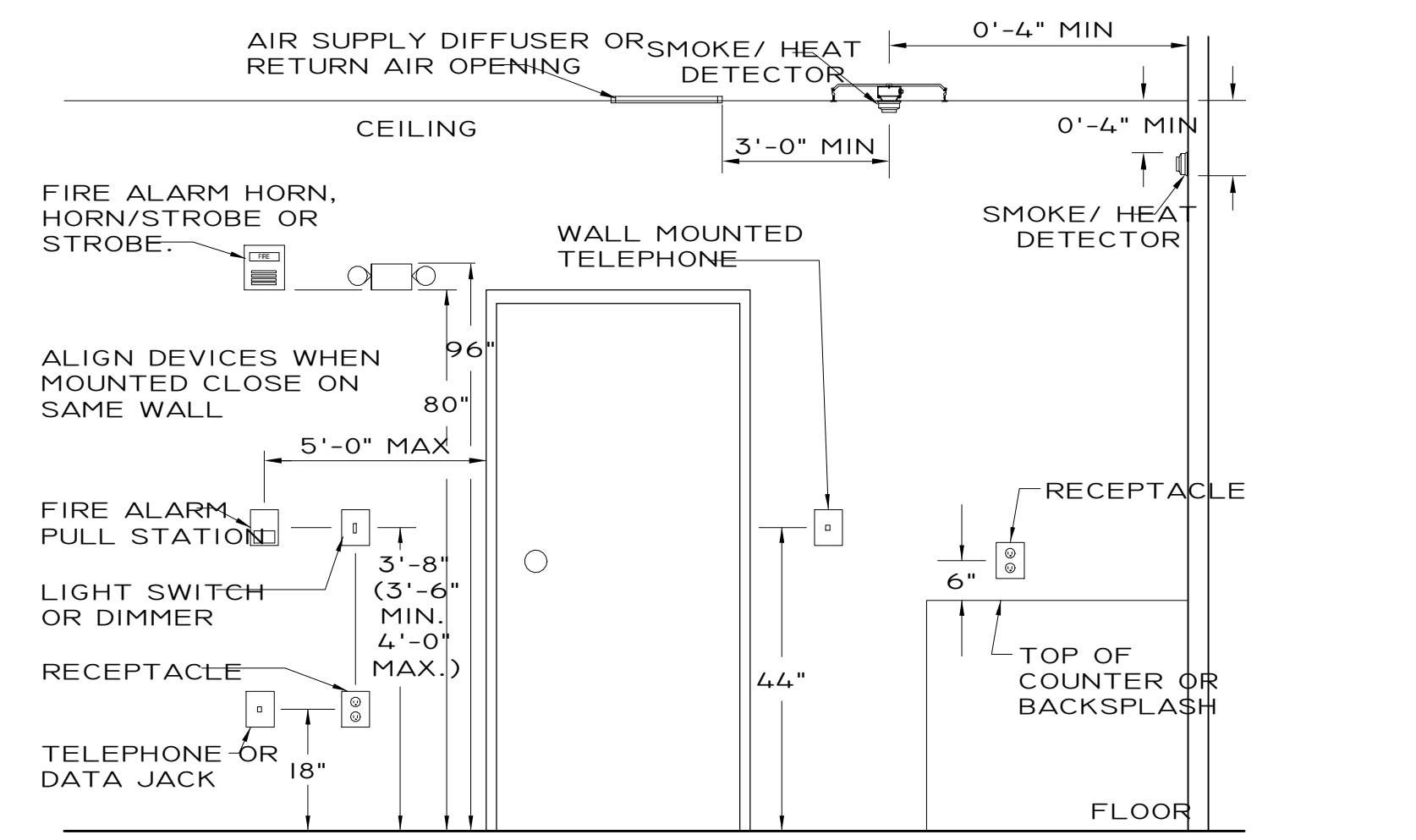
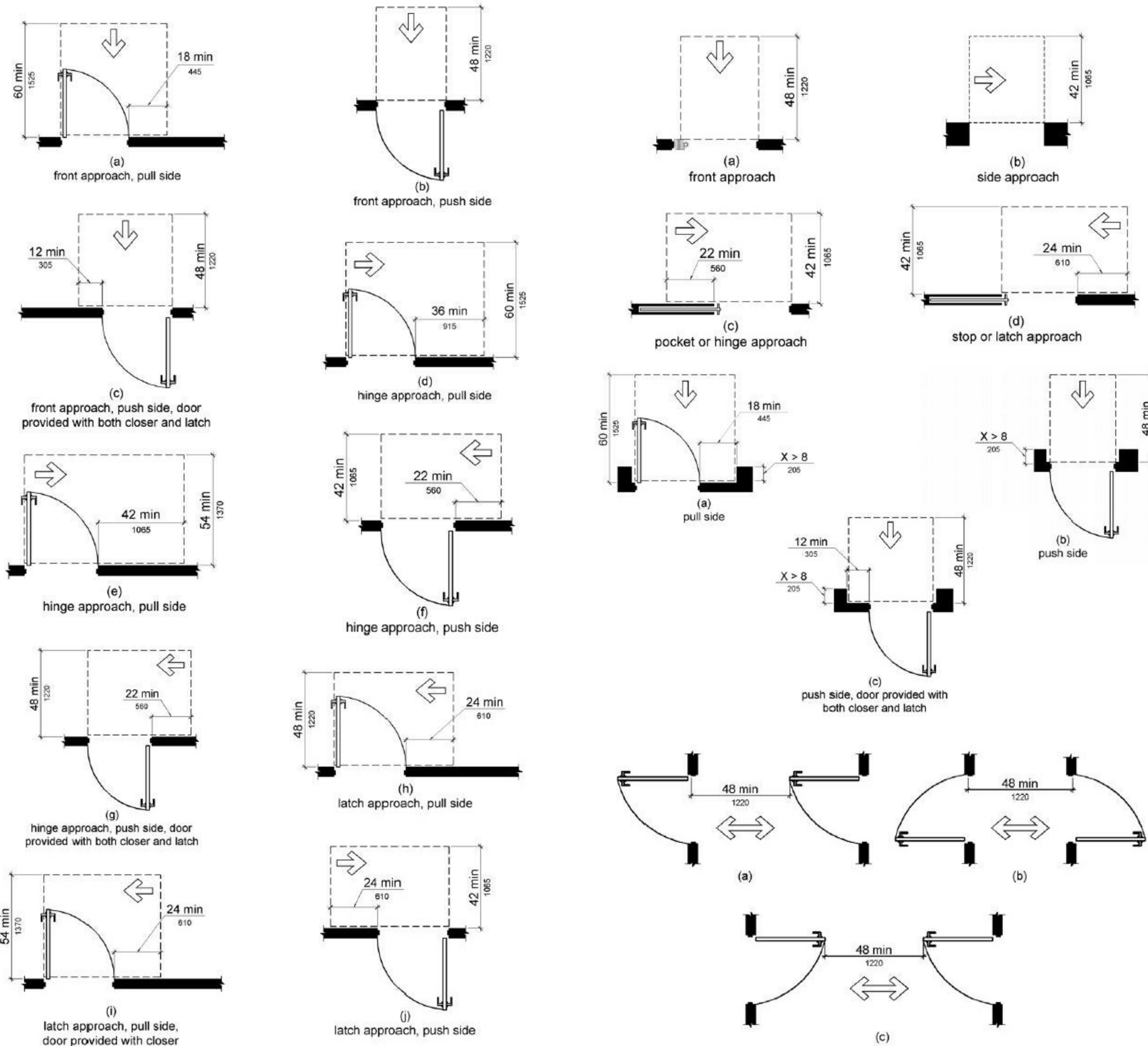
Table with columns: PROJECT, DESIGNER, APPROVER, DATE, REVISION, ISSUED FOR.

THE TAMARA PEACOCK COMPANY Architects. 104 1st Ave E, Hendersonville, NC 28792. Phone: 828.696.4000 Fax: 954.728.9225

ETOWAH FIREHOUSE #4. 744 Brickyard Rd, Etowah, NC 28729

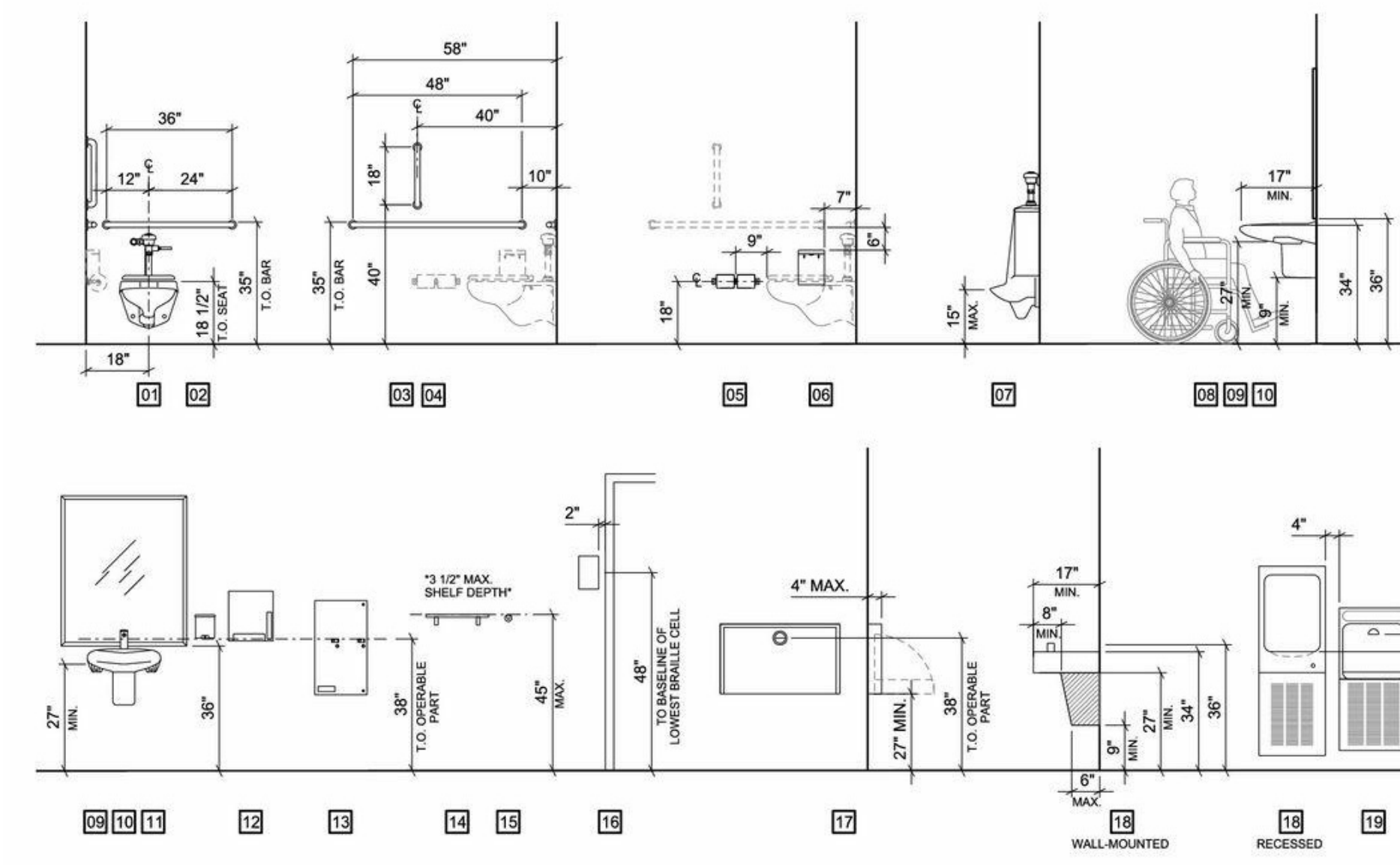
SYMBOLS AND LEGENDS. SHEET NAME: 13-023. DATE: 8/2023. SHEET AM. NO. 1. G.O.O.T.



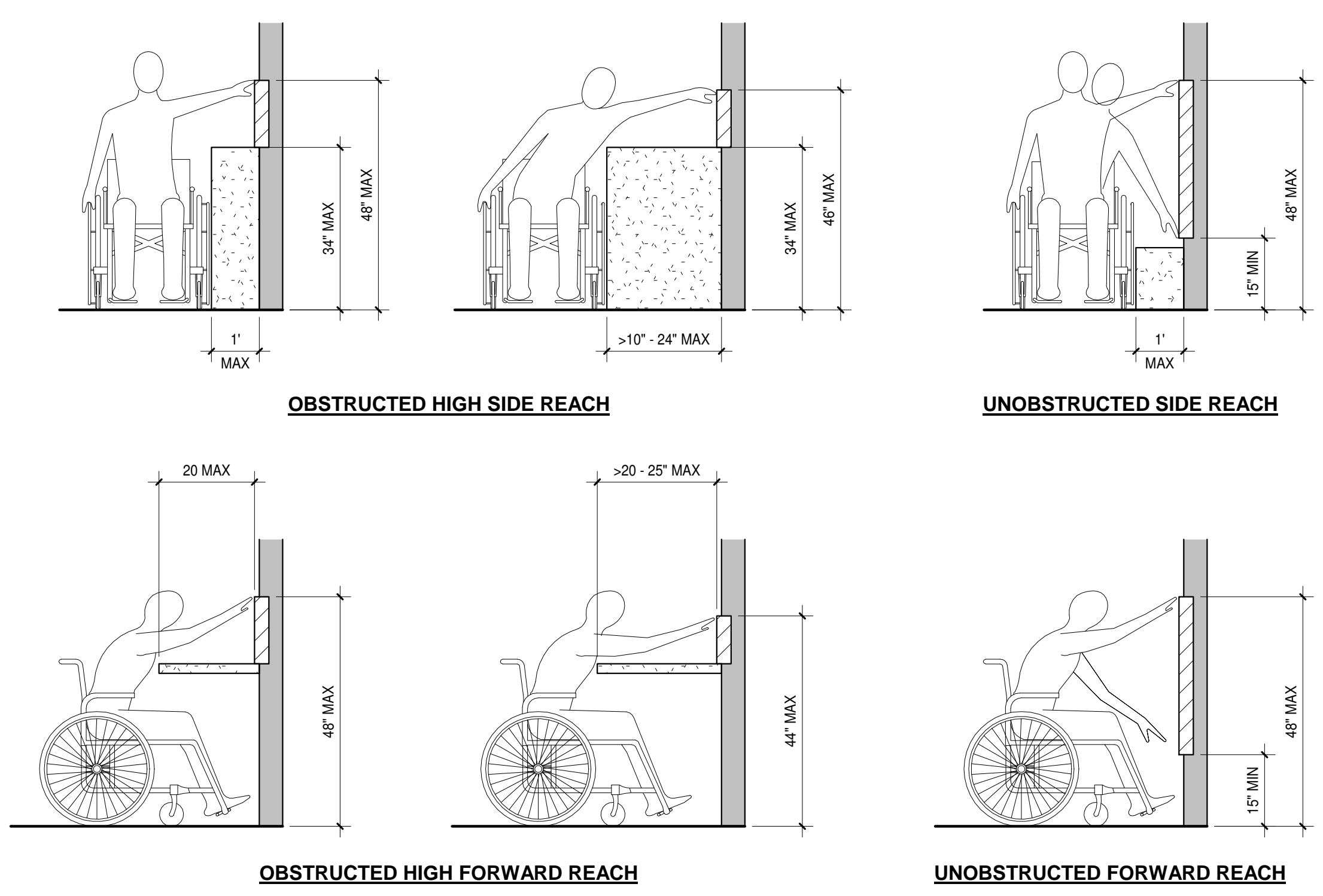


ALIGN HORN, STROBE, EMERGENCY LIGHTS, OR HORN/STROBE DEVICES WITHIN A MOUNTING RANGE OF 96" AFF TO TOP OF DEVICE TO 80" AFF TO BOTTOM. MOUNT AS HIGH AS POSSIBLE WITHIN RANGE, BUT AT LEAST 6" BELOW CLG.

NOTE:  
1. ALL DIMENSIONS SHOWN ARE MINIMUMS.  
2. DIMENSIONS AND CLEARANCES SHOWN MUST BE PROVIDED AT ALL DOORS.  
3. CONTRACTOR SHALL REVIEW FIELD LAYOUT AND CONFIRM THAT ALL OF THE APPROPRIATE CLEARANCES ARE PROVIDED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION. ANY REMEDIAL WORK THAT SHOULD HAVE BEEN AVOIDED BY BRINGING DISCREPANCIES TO THE ARCHITECT'S ATTENTION SHALL BE AT THE CONTRACTORS EXPENSE.



1 ADA Mounting Heights  
1" = 1'-0"



ADVISORY 308.1 GENERAL. THE FOLLOWING TABLE PROVIDES GUIDANCE ON REACH RANGES FOR CHILDREN ACCORDING TO AGE WHERE BUILDING ELEMENTS SUCH AS COAT HOOKS, LOCKERS, OR OPERABLE PARTS ARE DESIGNED FOR USE PRIMARILY BY CHILDREN. THESE DIMENSIONS APPLY TO EITHER FORWARD OR SIDE REACHES. ACCESSIBLE ELEMENTS AND OPERABLE PARTS DESIGNED FOR ADULT USE OR CHILDREN OVER AGE 12 CAN BE LOCATED OUTSIDE THESE RANGES BUT MUST BE WITHIN THE ADULT REACH RANGES REQUIRED BY 308

	CHILDRENS REACH RANGES		
	AGES 3 AND 4	AGES 5 THROUGH 8	AGES 9 THROUGH 12
FORWARD OR SIDE REACH			
HIGH (MAX)	36"	40"	44"
LOW (MIN)	20"	18"	16"

1 Manuevering Clearances at Doors  
1/2" = 1'-0"

2 Device Mounting Heights  
1/4" = 1'-0"

3 REACH RANGES  
1" = 1'-0"



# PROJECT BUILDING CODE SUMMARY

**PROJECT SUMMARY:** Feasibility and Schematic Design for Etowah-Horseshoe Fire station at 15 Morgan Street  
**Project Name:** ETOWAH FIREHOUSE RE-DESIGN  
**Address:** 744 Brickyard Rd, Etowah, NC 28729  
**Proposed Use:** FIRE STATION (BUSINESS, RESIDENTIAL, STORAGE)  
**Owner or Authorized Agent:** Michael Huggins, Fire Chief Etowah Horseshoe Fire & Rescue  
**Owned By:**  Private  City/ County  State  
**Code Jurisdiction:**  HENDERSON COUNTY, NC  HENDERSON COUNTY, NC

**APPLICABLE CODES:**

**NEW BUILDING**  
 New Construction  
 Shell Building  
 Addition  
 Upfit

**EXISTING BUILDING**  
 Alteration  
 Alt Lvl: 1  
 Repair  
 Occupancy Change  
 Existing Use:  
 New Use:  
 Addition/  
 Relocation

**OCCUPANCY: SEE LIFE SAFETY PLAN(S) FROM OVERALL OCCUPANT LOADS**

Occupancy Types:

- Assembly
  - A-1
  - A-2
  - A-3
  - A-4
  - A-5
- Factory/ Industrial
  - F-1
  - F-2
  - High Hazard
    - H-1
    - H-2
    - H-3
    - H-4
    - H-5
- Institutional
  - I-1
  - I-2
  - I-3
  - I-4
  - I-5
- Residential
  - R-1
  - R-2
  - R-3
  - R-4
- Business
- Educational
- Mercantile
- Utility and Miscellaneous
- Storage
  - S-1
  - S-2

**BUILDING DATA:**

Construction Types:  I-A  II-A  III-A  IV  V-A  
 I-B  II-B  III-B  V-B

Sprinklers:  NO  YES

Standpipes:  NO  YES

Buildin Height: approx. 39'-0" 2 stories  Unlimited

Code Jurisdiction:  HENDERSON COUNTY, NC

**APPLICABLE CODES:**

**TABLE 602 - FIRE-RESISTANCE RATING REQUIREMENT EXTERIOR WALLS BASED ON FIRE SEPERATION DISTANCE**

Fire Separation Distanc in Feet	Type of Construction (Type VB)	Notes
	Occupancy B, S, U	
X < 5'	1	
5 < X < 10	1	
10 < X < 30	0	
> 30	0	

**ALLOWABLE HEIGHT: (Section 503)**

Type of Construction	Allowable		Actual	
	Type	VB	Type	VB
Building Height in Feet	Feet	40'-0"	Feet	23'-6"
Building Height in Stories	Stories	2	Stories	1

**TABLE 601 - FIRE-RESISTANCE RATING REQUIREMENT FOR BUILDING ELEMENTS (HOURS)**

Building Element	Rating (Type IIIA)		Notes
	Req'd*	Design # for Rated Assembly	
Primary Structural Frame	0	-	
Bearing Walls Exterior	0	-	
Bearing Walls Interior	0	-	
Nonbearing Walls Exterior	see 602	-	
Nonbearing Walls Interior	0	-	
Floor Construction, and associated secondary members	0	-	
Roof construction, and associated secondary members	0	-	

**TABLE 803.9 INTERIOR WALL AND CEILING FINISH REQUIREMENTS (SPRINKLERED)**

Use and Description	Int Exit Stairs, Ramps & Passageways	Corridors & Enclosures for Exit Access Stairways & Ramps	Rooms & Enclosed Spaces
	Req'd	Design #	Design #
MAIN LEVEL / SECOND FLOOR	B - Business	C	C
Enclosed Parking	C	C	C
B - Business	B	C	NA

**FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS**

Minimum Rated Single Extinguisher	2A
Maximum Floor Area Per Unit of A	3,000 sqft
Maximum Floor Area for Extinguisher	11,250 sqft
Maximum Travel Distance to Extinguisher	75 feet

Use Group or Space Description	(a)	(b)	(a/b)
	Area 1 SQ. FT.	Area Per Occupant (Table 1004.1.2) 1	Number of Occupants
First Floor (total)	2,623 sf		
BUSINESS (DAY ROOM)	163 sf	100 GROSS	1
BUSINESS (KITCHENETTE)	162 sf	100 GROSS	1
STORAGE (TRUCK BAY)	1508 sf	200 GROSS	7
STORAGE (TRUCK BAY)	487 sf	200 GROSS	2
RESIDENTIAL (BEDROOM)	124 sf	120 GROSS	1
RESIDENTIAL (BEDROOM)	124 sf	120 GROSS	1
Second Floor or Mezzanine? (total)	243 sf		
BUSINESS (TV ROOM)	243 sf	100 GROSS	2
Building Occupancy			15

- See definition "Area, Gross" and "Area, Net"
- Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1.1)
- Minimum width of exit passageway (Section 1021.2)
- Assembly occupancies (Section 1028)

**MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES -**

PLUMBING FIXTURE COUNTS ARE BASED ON THE TOTAL OCCUPANT LOAD AS PER IBC SECTION 1004 - OCCUPANT LOAD, IBC TABLE 2902.1 & IBC 2902.1.1 - FIXTURE CALCULATIONS

TOTAL OCCUPANCY: 15

(B) BUSINESS: 4 OCC.  
 (R) RESIDENTIAL: 2 OCC.  
 (S) STORAGE: 9 OCC.

CODE REQUIRED	WC	LV	TUB/ SHOWER	DRINKING FOUNTAIN	SERVICE SINK
BUSINESS	1 PER 25 FOR 1ST 50 1 PER 50 FOR 50+	1 PER 40 FOR 1ST 80 1 PER 80 FOR 80+	-	1 PER 100	1
RESIDENTIAL	1 PER 10	1 PER 10	1 PER 8	1 PER 100	1
STORAGE	1 PER 100	1 PER 100	-	1 PER 1,000	1

REQUIRED FIXTURES	WC	LV	TUB/ SHOWER	DRINKING FOUNTAIN	SERVICE SINK
BUSINESS	1	1	-	1	1
RESIDENTIAL	1	1	1	1	1
STORAGE	1	1	-	1	1
TOTAL REQUIRED	1	1	1	1	1
TOTAL PROVIDED	1	1	1	1	1

**EXIT REQUIREMENTS**

Floor	COMMON PATH OF EGRESS TRAVEL Travel Distance	
	Allowable Travel Distance (Table 1017.2)	Actual Travel Distance
BUSINESS	300 FT	
RESIDENTIAL	250 FT	
STORAGE	400 FT	

**LIFE SAFETY SYSTEM REQUIREMENTS**

Emergency Lighting:  No  Yes  
 Exit Sign:  No  Yes  
 Fire Alarm:  No  Yes  
 Emergency Voice/Alarm Communication System:  No  Yes  
 Smoke Detection Systems:  No  Yes  
 Smoke Control System:  No  Yes  
 Panic Hardware:  No  Yes

**BUILDING ENVELOPE REQUIREMENTS**  
 INFORMATION BASED ON IECC 2009 (CLIMATE ZONE 3A), TABLE 301.1, TABLE 502.2(1), TABLE 502.3

**INSULATION VALUES - ALL GROUP 'A' OCCUPANCIES**

ROOF (ATTIC AND OTHER): R-38  
 WALLS, ABOVE GRADE: R-13  
 WALLS, BELOW GRADE: NR  
 WOOD FLOOR TRUSS FLOORS: R-30  
 SOG FLOORS: NR  
 OPAQUE DOORS: U-0.70  
 SWINGING: U-0.70

**FRAMING MATERIALS OTHER THAN METAL WITH OR WITHOUT METAL REINF. OR CLADDING**

U-FACTOR: 0.65  
 METAL FRAMING WITH OR WITHOUT THERMAL BREAK: 0.60  
 CURTAIN WALL / STOREFRONT U-FACTOR: 0.90  
 ENTRANCE DOOR U-FACTOR: 0.85  
 ALL OTHER U-FACTOR: 0.85  
 SHGC (SEE IECC, TABLE 502.3): 0.25  
 PF < .25: 0.33  
 .25 < PF < .5: 0.33  
 PF > .5: 0.40



PROJECT DESIGN TEAM:  
 THE TAMARA PEACOCK CO. ARCHITECTS  
 104 FIRST AVENUE EAST, SUITE A  
 HENDERSONVILLE, NC 28792  
 PH: 828-696-4000

OWNER:  
 MICHAEL HUGGINS, FIRE CHIEF  
 ETOWAH HORSESHOE FIRE & RESCUE  
 15 MORGAN ROAD  
 HORSESHOE, NC 28729

PROJECT NAME:  
**ETOWAH FIREHOUSE #4 23-021**  
 744 Brickyard Rd,  
 Etowah, NC 28729

TAMARA PEACOCK, P.A.  
 LICENSE NO. 12126

ISSUED FOR:  
 SCHEMATIC DESIGN

DATE:  
 5/23/2023

SHEET NAME:  
**CODE SUMMARY**

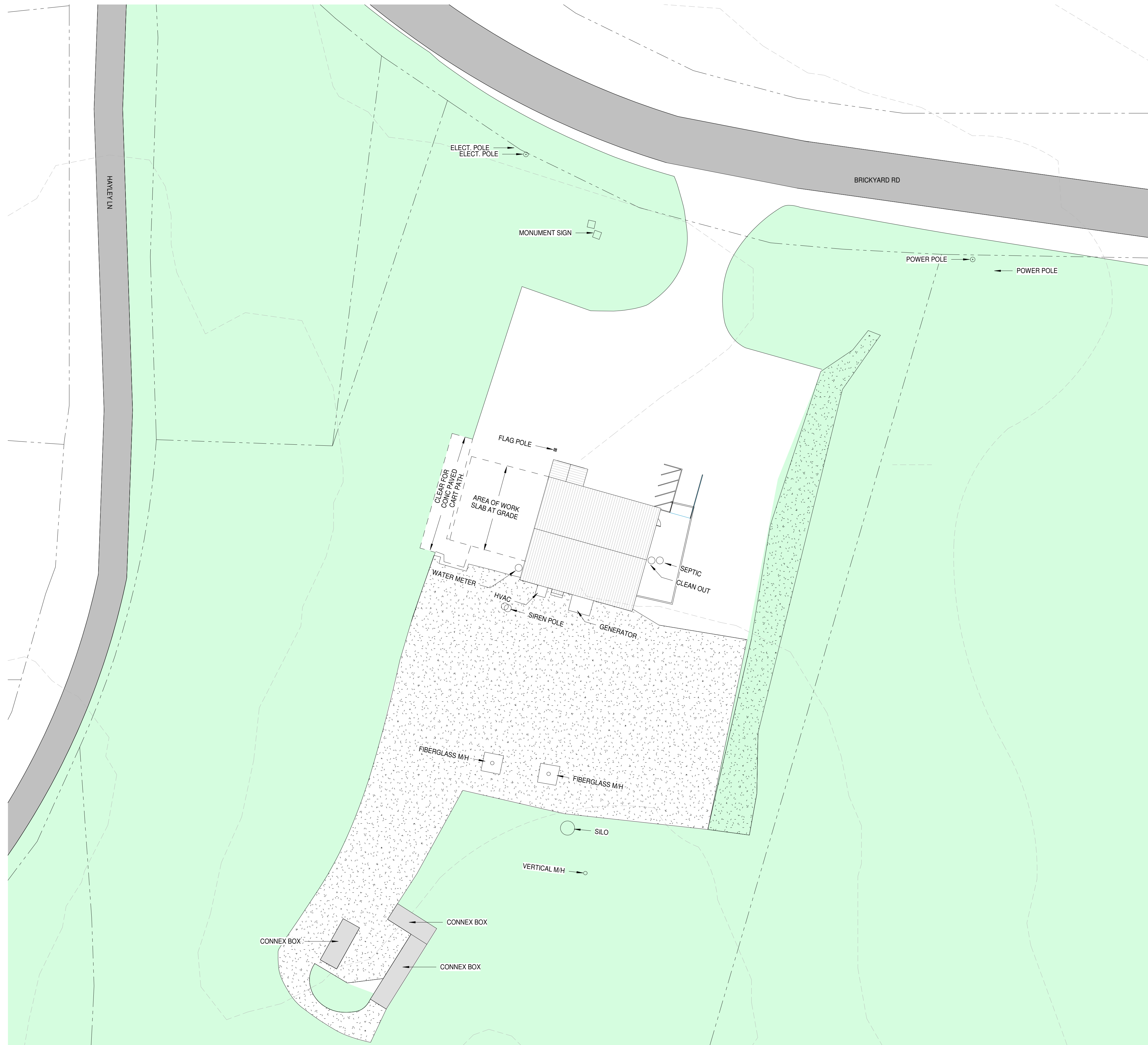
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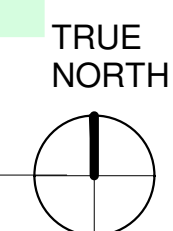
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 PROJ. MGR.: DESIGNER  
 REVISED BY: CAPT.  
 CHECKER: APPROVER

SHEET NO.:  
**CO006**





1 **EXISTING SITE PLAN**  
 SP100 3/64" = 1'-0"



PROJECT DESIGN TEAM:  
 THE TAMARA PEACOCK CO. ARCHITECTS  
 104 FIRST AVENUE EAST, SUITE A  
 HENDERSONVILLE, NC 28792  
 PH: 828-696-4000

OWNER:  
 MICHAEL HUGGINS, FIRE CHIEF  
 ETOWAH HORSESHOE FIRE & RESCUE  
 15 MORGAN ROAD  
 HORSESHOE, NC 28729

PROJECT NAME:  
**ETOWAH FIREHOUSE #4 23-021**  
**744 Brickyard Rd, Etowah, NC 28729**

TAMARA PEACOCK, R.A.  
 LICENSE NO. 12726

ISSUED FOR:  
 SCHEMATIC DESIGN

DATE:  
 5/23/2023

SHEET NAME:  
**SITE PLAN DEMO WORK**

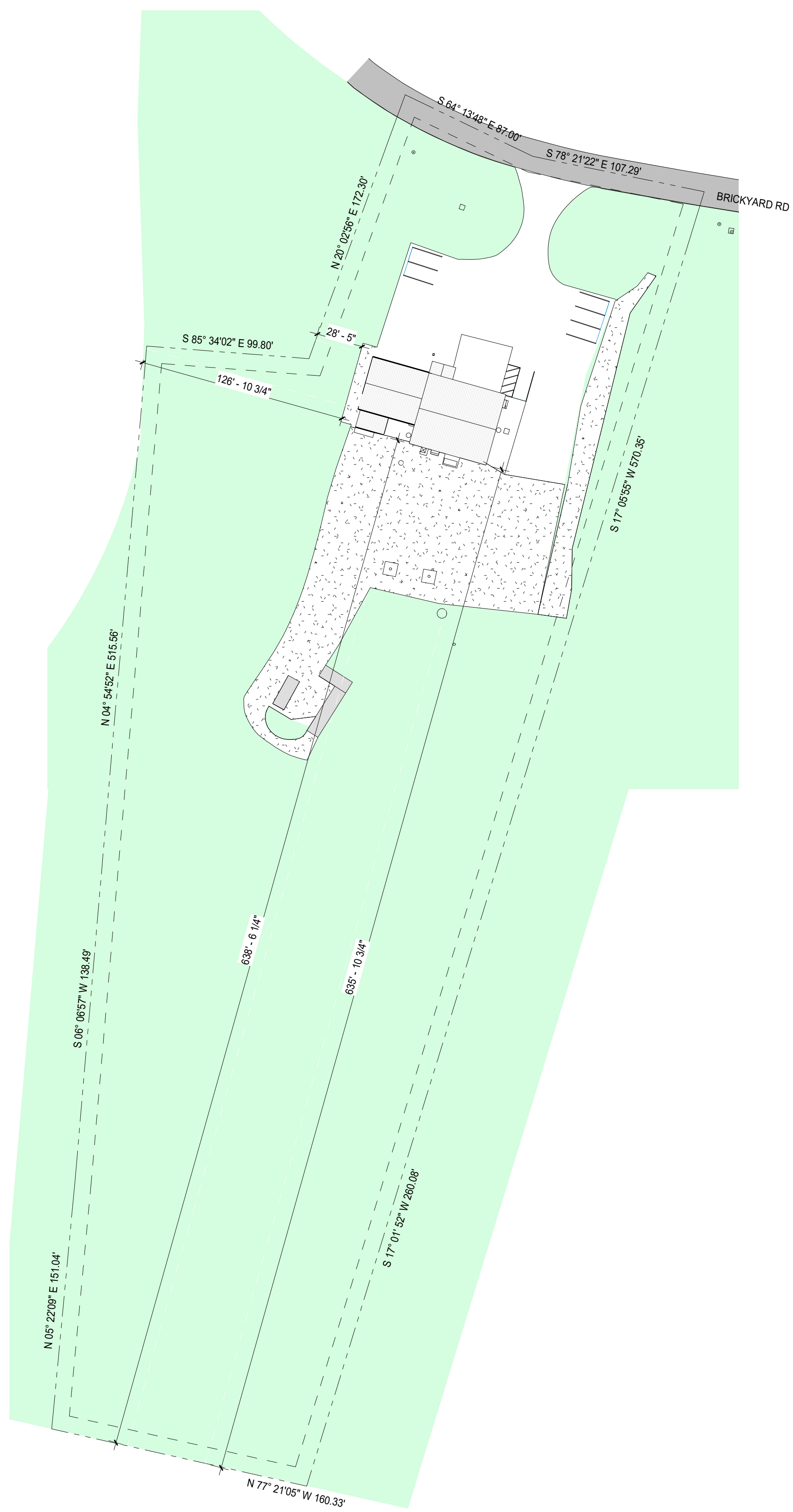
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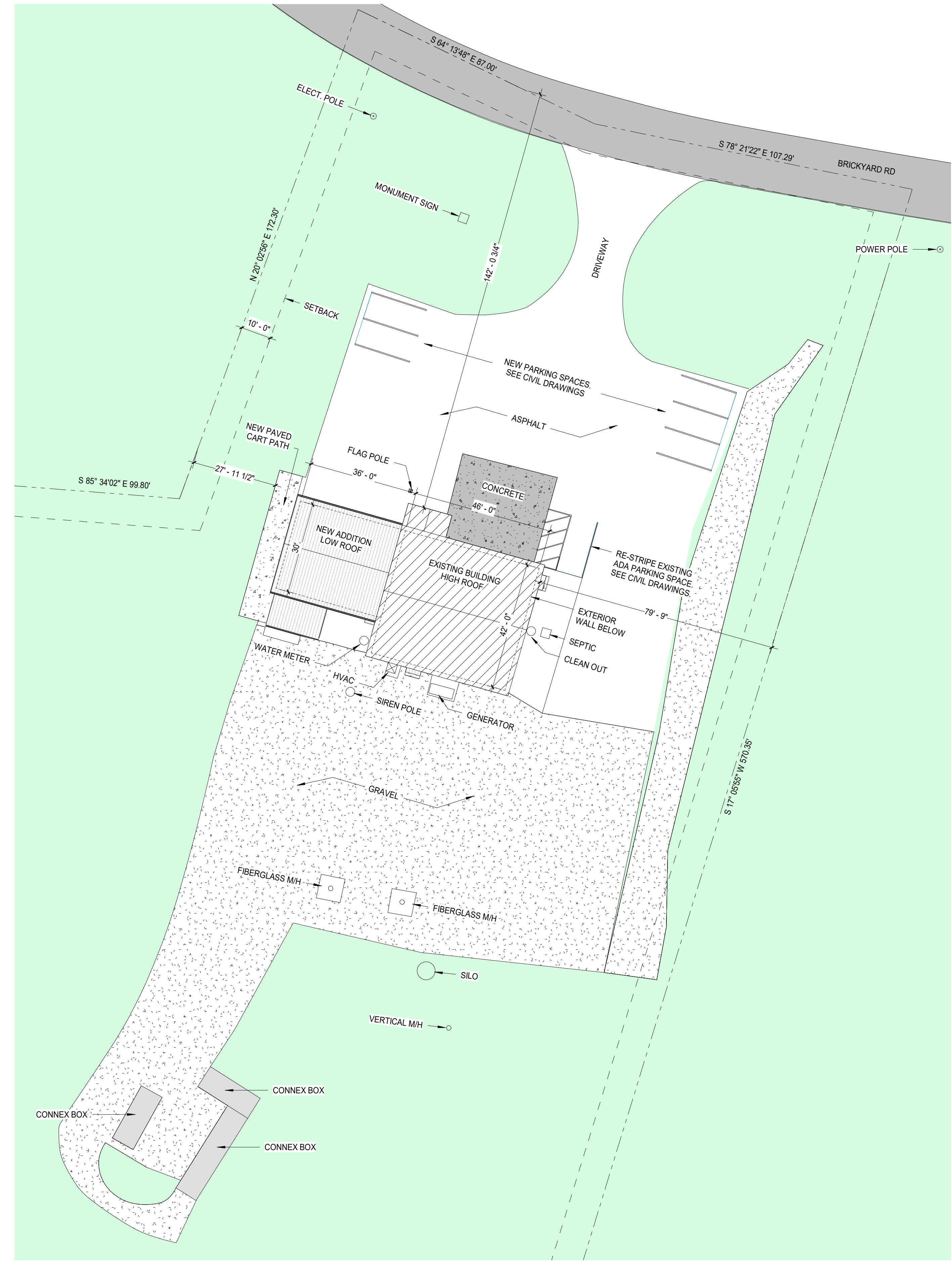
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DRAWN BY: DW	CAPT.: TP
REVISED BY: FD	

SHEET NO.: **SP100**



TRUE NORTH  
 2  
 SP101  
 1" = 50'-0"  
**NEW WORK OVERALL SITE PLAN**



TRUE NORTH  
 1  
 SP101  
 3/64" = 1'-0"  
**NEW WORK SITE PLAN**

ZONING LEGEND		
<b>A - SITE DATA</b>		
ZONING DISTRICT	R2 RESIDENTIAL	
SITE AREA	69,696 SF	
<b>B - SITE COMPOSITION (LC)</b>		
SITE AREA	REQUIRED	PROVIDED
BUILDING AREAS (LOT COVERAGE)	N/A	69,696 SF
TOTAL PAVED AREAS	MAX 80%	77.7%
TOTAL OPEN LANDSCAPED AREA	N/A	22.3%
<b>C - SETBACKS (LC)</b>		
	REQUIRED	PROVIDED
FRONT SETBACK BREVARD RD	50' - 0"	50' - 9"
SIDE SETBACK	10' - 0"	80' - 0"
REAR SETBACK	10' - 0"	N/A
<b>D - BLDG. HEIGHT (LC)</b>		
MAXIMUM HEIGHT ALLOWED	40' - 0"	40' - 6"
HENDERSON COUNTY ZONING 42-33 LOCAL COMMERCIAL DISTRICT (LC)		

PROJECT DESIGN TEAM:  
 THE TAMARA PEACOCK CO. ARCHITECTS  
 104 FIRST AVENUE EAST, SUITE A  
 HENDERSONVILLE, NC 28792  
 PH: 828-696-4000

OWNER:  
 MICHAEL HUGGINS, FIRE CHIEF  
 ETOWAH HORSESHOE FIRE & RESCUE  
 15 MORGAN ROAD  
 HENDERSONVILLE, NC 28729

PROJECT NAME:  
**ETOWAH FIREHOUSE #4 23-021**  
**744 Brickyard Rd, Etowah, NC 28729**

TAMARA PEACOCK, P.A.  
 LICENSE NO. 12126

ISSUED FOR:  
 SCHEMATIC DESIGN

DATE:  
 5/23/2023

SHEET NAME:  
**SITE PLAN NEW WORK**

REVISIONS:

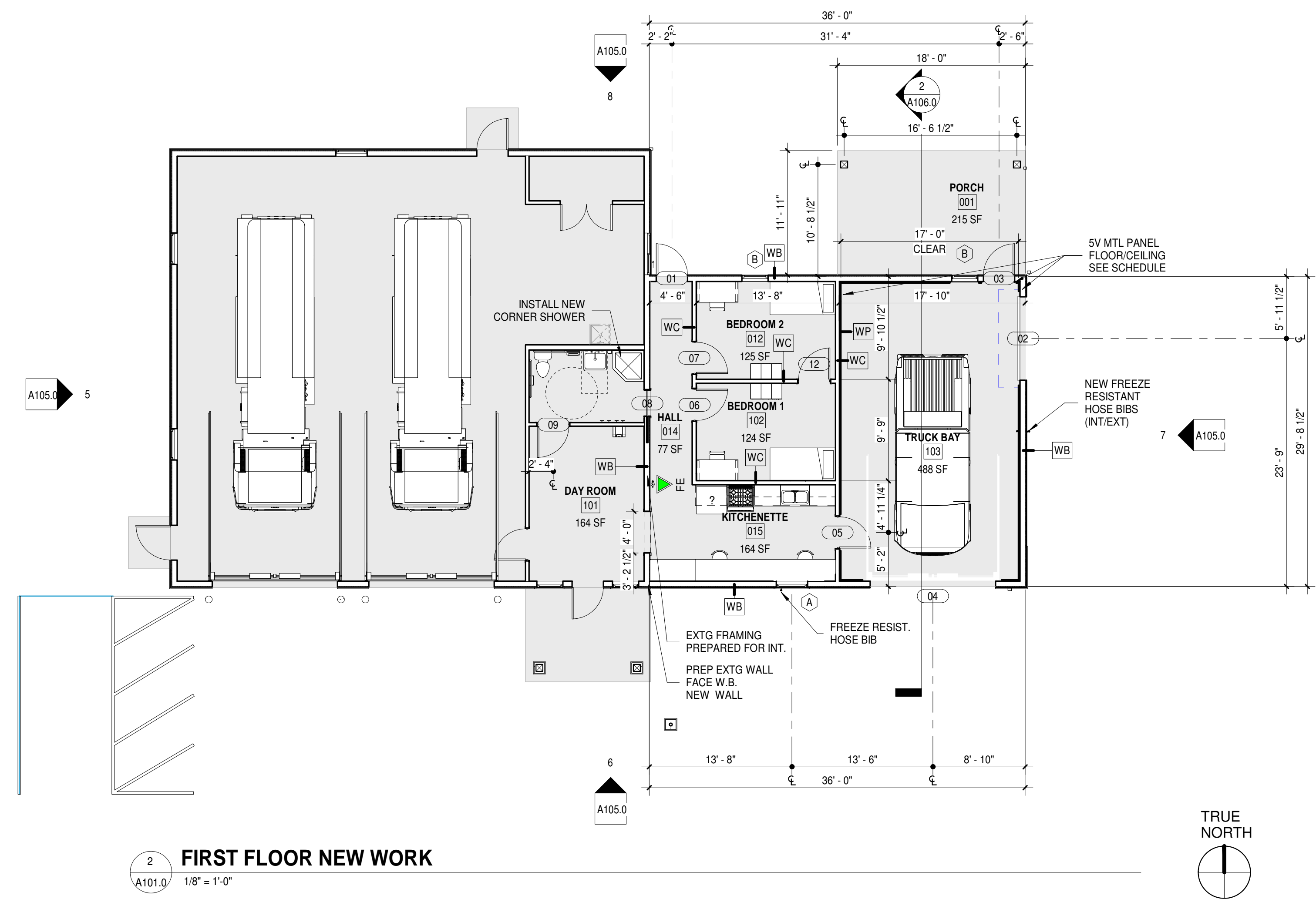
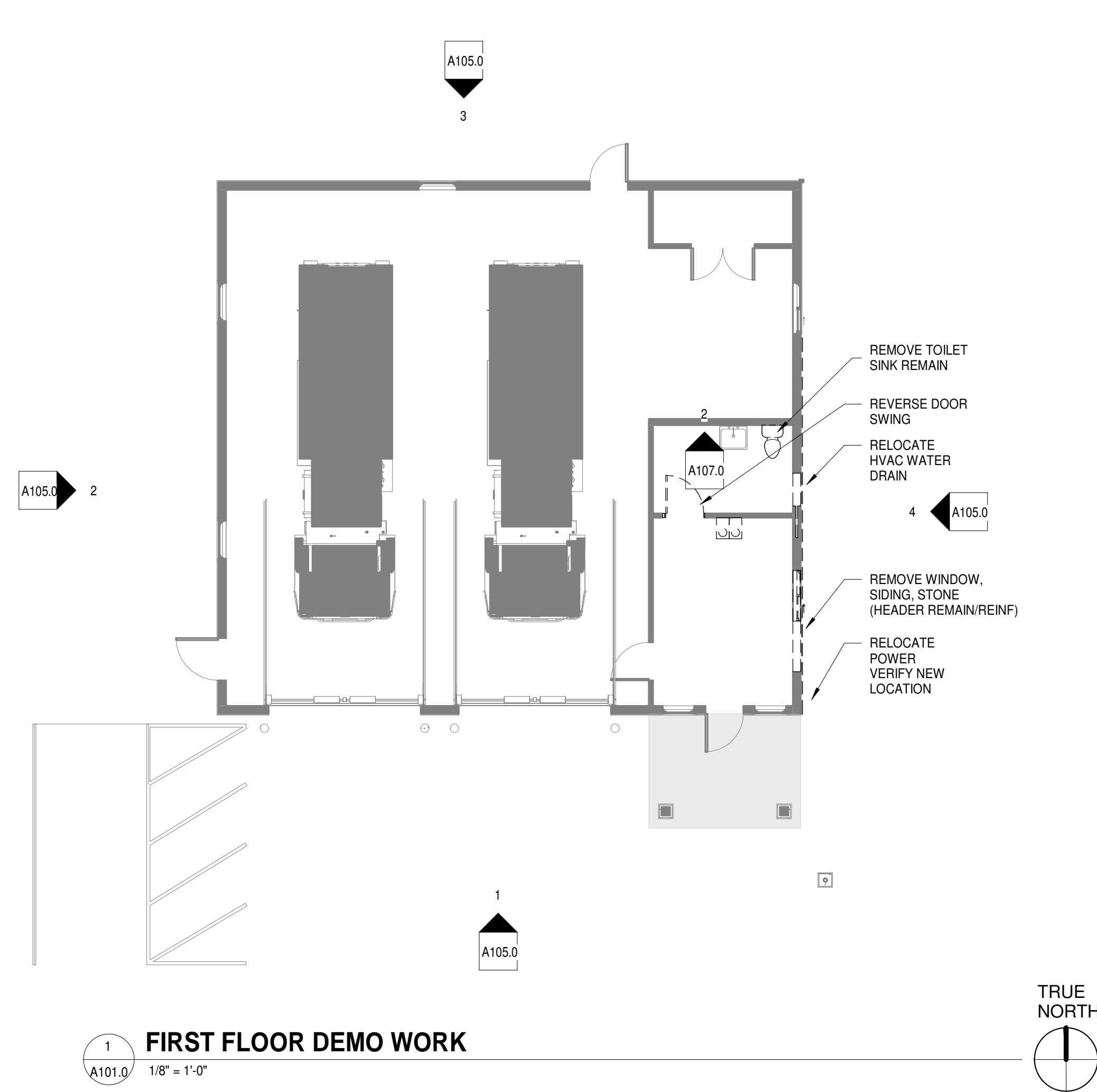

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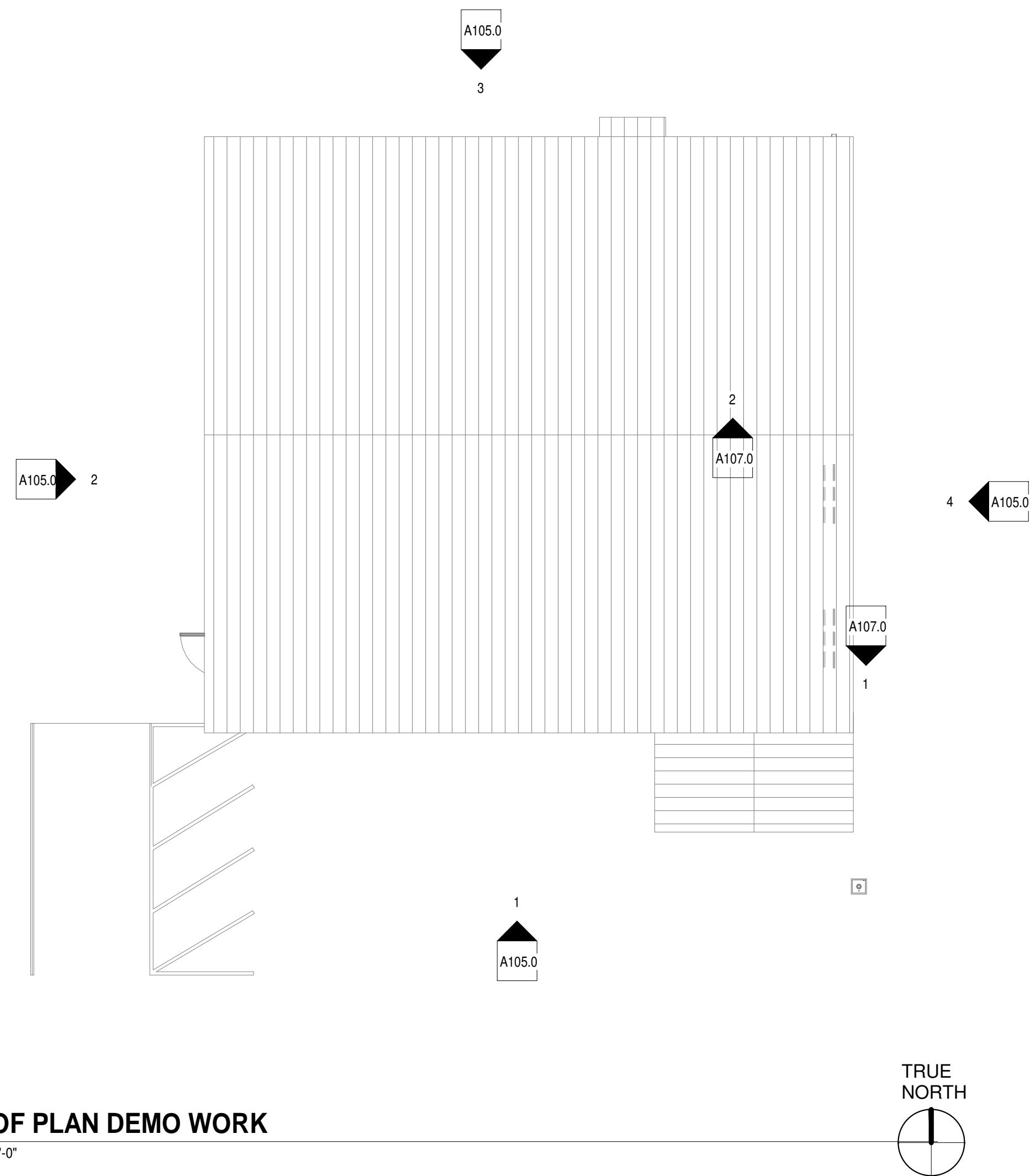
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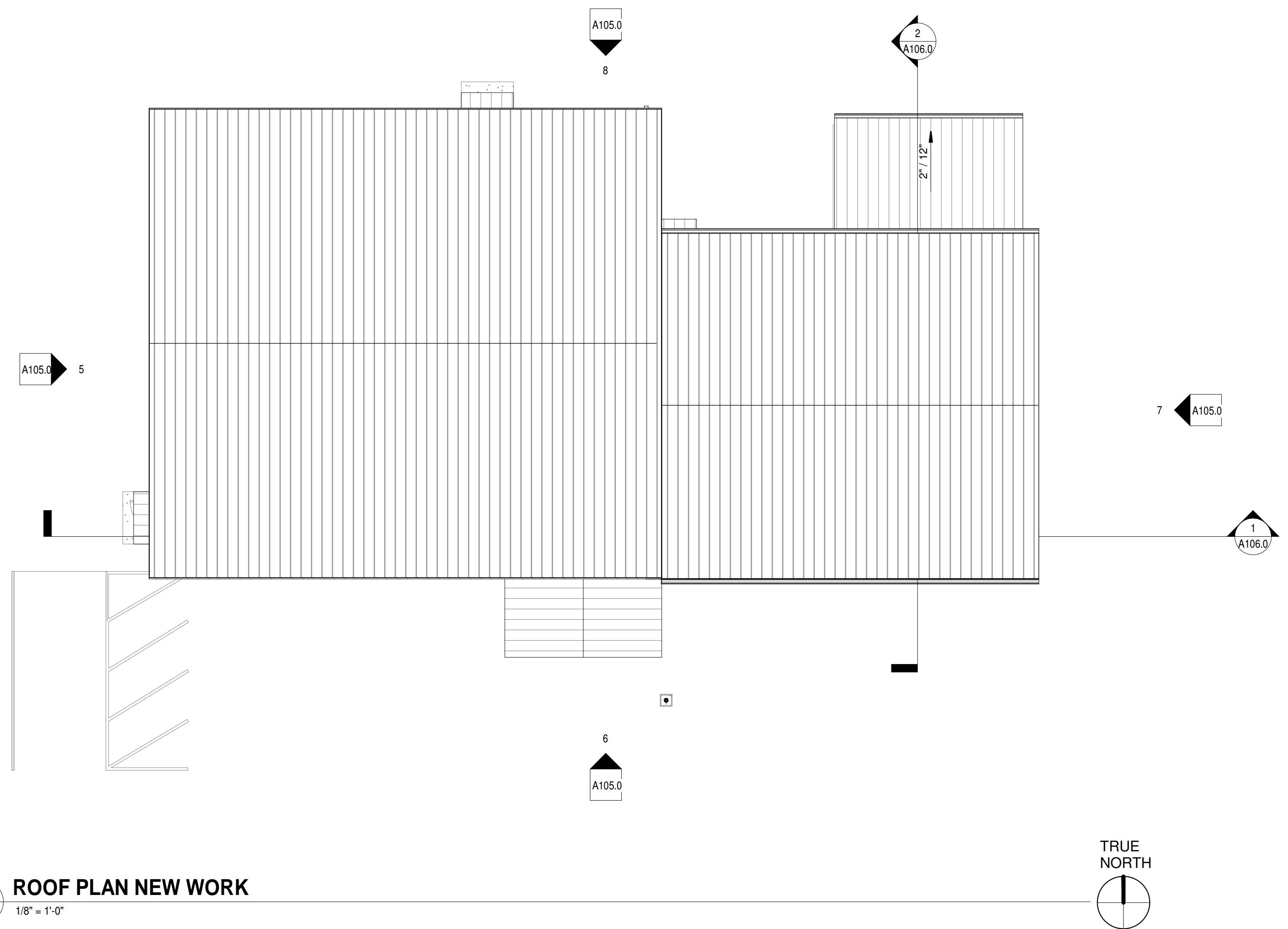








2 ROOF PLAN DEMO WORK  
A103.1 1/8" = 1'-0"



1 ROOF PLAN NEW WORK  
A103.1 1/8" = 1'-0"

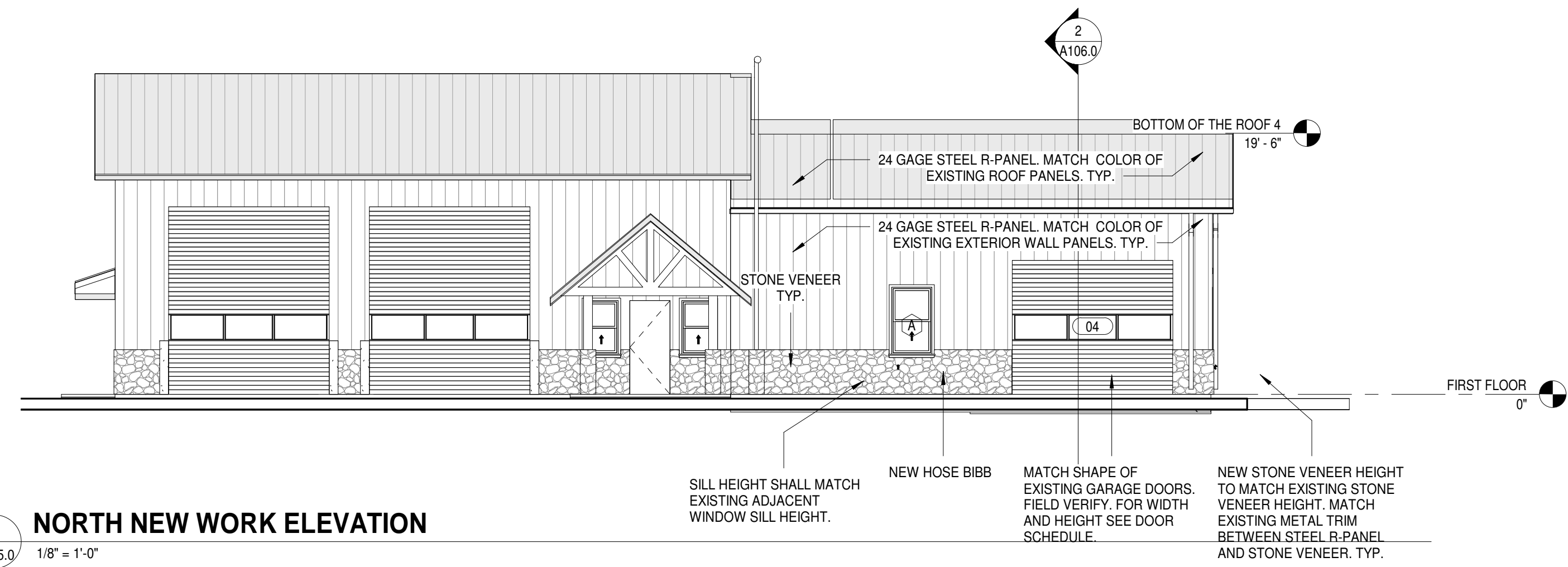
**CALCULATION OF ROOF DRAINAGE**

	DRAINAGE LOAD SIZE	HORIZONTALLY PROJECTED ROOF AREA SERVED		# OF ROOF DRAINS REQUIRED	# OF ROOF DRAINS PROVIDED	ROOF DRAIN SIZE	LEADER SIZE	GUTTER SIZE
ROOF 1	3,446 SF	2,200 SF		2	4	3" ROOF DRAIN	N/A	N/A
ROOF PATIO	1,334 SF	2,200 SF		1	2	3" ROOF DRAIN	N/A	N/A
ROOF 2	1,608 SF	LEADERS 1380 SF	GUTTER 960 SF	N/A	N/A	N/A	NEEDED: (2) 2X3 PROVIDED: (2) 2X3	6" 0.5% SLOPE
ROOF 3	422 SF	850 SF	360 SF	N/A	N/A	N/A	NEEDED: (1) 1 3/4"X 2 1/2" PROVIDED: (1) 1 3/4"X 2 1/2"	4" 0.5% SLOPE

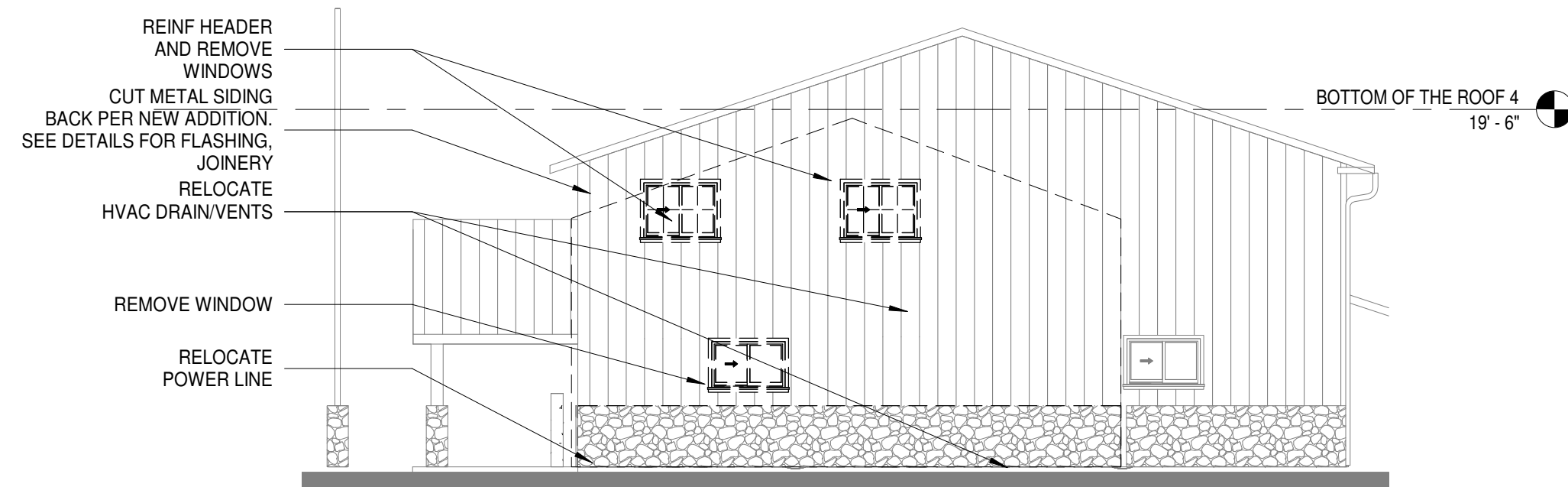
- 100 YEAR RAINFALL INCHES PER HOUR: 4.0" IN PER HOUR FOR PRIMARY DRAIN AND 7.2" PER HOUR FOR SECONDARY DRAINS
- VERTICAL STORM DRAIN I.E.: 98.40 DEG
- 3" ROOF DRAIN AT 4" PER HOUR SERVES ROOF AREA OF 2,200 SF
- CALCULATIONS VERIFIED WITH NCBC CHAPTER 11 AND PROPOSED CONDITIONS MEET THE MINIMUM REQUIREMENTS FOR DRAINAGE.
- IN SIZING ROOF DRAINS, ONE-HALF OF THE AREA OF THE PARAPETS EXTENDING ABOVE THE ROOF WAS ADDED TO THE ROOF AREA.
- PRIMARY GUTTERS FOR ROOF 2 SIZED PER NCBC TABLE 1106.6, AND LEADERS SIZED PER NCBC TABLE 1106.2(2)



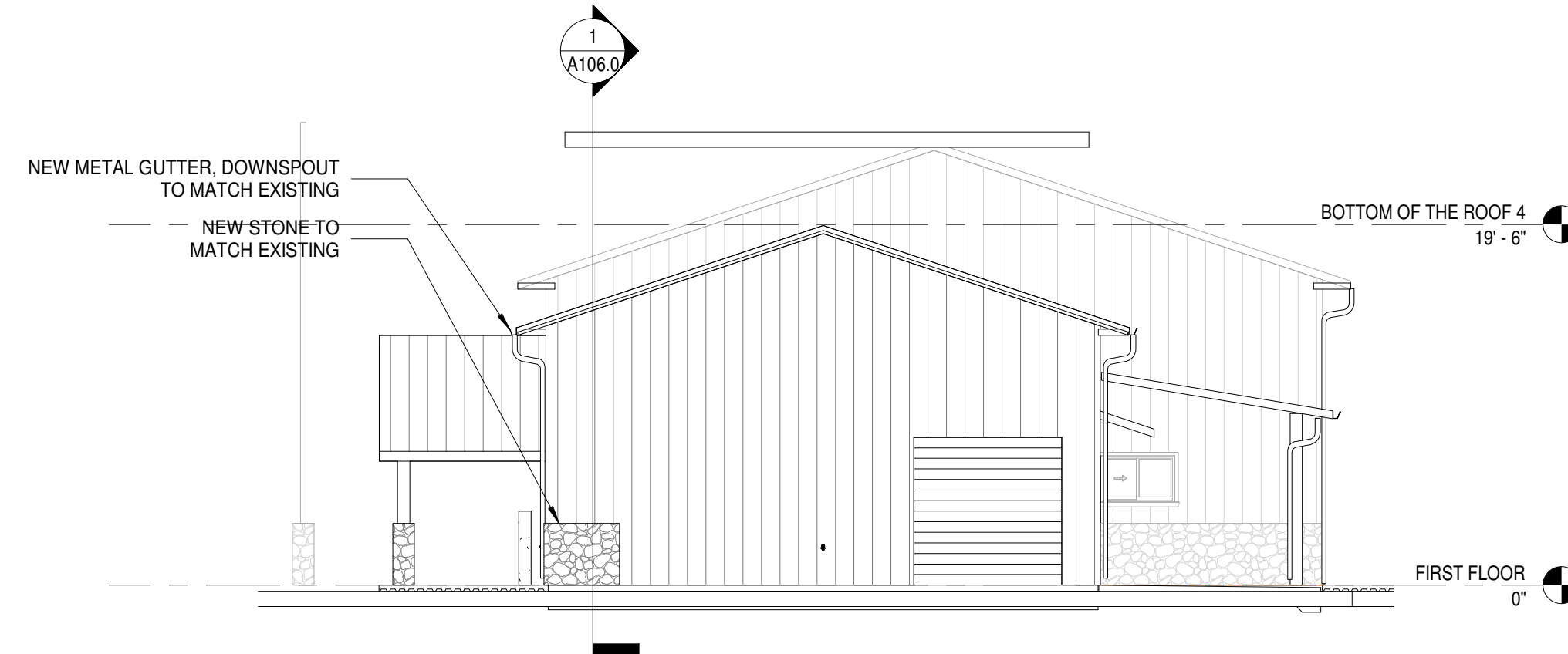
1 NORTH DEMO ELEVATION  
A105.0 1/8" = 1'-0"



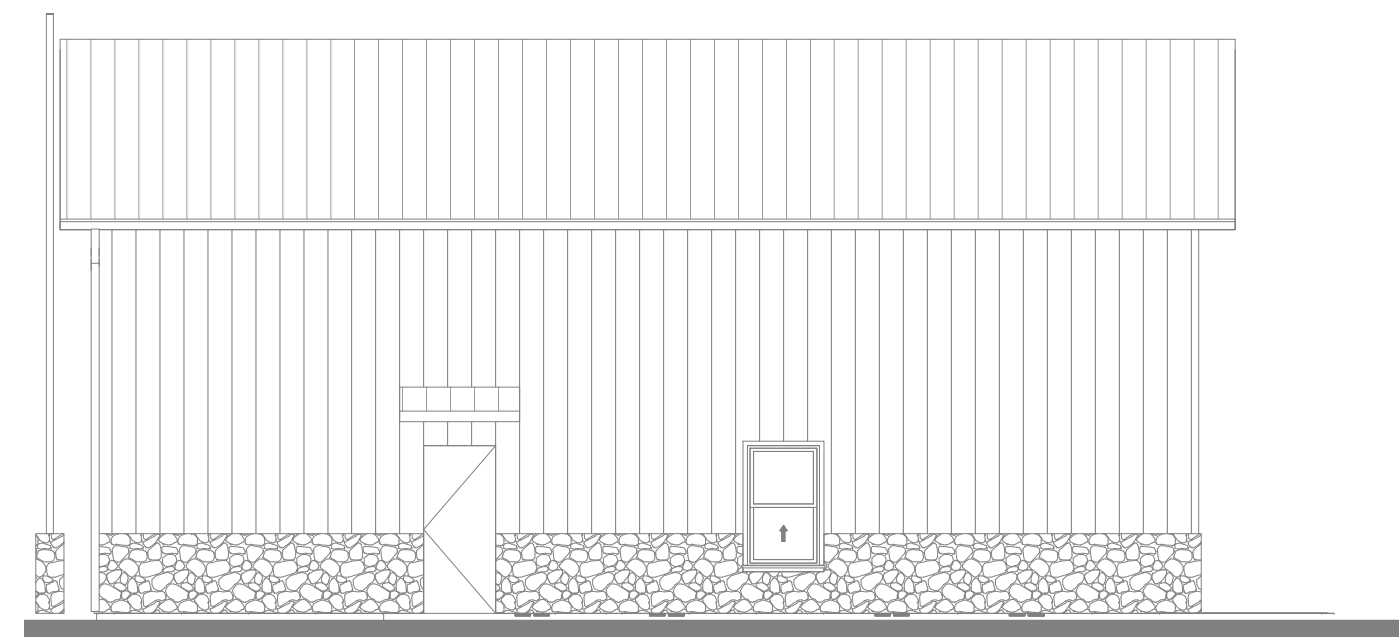
6 NORTH NEW WORK ELEVATION  
A105.0 1/8" = 1'-0"



4 WEST DEMO ELEVATION  
A105.0 1/8" = 1'-0"



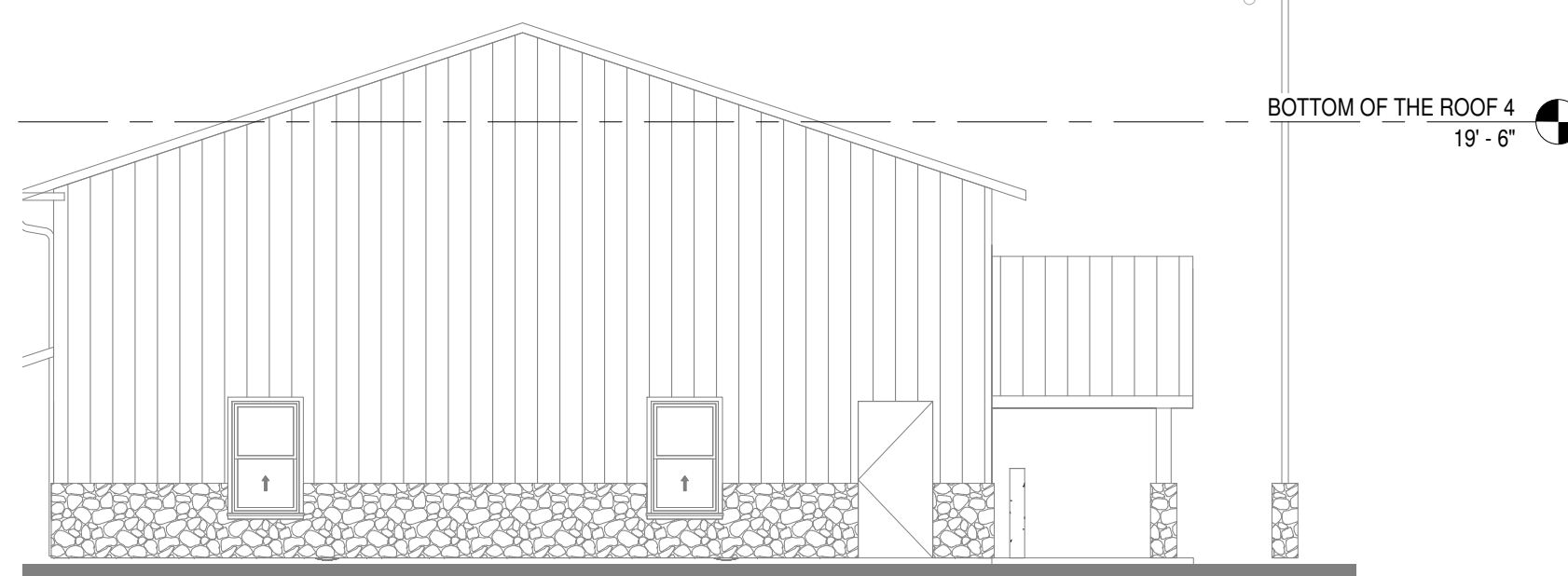
7 WEST NEW WORK ELEVATION  
A105.0 1/8" = 1'-0"



3 SOUTH DEMO ELEVATION  
A105.0 1/8" = 1'-0"



8 SOUTH NEW WORK ELEVATION  
A105.0 1/8" = 1'-0"



2 EAST DEMO ELEVATION  
A105.0 1/8" = 1'-0"

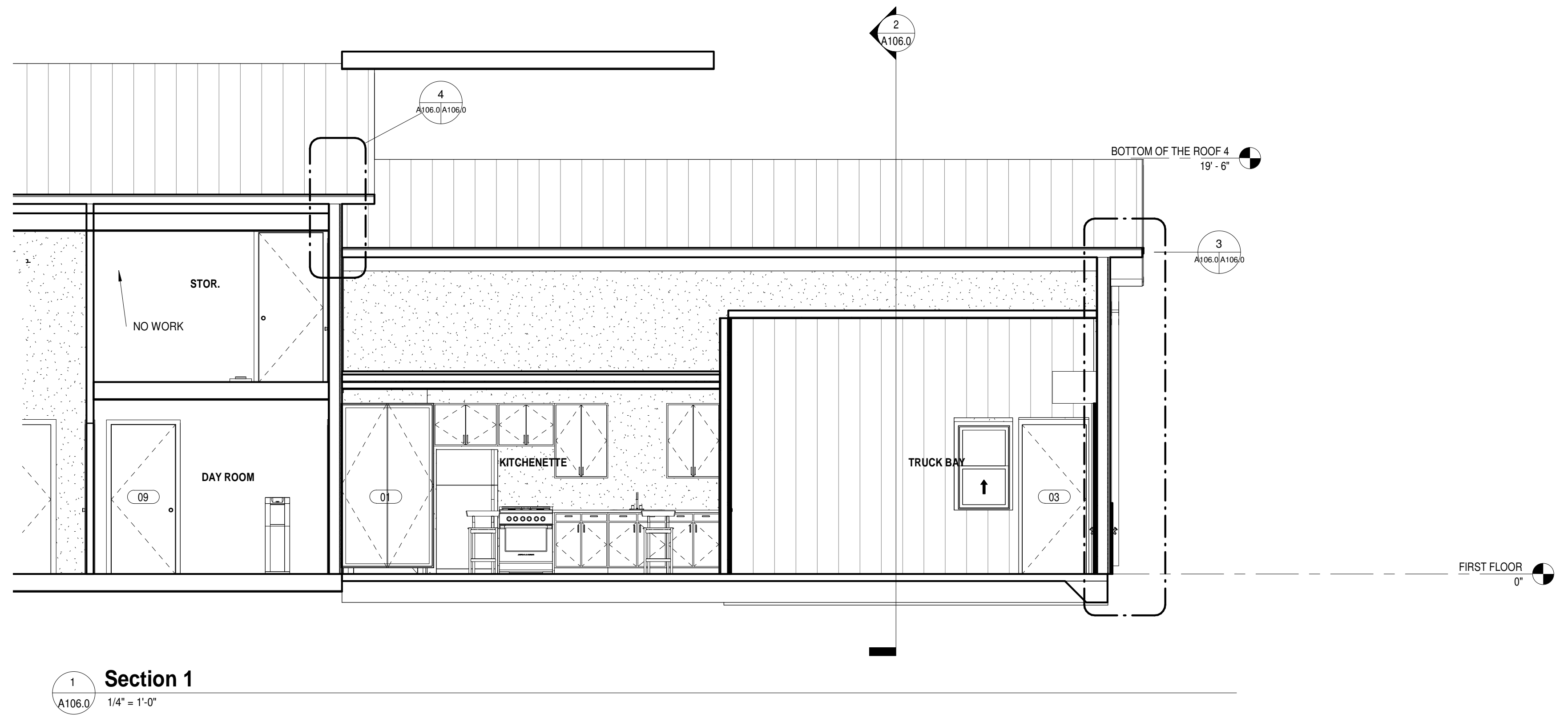
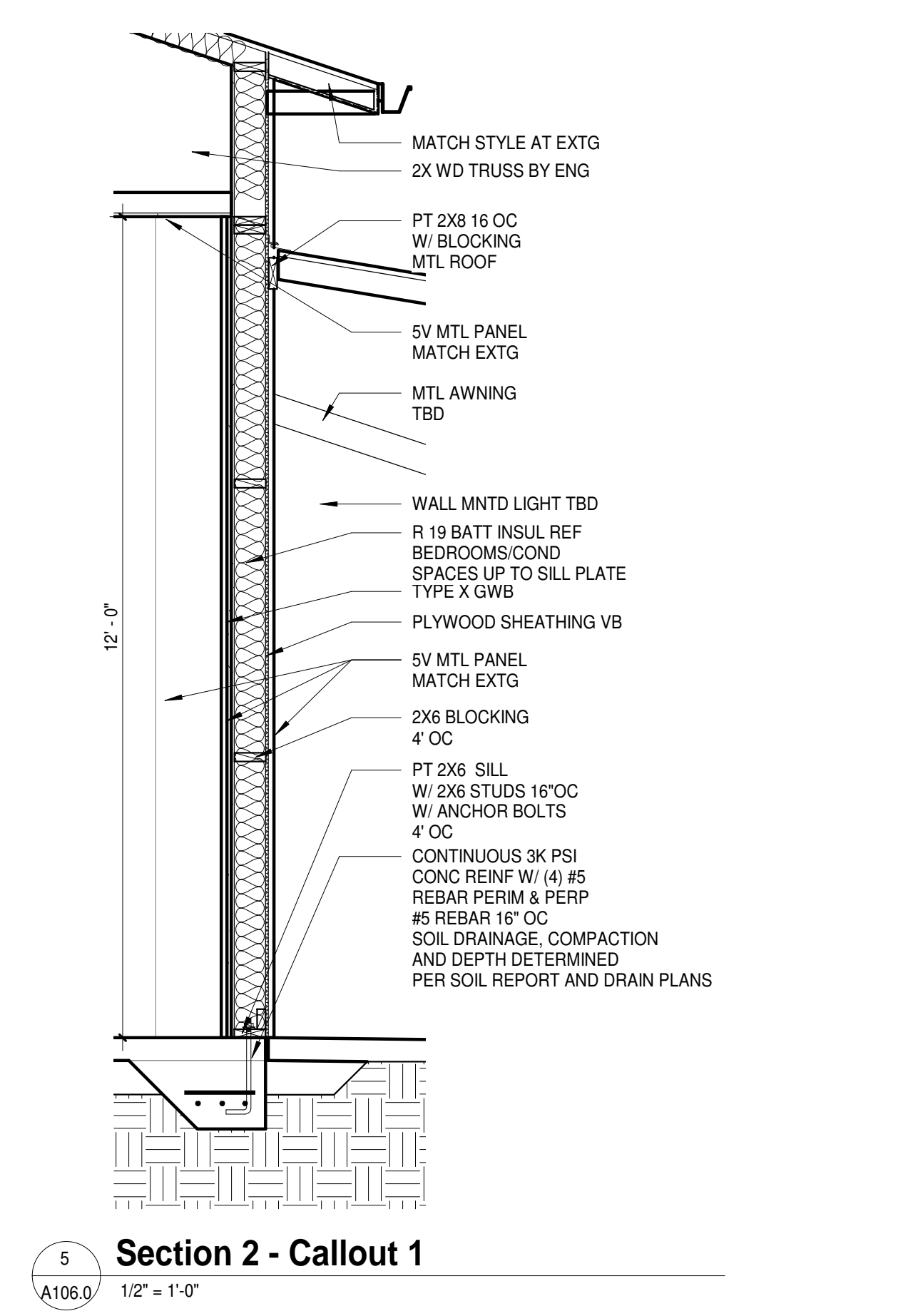
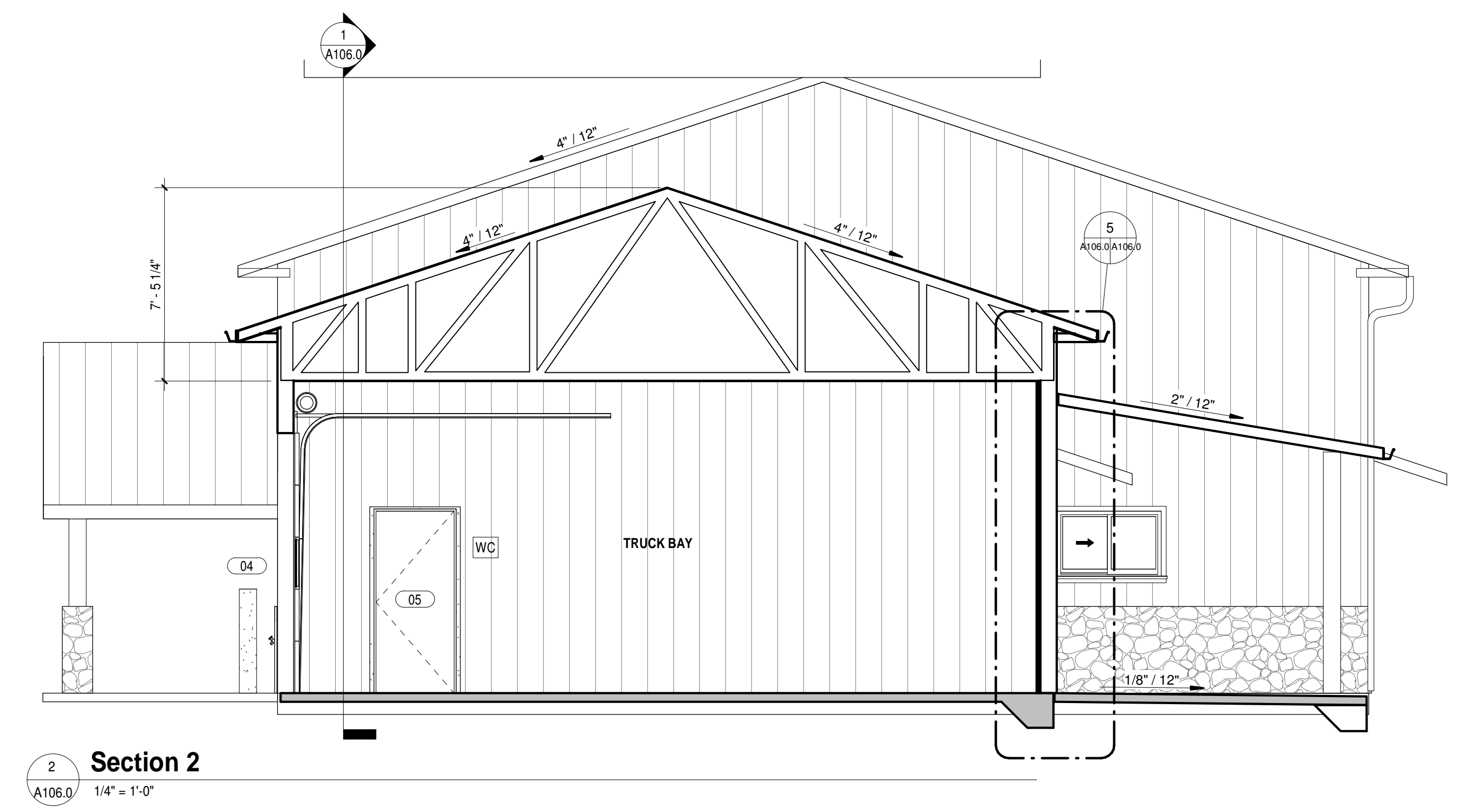
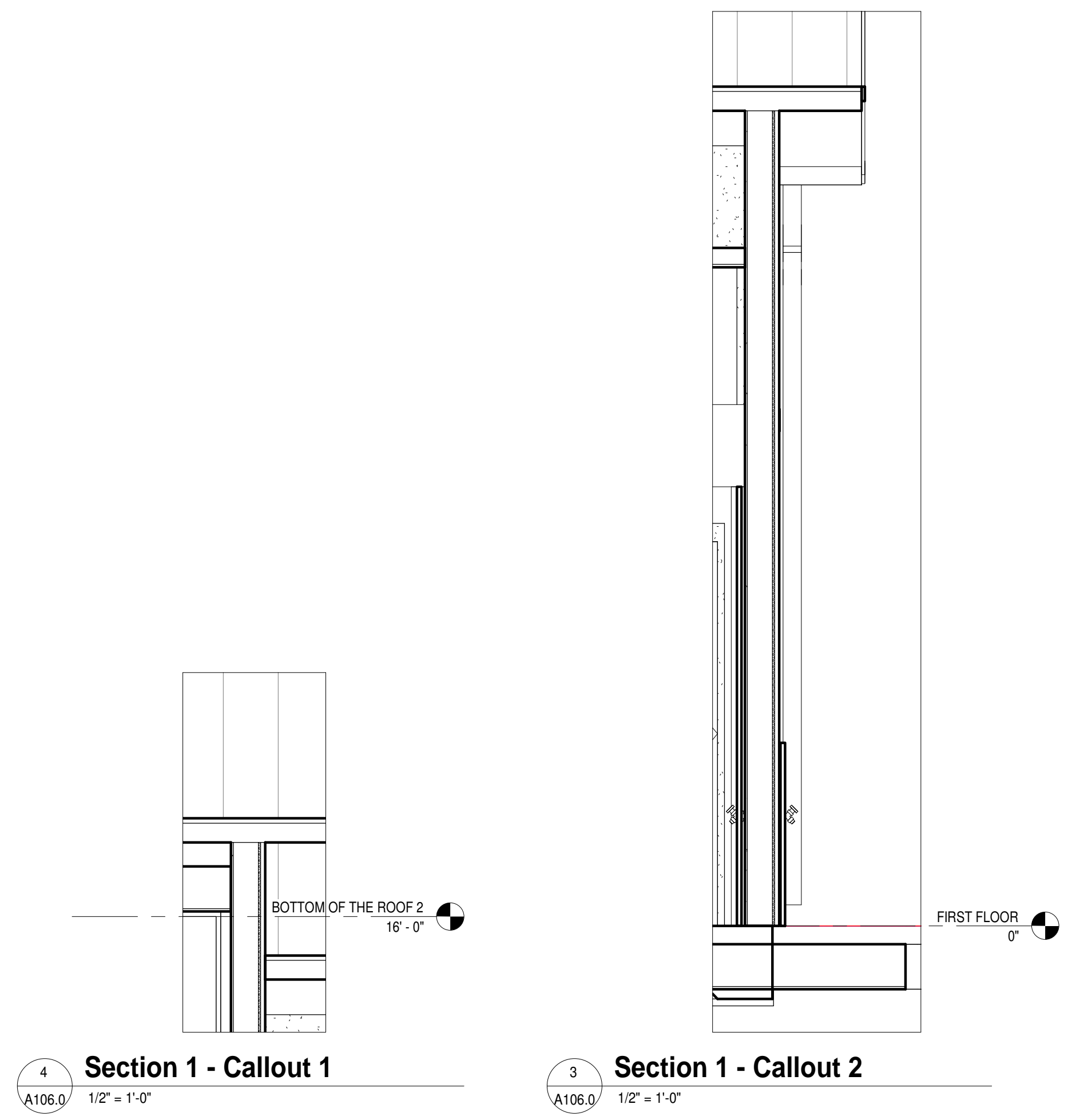
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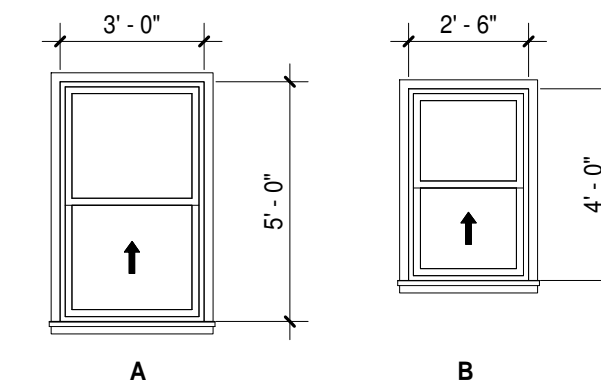
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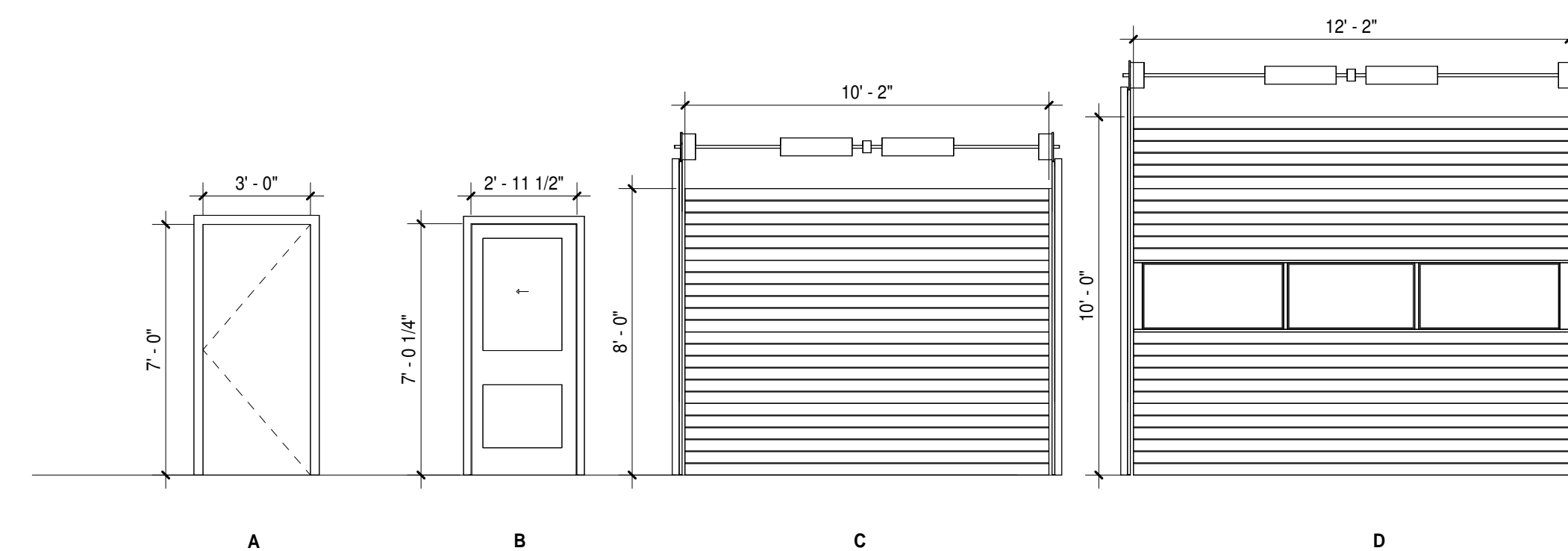


Window Schedule								
Type Mark	Count	Family	Width	Height	Sill Height	Manufacturer	Construction Type	Comments
A	4	Window-Single-Hung	3' - 0"	5' - 0"				
B	6							



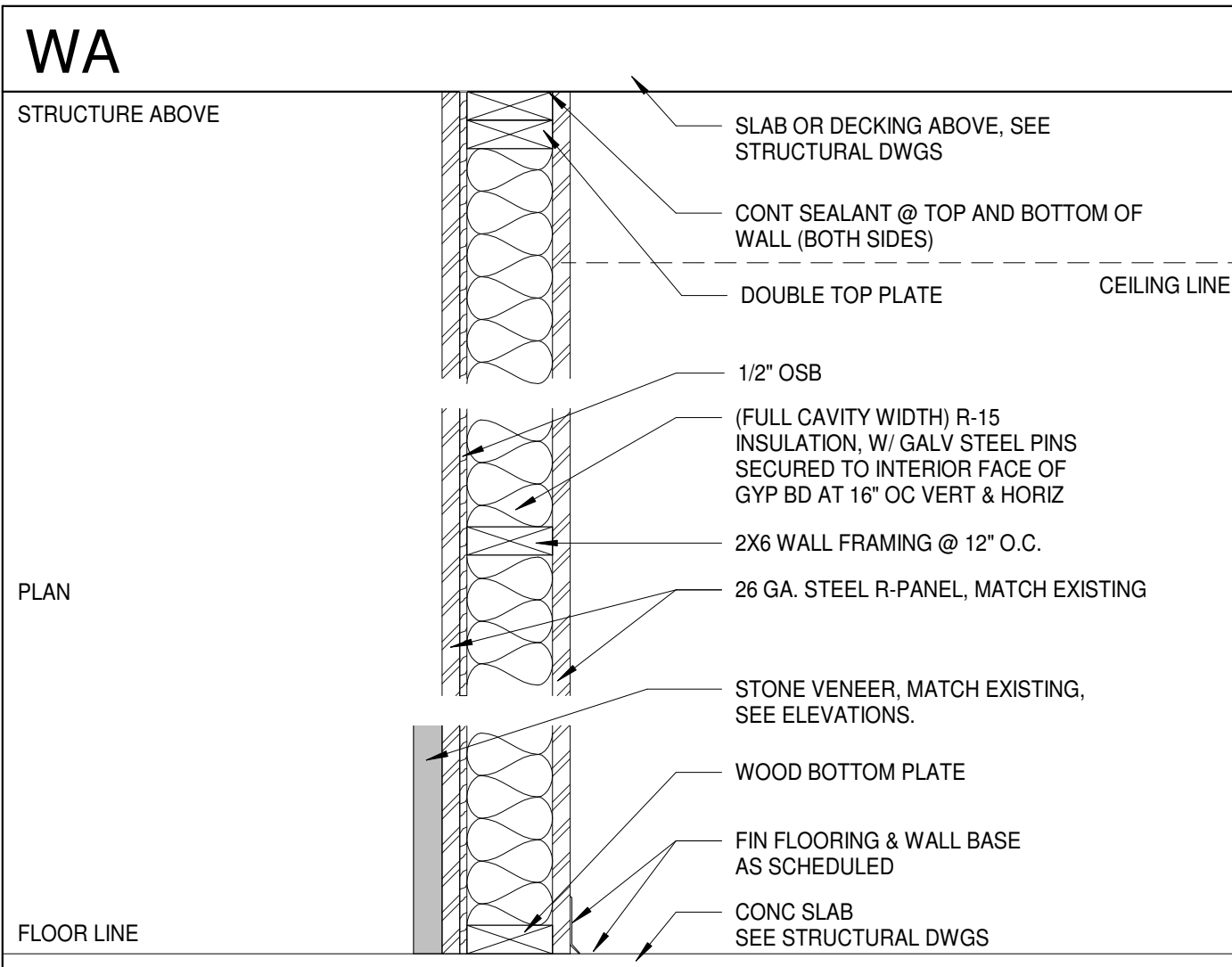
**WINDOW TYPES**  
 1/4" = 1'-0"

DOOR SCHEDULE			
DOOR NO.	DOOR SIZE		REMARKS
	WIDTH	HEIGHT	
01	3' - 0"	7' - 0"	A
02	8' - 0"	8' - 0"	C
03	3' - 0"	7' - 0"	A
04	12' - 0"	10' - 0"	D
05	3' - 0"	7' - 0"	A
06	3' - 0"	7' - 0"	A
07	3' - 0"	7' - 0"	A
08	2' - 6"	7' - 0"	B POCKET
09	3' - 0"	7' - 0"	A
12	3' - 0"	7' - 0"	
13	3' - 0"	7' - 0"	

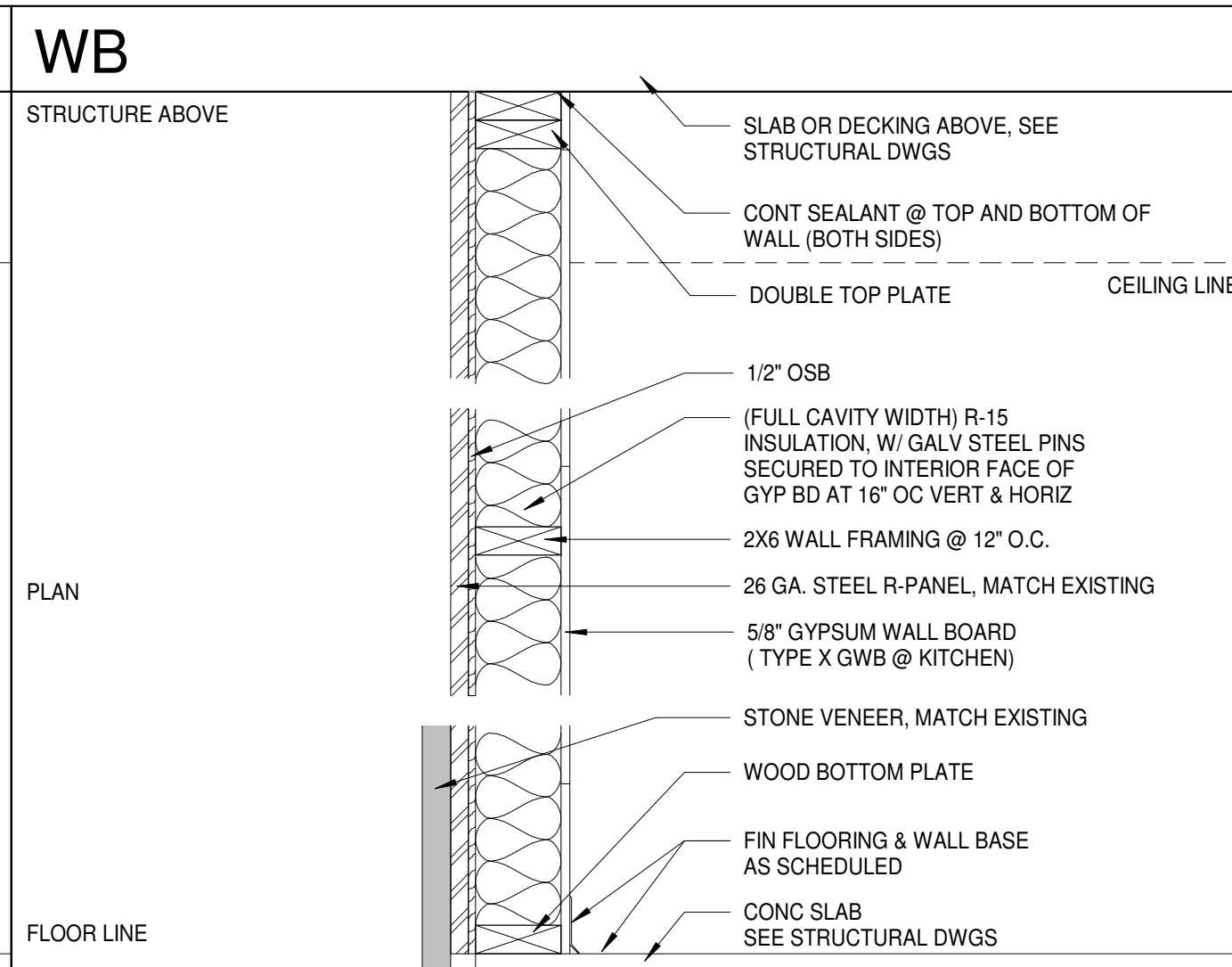


**DOOR TYPES**  
 1/4" = 1'-0"

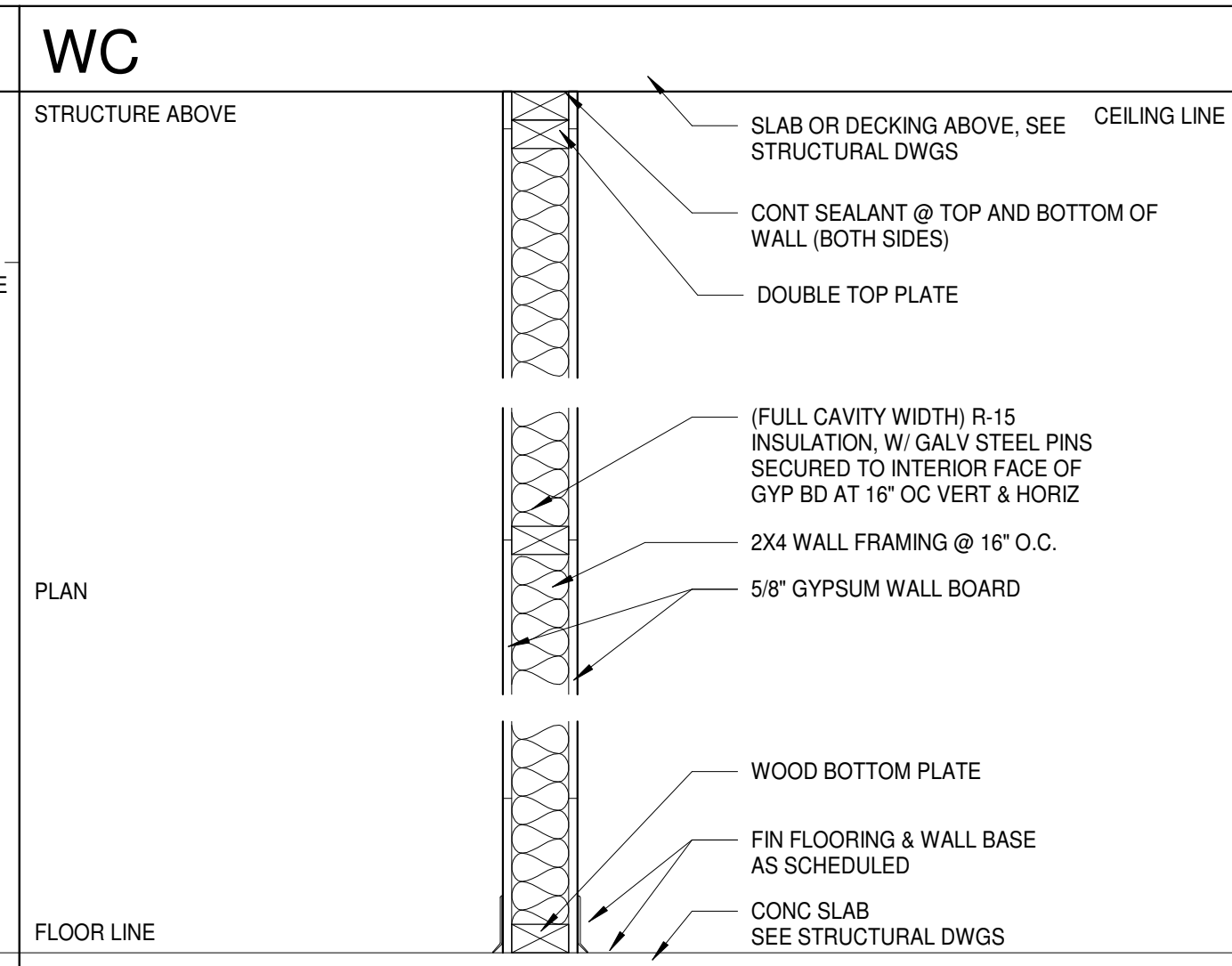




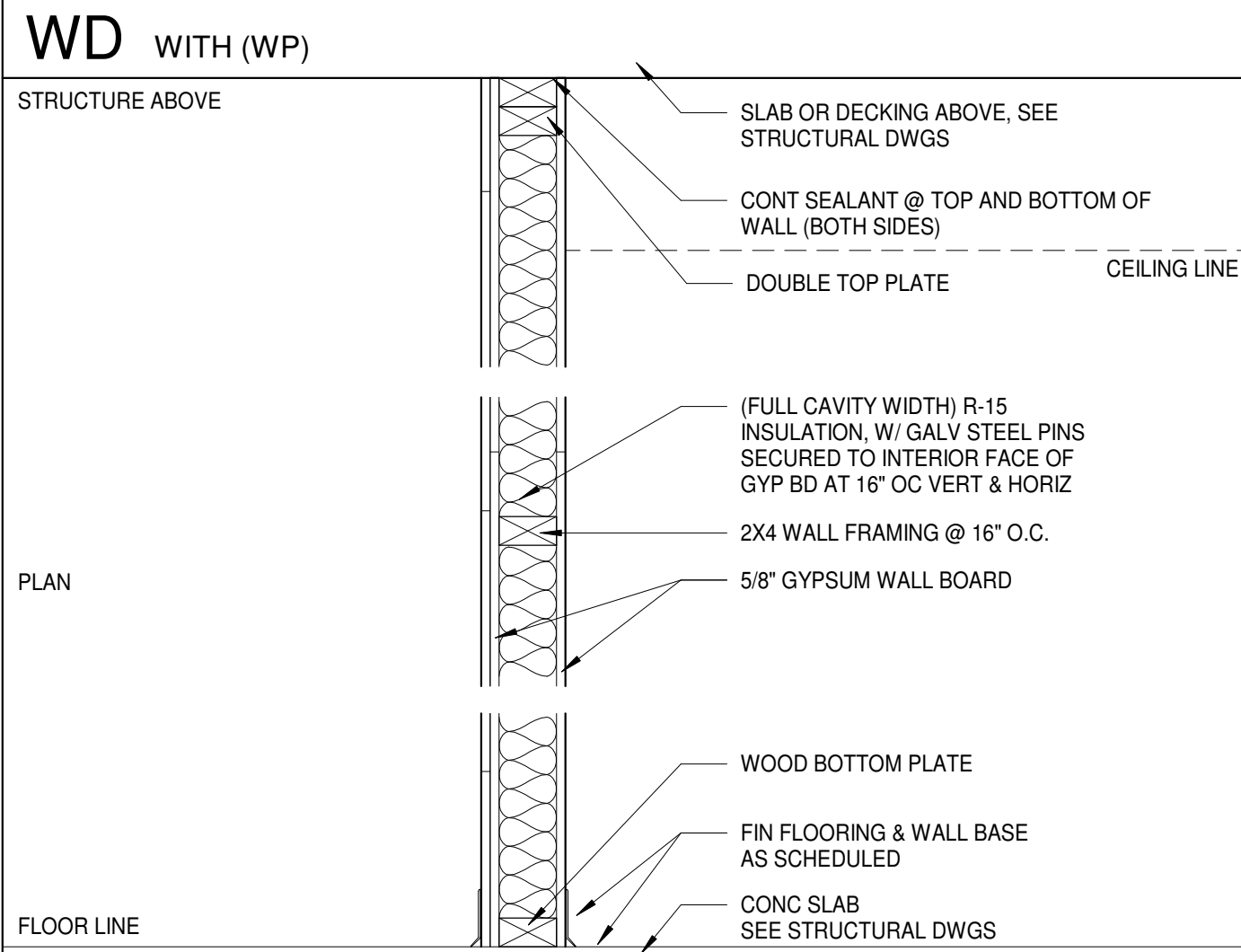
WD6					
STUD SIZE	2" X 6"	-	-	-	-
ACTUAL DIMENSION 'X' (NOT INC. VENEER)	8-1/2"	-	-	-	-
FIRE RATING	-	-	-	-	-
ACOUSTICAL RATING (W/ BATTS)	-	-	-	-	-



WD6					
STUD SIZE	2" X 6"	-	-	-	-
ACTUAL DIMENSION 'X' (NOT INC. VENEER)	7-7/8"	-	-	-	-
FIRE RATING	-	-	-	-	-
ACOUSTICAL RATING (W/ BATTS)	-	-	-	-	-



WD3					
STUD SIZE	2" X 4"	-	-	-	-
ACTUAL DIMENSION 'X'	4-3/4"	-	-	-	-
FIRE RATING	1 HR	-	-	-	-
ACOUSTICAL RATING (W/ BATTS)	36	-	-	-	-



WD3					
STUD SIZE	2" X 4"	-	-	-	-
ACTUAL DIMENSION 'X'	5-3/8"	-	-	-	-
FIRE RATING	1 HR	-	-	-	-
ACOUSTICAL RATING (W/ BATTS)	38	-	-	-	-

**GENERAL NOTES**

- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EMERGENCY LIGHTING, EXITING, SECURITY, AND ALARMS FOR THE ENTIRE SITE. ANY VARIATIONS OF EXISTING SYSTEMS SHALL BE COORDINATED WITH THE OWNER. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS PRESCRIBED BY ALL LAWS, ORDINANCES, CODES, REGULATIONS AND ALL AUTHORITIES HAVING JURISDICTION TO PREVENT INJURY TO ANY PERSONS ON, ABOUT, OR ADJACENT TO THE CONSTRUCTION SITE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR REMOVAL OF ALL WASTE MATERIAL FROM THE PROJECT SITE. ALL ITEMS AND MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF AS SPECIFIED. ON SITE BURNING IS PROHIBITED. ALL AREAS ADJACENT TO THE DEMOLITION ARE SHALL BE KEPT CLEAN. ALL DEMOLITION AREAS SHALL BE CLEANED AND READY FOR NEW CONSTRUCTION AT THE END OF THE DEMOLITION.
- IF THE CONTRACTOR IDENTIFIES ANY CONFLICTS OR OMISSIONS ON THE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.
- ALL EXPOSED INTERIOR AND EXTERIOR MISC. METALS, JOISTS, DECKS, COLUMNS, BEAMS, LINTELS, ANGLES, BRACKETS, ETC. SHALL BE PAINTED. COLOR SELECTION TO BE DETERMINED BY ARCHITECT.
- CONTRACTOR SHALL NOT SCALE THE DRAWINGS. IF DIMENSIONS ARE UNCLEAR NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT INCLUDING ALL PIPING, DUCTWORK AND CONDUIT ARE PROVIDED. SHOULD ANY CONFLICT EXIST, THE GENERAL CONTRACTOR SHALL ADVISE THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE BUILDING IS DESIGNED TO BE STRUCTURALLY SELF-SUPPORTING & STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ALL ERECTION MEANS, METHODS, PROCEDURES & SEQUENCING TO DETERMINE THE ADEQUACY & STRENGTH OF ANY PARTS OF THE STRUCTURE BEING USED AS TEMPORARY SUPPORTS; TO DETERMINE THE STRUCTURE OF ELEMENTS BEING USED AS TEMPORARY SUPPORTS THROUGHOUT THE CONSTRUCTION PERIOD & TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THE SUB-CONTRACTORS SHALL CAREFULLY COORDINATE THEIR ACTIVITIES THROUGH THE GENERAL CONTRACTOR TO ACHIEVE THESE REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING, GUYS, SHORING OR TIE-DOWNS AS REQUIRED TO EXECUTE CONSTRUCTION SEQUENCE. SUCH TEMPORARY MATERIALS SHALL BE REMOVED BY THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS SHALL REVIEW THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS AND ADVISE THE ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING WITH CONSTRUCTION.
- "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITION.
- PROVIDE UTILITY SHELF W/ MOP HOLDER IN EACH JANITOR CLOSET.
- PROVIDE INTERIOR SIGNS W/ BRAILLE FOR ALL SPACES REQUIRED BY CODE. ALL SIGNS SHALL MEET AND BE INSTALLED PER IBC 2012 AND ANSII 117 2009 REQUIREMENTS.
- PORTABLE FIRE EXTINGUISHERS HAVING A GROSS WEIGHT NOT EXCEEDING 40 POUNDS SHALL BE INSTALLED SO THAT THE TOP IS NOT MORE THAN 5'-0" FROM FINISHED FLOOR. THE MINIMUM HEIGHT BETWEEN THE FINISH FLOOR AND THE BOTTOM OF THE EXTINGUISHERS SHALL NOT BE LESS THAN 4 INCHES.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW FOR ALL PRE-MANUFACTURED COMPONENTS PRIOR TO PURCHASE.
- CONTRACTOR SHALL PROVIDE CUT SHEETS FOR ARCHITECT'S REVIEW FOR ALL MATERIALS, FIXTURES & EQUIPMENT PRIOR TO PURCHASE.

**WALL TYPE**

- M - MASONRY
- S - STEEL STUD
- W - WOOD STUD
- C - CHASE WALL
- E - SHAFT WALL

**WALL VARIANT - ALPHABETICALLY SEQUENTIAL**

**MEMBER THICKNESS**

FURRING	STEEL STUD	WOOD STUD	SHAFT WALL
L - LAMINATED	1 - 1 5/8" STUD	1 - 1 1/2" NAILER	2 - 2 1/2" CH STUD
0 - 7/8" HAT	2 - 2 1/2" STUD	3 - 2 x 4" STUD	4 - 4" CH STUD
1 - 1 1/2" HAT	3 - 3/8" STUD	6 - 2 x 6" STUD	6 - 6" CH STUD
	4 - 4" STUD	8 - 2 x 8" STUD	8 - 8" CMU
	6 - 6" STUD		
	8 - 8" STUD		

**WALL FRAMING PRIORITY**

PARTITIONS SHALL BE PRIORITIZED BASED ON FIRE AND SMOKE RATING. PARTITIONS SHALL BE CONSTRUCTED SUCH THAT HIGHER PRIORITY IS FRAMED BEFORE LOWER PRIORITY. LOWER PRIORITY PARTITIONS SHALL BE FRAMED TIGHT TO, BUT NOT INTERRUPT HIGHER PRIORITY CONSTRUCTION. (SEE THE EXAMPLE BELOW)

2 HOUR FIRE RATED WITH SMOKE BARRIER	PRIORITY 1 (HIGHEST)
2 HOUR FIRE RATED	PRIORITY 2
1 HOUR FIRE RATED WITH SMOKE BARRIER	PRIORITY 3
1 HOUR FIRE RATED	PRIORITY 4
NONE RATED	PRIORITY 5 (LOWEST)

**GENERAL PARTITION NOTES:**

- PLAN DIMENSIONS ARE FACE OF STUD, CMU OR FINISH FACE OF EXISTING WALL CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE
- GYPSON WALL BOARD LAYERS ON RATED WALLS SHALL BE CONTINUOUS THROUGH ALL INTERSECTIONS WITH NON-RATED WALLS. REFER TO FIRE WALL PRIORITY DIAGRAM.
- REFERENCE ALL FLOOR PLANS AND LIFE SAFETY PLANS FOR RATED WALL LOCATIONS & RATINGS.
- PROVIDE TYPE X, MOLD AND MOISTURE RESISTANT GYPSUM BOARD IN ALL TOILET AND JANITOR ROOMS. *\*\*Architect's note: verify with specs & edit as required for specific project\*\**
- PROVIDE CEMENT BOARD IN ALL WET SHOWER AREA WALLS WITH TILE FINISH. *\*\*Architect's note: verify with specs & edit as required for specific project\*\**
- PROVIDE IMPACT RESISTANT GYPSUM BOARD UP TO 4'-0" IN ALL LOBBIES, CORRIDORS, & STAIRWELLS. *\*\*Architect's note: verify with specs & edit as required for specific project\*\**
- AT ALL UL RATED WALLS THAT EXTEND TO THE STRUCTURE ABOVE, FILL VOIDS SOLID WITH MINERAL WOOL INSULATION WHERE WALL IS FRAMED AROUND BEAMS, BAR JOISTS, SLABS, AND ROOF DECK. MAINTAIN SCHEDULED SOUND RATING. AT ALL SOUND RATED WALLS PROVIDE FLEXIBLE SEALANT OR AN ACOUSTICAL GASKET BETWEEN THE STC RATED SYSTEM AND ALL DISSIMILAR SURFACES (IE PENETRATIONS) AND ALSO BETWEEN THE SYSTEM AND SIMILAR SURFACES WHERE PERIMETER RELIEF IS REQUIRED. ALL OPENINGS THROUGH THE SYSTEM, AND ITS ENTIRE PERIMETER, SHALL BE SEALED AIRTIGHT. TAPING GYPSUM BOARD WALL AND WALL-CEILING INTERSECTIONS PROVIDES AN ADEQUATE AIR SEAL AT THESE LOCATIONS.
- AT ALL JOINTS AT TOP OF ALL FIRE RATED PARTITIONS: PROVIDE COMPLETE UL LISTED FIRE RESISTIVE JOINT SYSTEM TO MATCH FIRE RESISTANCE OF WALL ASSEMBLY AND THAT IS ALSO COMPATIBLE WITH JOINT SUBSTRATES. SUBMIT COMPLETE JOINT SYSTEM PRODUCT INFORMATION FOR ALL CONDITIONS.
- PROVIDE CONTINUOUS ICE & WATER SHIELD BETWEEN METAL STUD TRACK & CONCRETE OR DECK AT TOP (AND BOTTOM) OF WALL WHERE UNCONDITIONED SPACES EXIST ABOVE (OR BELOW).
- PROVIDE DEFLECTION TRACK AT TOP OF WALL AT ALL CONNECTIONS TO THE STRUCTURE ABOVE. *\*\*Architect's note: verify with specs & edit as required for specific project\*\**
- ANY PORTION OF GYPSUM BOARD THAT BECOMES WET OR SHOWS SIGNS OF MOISTURE DAMAGE, EITHER BEFORE OR AFTER INSTALLATION, IS TO BE REMOVED IMMEDIATELY AND REPLACED WITH NEW DRY GYPSUM BOARD.
- MANY INTERIOR PARTITIONS HAVE ADDITIONAL FINISHES, SUCH AS WALL TILES OR WOOD PANELING. SEE FINISH SCHEDULE AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- ALL CONCRETE BLOCK (IN FIRE RATED WALLS) MUST BEAR THE UL CLASSIFICATION MARK OR SUBMIT EQUIVALENT TESTING DATA.
- GENERAL CONTRACTOR SHALL VERIFY SPACING AND GAUGE OF INTERIOR STUDS, LIMITING HEIGHTS AND ALLOWABLE DEFLECTION FOR SPECIFIC APPLICATIONS BASED ON MANUFACTURER'S REQUIREMENTS. AT A MINIMUM STUDS SHALL BE 20 GAUGE OR GREATER.
- GENERAL CONTRACTOR SHALL COORDINATE ROOF DRAIN LINE LOCATIONS WITHIN WALLS.
- SOUND ATTENUATION BLANKET IS REQUIRED AT ALL INTERIOR PARTITIONS AND SHALL RUN FULL HEIGHT OF PARTITION UNLESS NOTED OTHERWISE. SOUND ATTENUATION BATT SHALL BE MADE OF MINERAL WOOL OR OTHER UL APPROVED MATERIAL.
- IT IS NOT THE INTENT OF THE DOCUMENTS TO IDENTIFY EACH INDIVIDUAL WALL WITH A WALL TAG. MINOR WALLS OR OTHER WALLS NOT TAGGED WILL BE OF THE SAME WALL TYPE AS ADJACENT WALLS.
- GENERAL CONTRACTOR IS TO COORDINATE AND PROVIDE ALL REQUIRED BLOCKING WITHIN THE WALLS. THIS INCLUDES BUT IS NOT LIMITED TO, ALL MILLWORK, CASEWORK, GRAB BARS, LCD MONITORS, AND TOILET PARTITIONS.
- GYPSUM BOARD ON WALLS SHALL BE APPLIED WITH A MINIMUM 1/4" GAP BETWEEN THE GYPSUM BOARD AND THE FLOOR AND SHALL NOT BE APPLIED OVER OTHER BUILDING MATERIALS WHERE CONDITIONS EXIST THAT ARE FAVORABLE TO MOLD GROWTH.

**THE TAMARA PEACOCK COMPANY**  
*Architects*  
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 MICHAEL HUGGINS, FIRE CHIEF  
 ETOWAH HORSESHOE FIRE & RESCUE  
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PROJECT NAME:  
**ETOWAH FIREHOUSE #4 23-021**  
**744 Brickyard Rd, Etowah, NC 28729**

TAMARA PEACOCK, P.A.  
 LICENSE NO. 12126

ISSUED FOR:  
 SCHEMATIC DESIGN

DATE:  
 5/23/2023

SHEET NAME:  
**PARTITION TYPES**

REVISIONS:


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