

REQUEST FOR COMMITTEE ACTION
HENDERSON COUNTY
TECHNICAL REVIEW COMMITTEE

MEETING: February 3, 2026

SUBJECT: Major Site Plan Review Taco Bell

PRESENTER: Matt Champion, Zoning Administrator

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Retail Sales & Service SR 7.14 & Drive-Thru Window SR 2.2

Suggested Motion: I move that the TRC approve/deny the major site plan for Taco Bell



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** Luihn VantEdge Partners, LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PINs:** 9651-66-4259
- 1.4. **Size:** 1.98 acres +/-
- 1.5. **Location:** The subject area is located at 5422 Asheville Hwy (US25).
- 1.6. **Supplemental Requirements:**

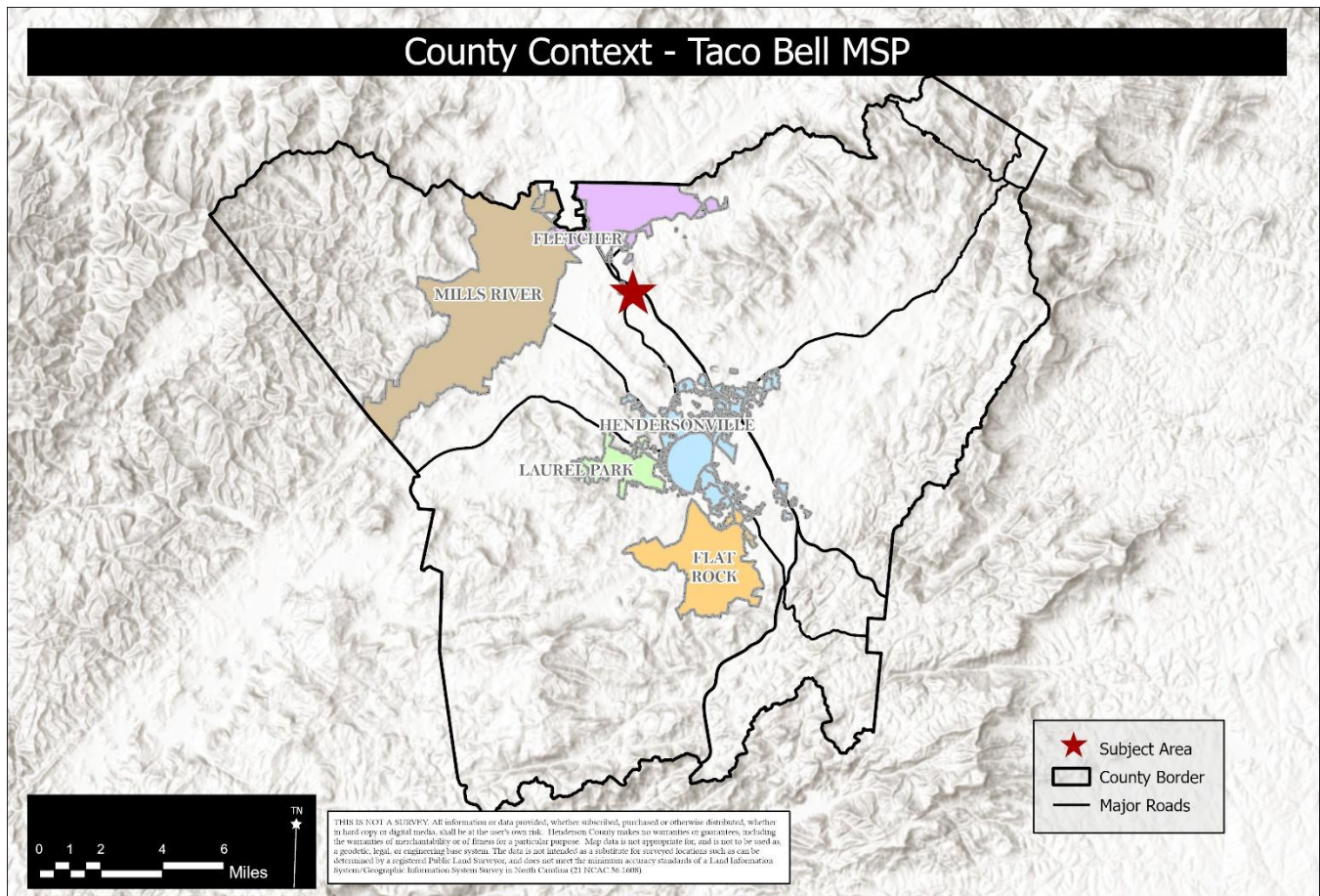
SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (of *Gross Floor Area*)

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

SR 2.2. Drive-Thru Window

- (1) Maximum Number Permitted Per Lot. Two (2) per business, three (3) per restaurant and/or five (5) per financial institution.
- (2) Structure Orientation. The drive-thru window, any communications equipment and menu *signs* shall be located so as not to be seen from any adjacent *residential zoning district* property.
- (3) Stacking Lanes. Stacking lanes shall:
 - a. Be a minimum of 100 feet in length (where window access is provided directly from a *road* of low volume);
 - b. Be distinctly marked (striping, pavement markings, parking islands, etc.);
 - c. Be separate from a passage lane (located to the outer edge of the stacking lane); and
 - d. Not placed within 75 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*).
- (4) Passage Lanes. Passage lanes shall be provided to the outer edge of the stacking lane to ensure the adequate flow of traffic on the site.
- (5) Landscaping Standards. Drive-thru windows, stacking lanes and circulation areas shall be treated as components of on-site parking for the purposes of landscaping requirements.

Map A: County Context



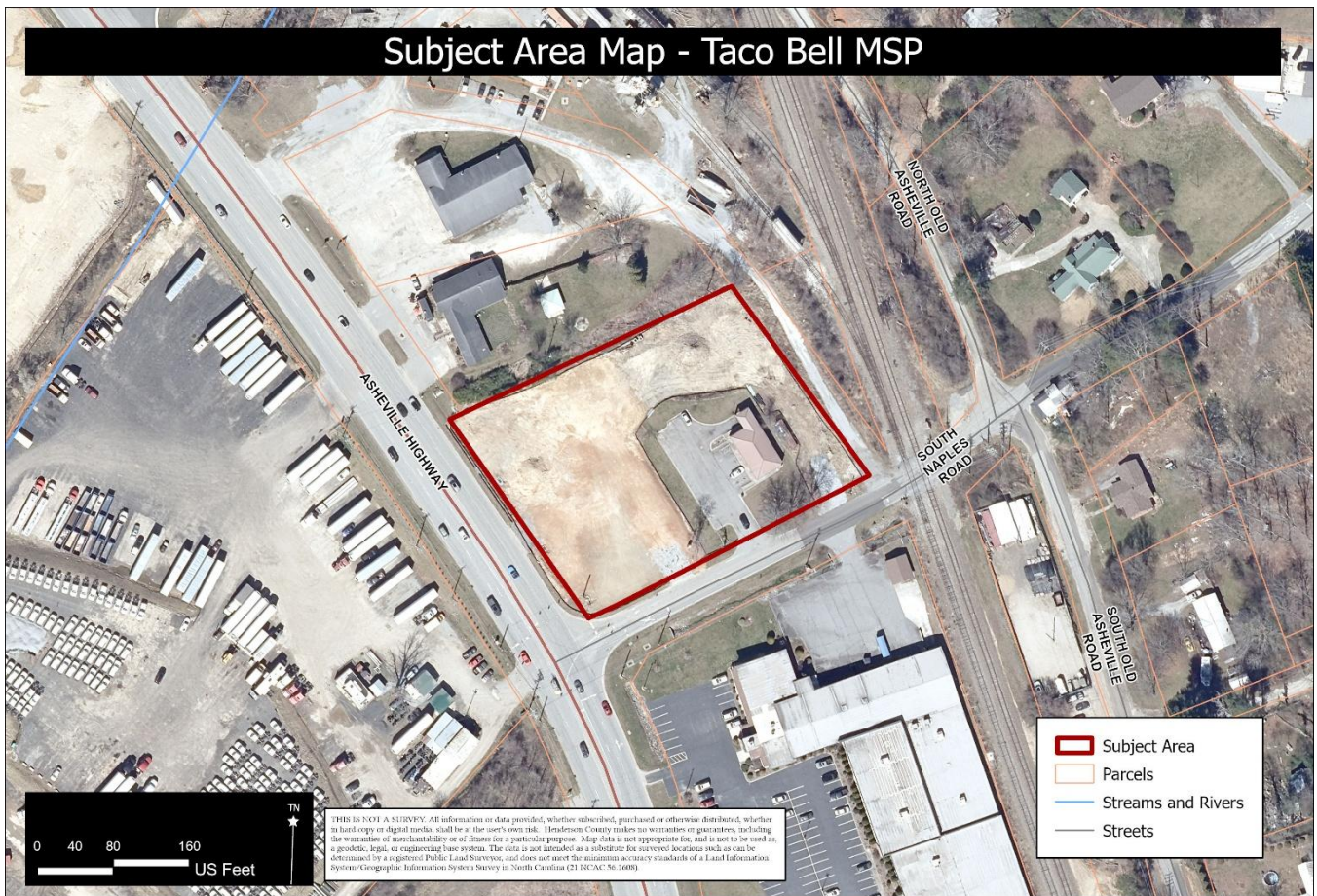
Property Owner: Naples 121, LLC / Applicant: Luihn VantEdge Partners, LLC
 Assessed Acreage: 1.98 Acres PIN: 9651-66-4259
 Current Zoning: Regional Commercial (RC)



2. History & Characteristics:

- 2.1. **Current Property Owners:** Rick Moore purchased the property on October 6, 2021, and transferred the property into an LLC on February 11, 2025.
- 2.2. **Former Property Owners:** Scott McKinley Jarvis Revocable Trust was listed as the former property owner.
- 2.3. **Natural Resources:**
 - 2.3.1. **Streams:** The subject area does not contain any surface water sources. The subject area is within proximity to several large flood hazard areas on the other side of Asheville Hwy.
 - 2.3.2. **Slopes:** The subject area only contains slopes between 0% to 16%.

Map B: Subject Area Map



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3. Current Conditions

2.1 Current Use: The subject area currently contains an approximately 1,488SQFT United States Post Office and a 2024 TRC approved 2,230SQFT Dunkin' restaurant with a drive-thru. The USPS structure is still currently in use and operates under a lease agreement. The Dunkin' restaurant opened in 2025.

2.2 Adjacent Area Uses: The surrounding properties consist of commercial and industrial uses. Some residential uses are found east of the subject area along S. and N. Old Asheville Rd. A self-storage facility is located southeast of the subject area.

4. Current Zoning

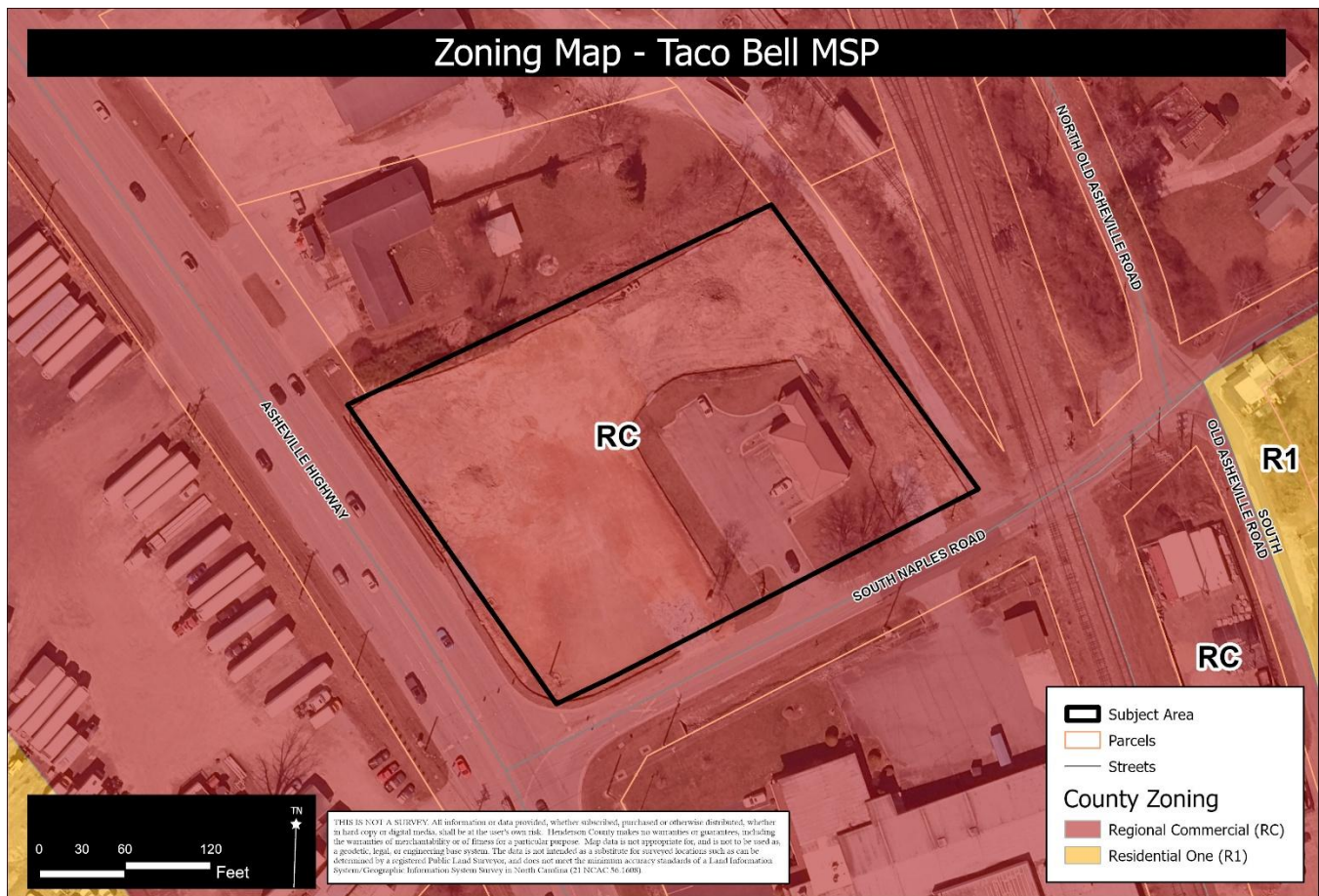
4.1. **Subject Area Zoning:** The subject area is currently zoned Regional Commercial (RC) by Henderson County.

4.2. **Adjacent Area Zoning:** The subject area is surrounded by properties that are also zoned Regional Commercial (RC).

4.2.1. Regional Commercial (RC): "The purpose of the Regional Commercial (RC) zoning district is to foster orderly growth where the principal use of land is commercial. The intent of this district is to allow for commercial development consistent with the

recommendations of the Comprehensive Plan. In accordance with the Comprehensive Plan, the district will allow for and provide commercial development that: (1) includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on the local, community, and regional level; (2) is directed largely to Community Service Centers as defined in the Comprehensive Plan; (3) is compatible with adjacent development and the surrounding community; and (4) will minimize congestion and sprawl. This general use district is meant to be utilized in areas designated as Urban (USA) in the Comprehensive Plan.” Residential density in Regional Commercial is sixteen (16) units per acre with a maximum impervious surface allowance of 80% (LDC §42-28).

Map C: Current Zoning

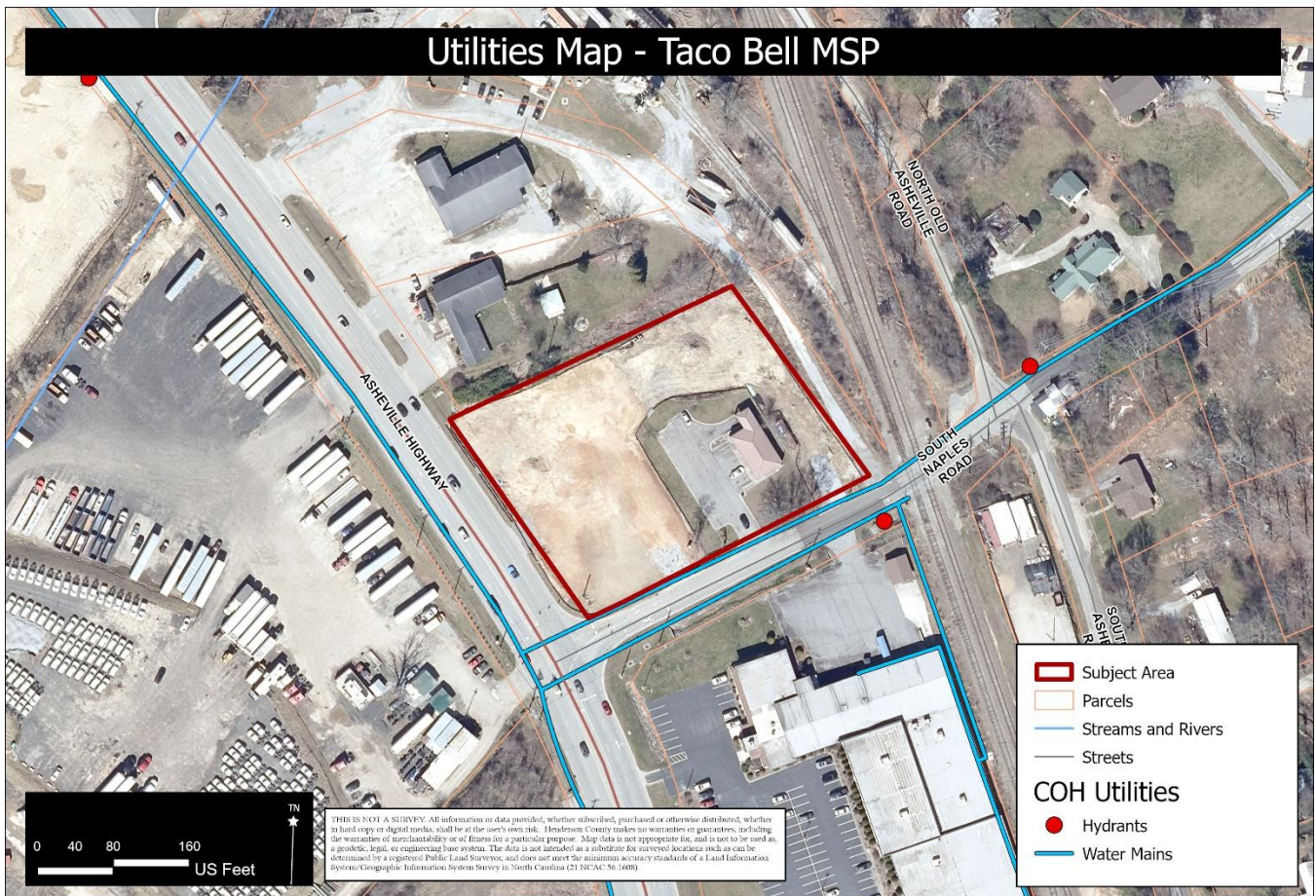


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5. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

Map D: Utilities Map



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6. **Water and Sewer** The applicant is proposing connection to the City of Hendersonville public water and MSD public sewer to serve this property.

Public Water: Yes

Public Sewer: Yes

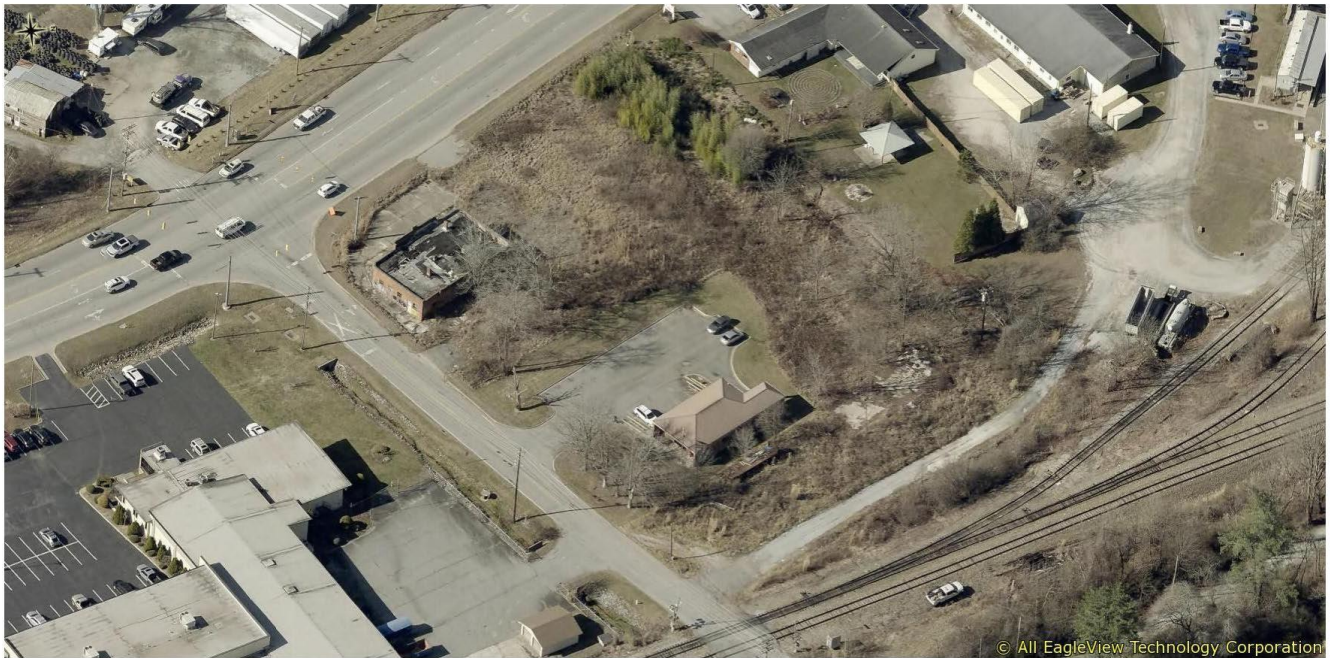
7. **Proposal** The applicant is leasing a 20,006SQFT area to construct a 2,233SQFT restaurant with a drive-thru. The new restaurant space has a total of 7 parking spaces including 1 ADA van accessible parking space. The proposed structure includes 1 drive-thru window with enough stacking to accommodate 10 personal vehicles. The major site plan shows 3 total driveway cuts to serve the proposed structure. 2 driveway cuts are proposed off S. Naples Rd with one dedicated as one-way. The Asheville Hwy driveway cut is shown as a right-in and right-out only. The major site plan shows a total area of disturbance 0.28 acres and post development impervious surfaces at 0.98 acres. Also, the major site shows a proposed dumpster location.

8. **Landscaping & Buffering Requirements** The subject area is not required to buffer the permitter of the property since the surrounding properties all fall within the Regional Commercial (RC) zoning district. The subject area will have to provide a landscaping plan for the following elements:

- 8.1. **Parking area landscaping** is required for new parking areas with 10 or more dedicated parking spaces. The parking area standards requires 1 small or large deciduous tree for every 5 parking spaces. Additionally, when no buffer is required along the property lines and parking is proposed within 20' of a property line, a planting strip is required. The planting strip is a minimum of 10' in width and shall contain 2 small or large deciduous or evergreen trees per 100 linear feet.
- 8.2. **Dumpster screening** is required for a proposed solid waste collection facility. The dumpster will require a Screen Class One (1) Two (2) or Three (3) that are outlined in Section 42-181 Screen Classifications.

9. Oblique Aerial Photos

View from East

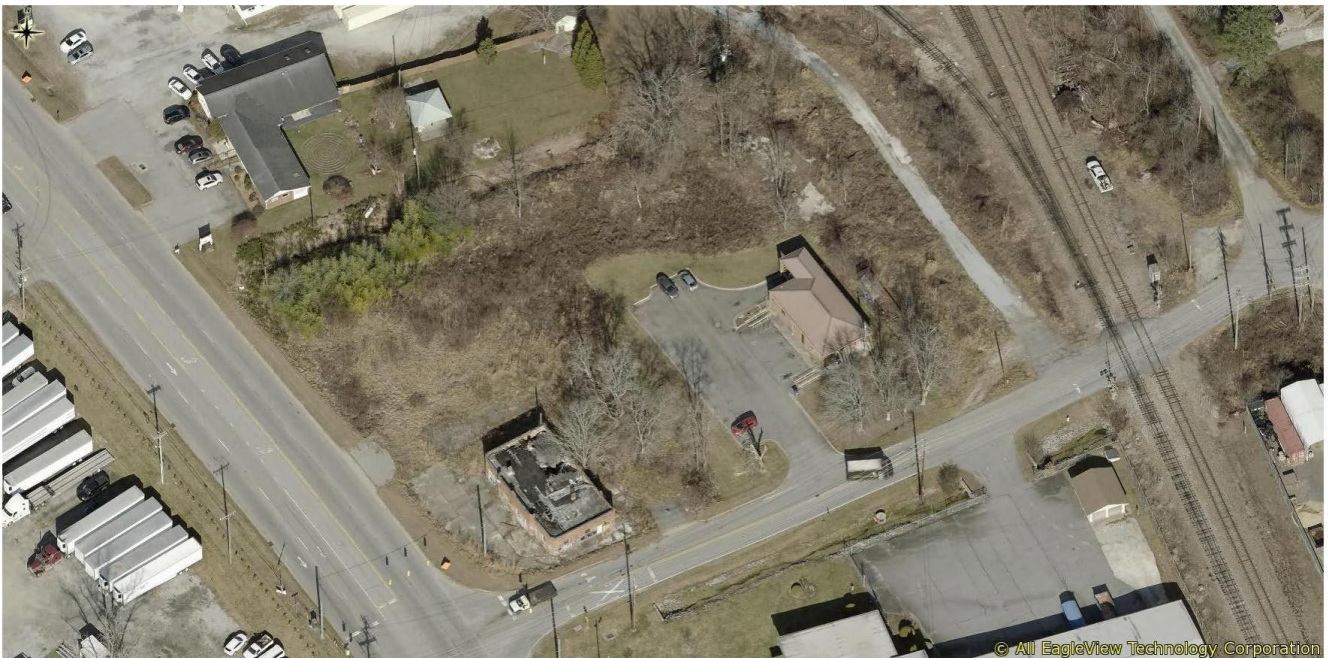


01/05/2024

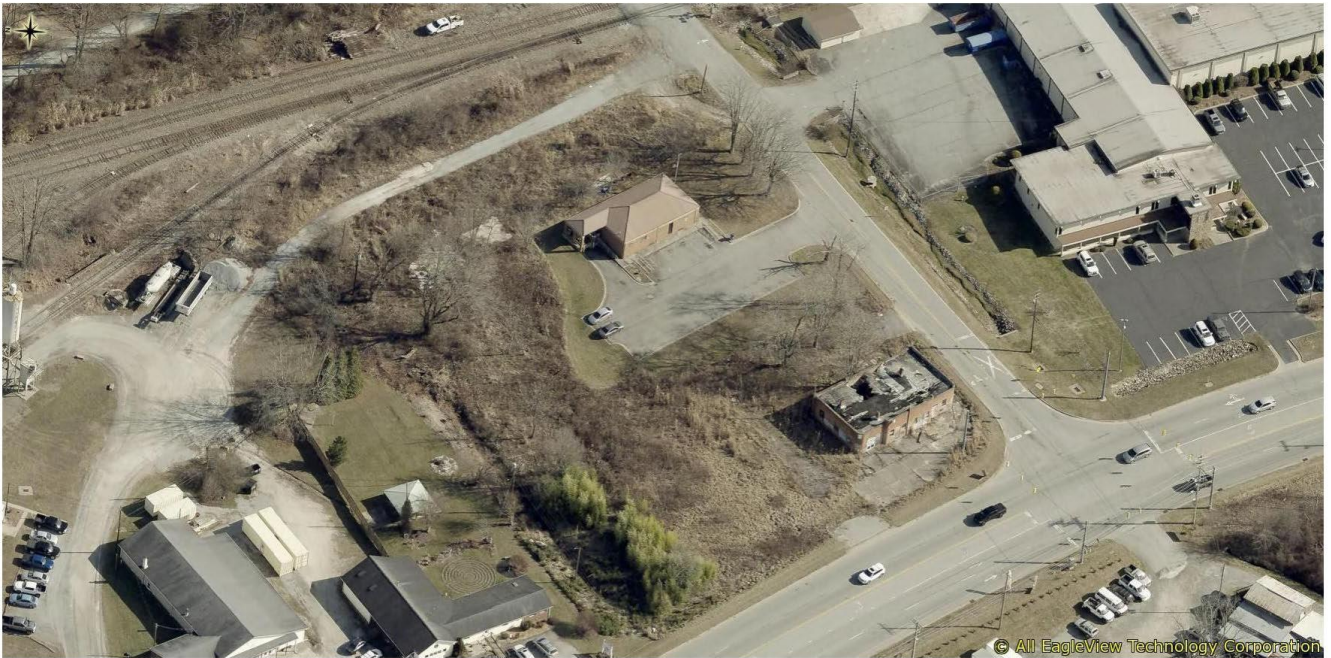
View from North



View from South



View from West



01/05/2024

**HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION**

CONTACT INFORMATION

Property Owner:

Name: Naples 121, LLC Phone: 828-891-8900

Complete Address: 103 Mcdowell Road. Mills River, NC 28759

Applicant:

Name: Luihn Vantage Parteners, LLC Phone: 919-850-0558

Complete Address: 2950 Gateway Centre BLVD. Morrisville, NC 27560

Agent:

Name: Nicholas Gollifer, PE Phone: 765-729-2409

Complete Address: 8312 Creedmoor Road Raleigh, NC 27613

Agent Form (Circle One): Yes No

Plan Preparer:

Name: Sambatek NC P.C. Phone: 765-729-2409

Complete Address: 8312 Creedmoor Road Raleigh, NC 27613

GENERAL INFORMATION

Date of Application: 01/15/2026

Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: 9651664259

Tract Size (Acres): 1.98 AC

Zoning District: Regional Commercial District (RC)

Fire District: _____

Supplemental Requirement# _____

Watershed: Mud Creek (6-55)

Permitted by Right _____

Floodplain: Zone X

Special Use Permit _____

Location / Property to be developed: Lease Parcel inside the existing Mountain Home Dunkin Donuts development.
Parcel is addressed as 5420 Asheville Hwy.

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER LUIHN VANTAGE PARTNERS, LLC 2950 GATEWAY CENTRE BLVD MORRISVILLE, NC 27560	CIVIL ENGINEER SAMBATEK NC P.C. 8312 CREEDMOOR ROAD RALEIGH, NC 27613 EMAIL: ngolifer@sambatek.com CONTACT: NICK GOLIFER PHONE: 919.848.6121
ARCHITECT NRD 175 REGENCY WOODS PLACE, SUITE 220 CARY, NC 27518 PHONE: 919.544.0087	SURVEYOR SAMBATEK NC P.C. 8312 CREEDMOOR ROAD RALEIGH, NC 27613 EMAIL: astock@sambatek.com CONTACT: AARON STOCK PHONE: 919.848.6121

UTILITY & GOVERNING AGENCIES CONTACT LIST:

PLANNING DEPARTMENT HENDERSON COUNTY PLANNING DEPARTMENT 100 NORTH KING STREET HENDERSONVILLE, NORTH CAROLINA 28792 PHONE: 828.0697.4819	BUILDING INSPECTOR HENDERSON COUNTY INSPECTIONS 101 E ALLEN STREET HENDERSON NC, 28792 PHONE: 828.697.4830
PUBLIC SAFETY HENDERSON COUNTY SHERIFFS OFFICE 100 NORTH GROVE STREET HENDERSONVILLE, NC 28792 CONTACT: SHERIFF'S OFFICE ADMINISTRATION PHONE: 828.697.4596	DEPT OF TRANSPORTATION NCDOT HENDERSON COUNTY PHONE: 828.694.7971 NCDOT REGIONAL CONTACT LONNIE WATKINS, P.E., DISTRICT ENGINEER 4142 HAYWOOD ROAD HORSE SHOE, NC 28742 PHONE: 828.891.7911 FAX: 828.891.5026
GAS COMPANY Piedmont Natural Gas CONTACT: CUSTOMER SERVICE PHONE: 800.752.7504	TELEPHONE COMPANY AT&T CONTACT: CUSTOMER SERVICE PHONE: 800.321.2000
ELECTRIC COMPANY DUKE ENERGY PROGRESS BUSINESS CONTACT: CUSTOMER SERVICE PHONE: 800.653.5307	FIRE FIRE MARSHAL OFFICE 2529 ASHEVILLE HIGHWAY HENDERSONVILLE, NC 28791 CONTACT: KEVIN WALDRUP PHONE: 828.679.4728

CONSTRUCTION DRAWINGS
for
TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSONVILLE, NORTH CAROLINA

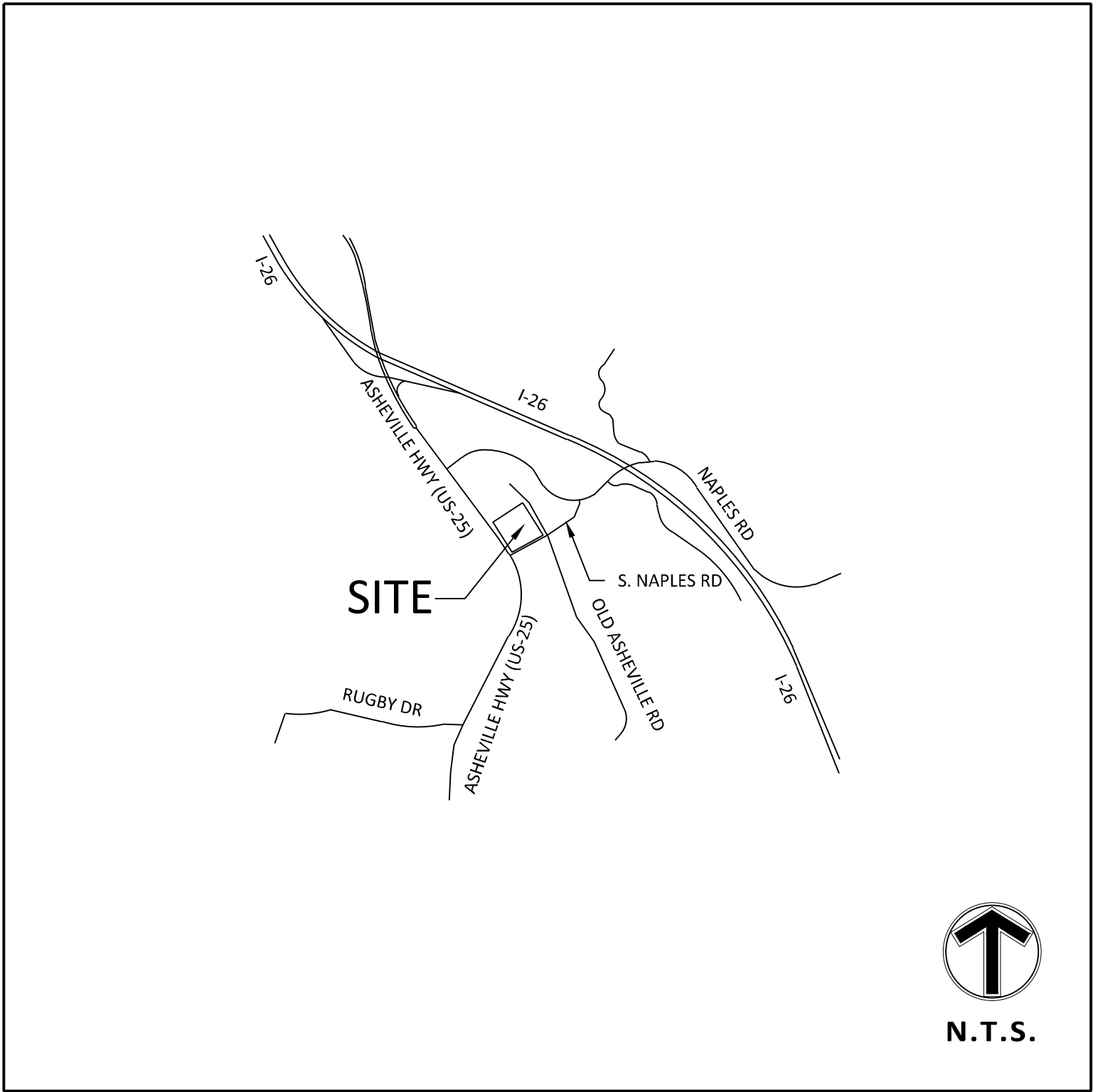
LUIHN VANTAGE PARTNERS, LLC
2950 GATEWAY CENTRE BLVD
MORRISVILLE, NC 27560

DEVELOPMENT SUMMARY

PIN NUMBER:	9651664259	ZONING EXISTING ZONING PROPOSED ZONING	REGIONAL COMM DISTRICT, (RC) REGIONAL COMM DISTRICT, (RC)
AREA			
SITE AREA	20,006 SF OR 0.46 AC		
TOTAL SITE AREA	1.98 AC	SETBACKS	
DISTURBED AREA	12,400 SF OR 0.28 AC	FRONT YARD	30 FT
EXISTING IMPERVIOUS AREA	PER DEVELOPER PLANS 0.47 AC	REAR YARD	10 FT
PROPOSED IMPERVIOUS AREA	PER DEVELOPER PLANS 0.98 AC	SIDE YARD	10 FT
BUILDING DATA:			
BUILDING AREA	2,233 SF		
MAXIMUM BUILDING HEIGHT	50'		
PROPOSED BUILDING HEIGHT	25'		
PARKING SUMMARY			
3 PER 500 SF OF BUILDING GROSS AREA	5 STALLS		
STANDARD REQUIRED	1 STALLS		
ADA REQUIRED			
STANDARD PROVIDED		6 REGULAR SPACES 1 HANDICAP SPACES 7 TOTAL SPACES	

SHEET INDEX

SHEET	DESCRIPTION
C-1.01	TITLE PAGE
C-2.02	EXISTING CONDITIONS / DEMOLITION PLAN
C-3.01	SITE PLAN
C-4.01	GRADING AND EROSION CONTROL PLAN
C-5.01	NPDES STABILIZATION PLAN
C-5.02	NPDES DETAILS
C-6.01	UTILITY PLAN
C-7.01	LANDSCAPE PLAN
C-7.02	LANDSCAPE NOTES AND DETAILS
C-8.01	LIGHTING PLAN
C-9.01	DETAILS
C-9.02	DETAILS
A4.0	EXTERIOR ELEAVTIONS
A4.1	EXTERIOR ELEVATIONS
C2.0	DUMPSTER PLAN / DETAIL

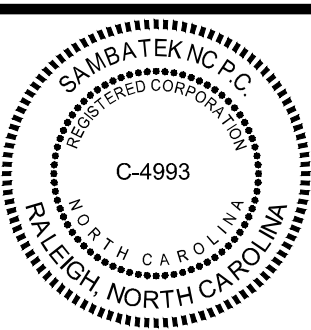
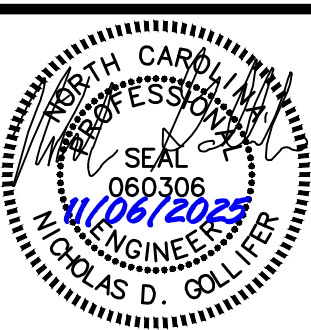


Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949

VICINITY MAP
NO SCALE

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET

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PRELIMINARY 10/31/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY STH
DESIGNED BY NDG
CHECKED BY NDG
PROJECT NO. LUH-2502

**Sambatek**
www.sambatek.com
Engineering | Surveying | Planning | Environmental

TITLE PAGE
TACO BELL (027) (#042426) 5420 ASHEVILLE HWY. HENDERSON, NORTH CAROLINA

SHEET
C-1.01
REV.

NOTE:
SURVEY WAS TAKEN DURING ACTIVE CONSTRUCTION OF MASTER DEVELOPMENT. ALL INVERTS WERE FIELD VERIFIED. THE SITE WAS MASS GRADED AT THE TIME OF SURVEY. ANY ADDITIONAL INFORMATION REQUIRED TO DEVELOP THE SITE WAS OBTAINED FROM THE MASTER DEVELOPMENT PLANS MSD PROJECT # 2024086

DEMOLITION NOTES

1. REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
2. RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
3. ITEM TO REMAIN.

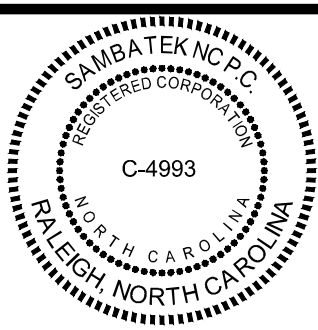
SAWCUT LINE

NOTE: ANY ITEM LOCATED OUTSIDE OF OUR PROPERTY LINE IS TO REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE

LEGEND

- | | | |
|-----------------------|-------------------------|-----------------------|
| ● FOUND MONUMENT | W WATERMAIN | --- EASEMENT LINE |
| ○ SET MONUMENT MARKED | SS SANITARY SEWER | --- SETBACK LINE |
| ⊠ ELECTRIC METER | FM FORCEMAIN (SAN.) | --- RESTRICTED ACCESS |
| ★ LIGHT | ST STORM SEWER | --- CONCRETE CURB |
| ⊠ AIR CONDITIONER | FL FLARED END SECTION | --- BUILDING LINE |
| --- GUY ANCHOR | UT ELECTRIC TRANSFORMER | --- BUILDING CANOPY |
| ⊠ HANDICAP STALL | UT TELEPHONE PEDESTAL | --- CONCRETE SURFACE |
| ⊠ UTILITY POLE | AL GAS METER | |
| ● POST | OE OVERHEAD WIRE | |
| ⊠ SIGN | --- CHAIN LINK FENCE | |
| ⊠ DECIDUOUS TREE | --- IRON FENCE | |
| ⊠ CONIFEROUS TREE | --- WIRE FENCE | |
| | --- WOOD FENCE | |

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



PRELIMINARY
10/31/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY
STH
DESIGNED BY
NDG
CHECKED BY
NDG
PROJECT NO.
LUH-2502



EXISTING CONDITIONS / DEMOLITION PLAN

TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

SHEET
C-2.02
REV.

24.15 (LMS TECH) | 10/31/2025 11:31:43 AM | TRAVIS HILL | X:\LUH - LUHN\2502 - HENDERSONVILLE, NC\NAPLES RD\CAD SHEETS\LUH-2502-C2-02-DEMO-NC DWG-C2-02 DEMOLITION PLAN

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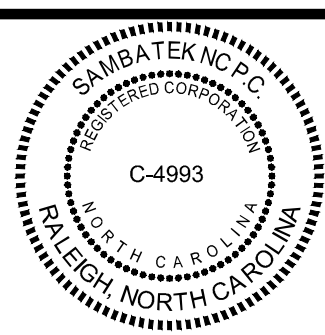
1. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL HANDICAP ACCESS FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
3. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS AND ENCROACHMENTS SHOWN ON THESE PLANS.
4. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW THIS PROCEDURE. THIS SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AGENCY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL ORDINANCES.
5. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
6. CONTRACTOR SHALL MAINTAIN PROTECTED IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
7. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
9. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES AND SUBJECT TO DISTORTION.
11. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION.
12. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SITE IDENTIFICATION SIGNS, OWNER'S SPECIFICATION, COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
14. FINISH CURBS AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
15. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
16. ALL RADI DIMENSIONS ARE TO FACE OF CURB.
17. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
18. EXISTING SUBURBAN DRAINAGE, CULVERTS, CURBS AND GUTTERS, ROADSIDE DRAINAGE, AND OTHER STRUCTURES THAT ARE DISTURBED OR REMOVED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
19. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BAR GRASS OR THAT ARE TO REMAIN OPEN SPACE SHALL BE RESEEDED AND MULCHED.
20. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL EXISTING UTILITIES FROM THE UTILITY OWNERS. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MECHANICAL UTILITIES. THE CONTRACTOR'S SHALL CONTACT THE LOCAL LOCATE SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO ANY DIGGING FOR ASSISTANCE IN LOCATING EXISTING UTILITIES.
21. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS SHALL CONFORM TO LOCAL REGULATIONS.
22. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS HAS ACCOMPLISHED TO ACHIEVE 95 STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
23. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY TO THE TRANSITATION DEPARTMENT.
24. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATION OF THE PLANS.
25. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
26. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
27. CONTRACTOR SHALL CONFORM TO THE SIZE OF HYVAC CONCRETE PADS WITH MECHANICAL UTILITIES. THE MECHANICAL PLANS FOR DETAILS.
28. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
29. PRIOR TO WORKING IN ANY AREAS, THE CONTRACTOR SHALL OBTAIN THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
30. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
31. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
32. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, INCLUDING ATTORNEY'S FEES, INCURRED BY THE OWNER OR DESIGN PROFESSIONAL ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

PROPOSED	EXISTING		BOUNDARY LINE	LEASE LINE
			BOUNDARY LINE	LEASE LINE
			EASEMENT LINE	
			BUILDING LINE	
			RETAINING WALL	
			WETLAND	
			TREE LINE	
			SAW CUT LINE	
			SIGN	
			BOLLARD	
			CONCRETE PAVING	
			CONCRETE SIDEWALK	
			PARKING STALL COUNT	
			KEY NOTE	
			SPILL CURB	
			LIGHT POLE	
			ACCESSIBLE PARKING	

KEY NOTES

- A. CONSTRUCT 1.5' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- B. CONSTRUCT 1.5' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- C. CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- D. CONSTRUCT CONCRETE ACCESSIBLE RAMP PER DETAIL SHEET
- E. ACCESSIBLE PARKING STALL
- F. NOT USED
- G. INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- H. CONCRETE PAVEMENT PER DETAIL SHEET
- I. ASPHALT PAVEMENT PER DETAIL SHEET
- J. TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
- K. CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 6" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- L. CONCRETE WHEEL STOP PER DETAIL SHEET
- M. MENU BOARD, COORDINATE WITH OWNER
- N. PAINT 4" WIDE STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P1952D)
- O. PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P1952D)
- P. PAINT "DO NOT ENTER" PER MUTCD
- Q. PAINT TRAFFIC ARROWS PER DETAIL SHEET
- R. POLE SIGN PER CURRENT TACO BELL STANDARDS. SIGNAGE TO BE PERMITTED SEPARATELY COORDINATE WITH OWNER AND CITY.
- S. MATCH EXISTING CURB AND GUTTER
- T. ASPHALT/CONCRETE TRANSITION PER DETAIL SHEET
- U. INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- V. MATCH EXISTING PAVEMENT
- W. NOT USED
- X. PAINT CROSS WALK PER DETAIL SHEET
- Z. PAINT 4" WIDE DOUBLE YELLOW CENTERLINE PER MUTCD
- AA. PAINT 24" WHITE STOP BAR PER MUTCD
- BB. INSTALL " STOP" SIGN PER MUTCD
- CC. TRAFFIC DELINEATORS PER DETAIL SHEET
- DD. MOBILE PICKUP SIGN
- EE. POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- FF. WALL MOUNTED AREA LIGHT, SEE LIGHTING PLAN

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH
CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

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PRELIMINARY
10/31/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY STH
DESIGNED BY NDG
CHECKED BY NDG
PROJECT NO. LUH-2502



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SCALE IN FEET

SITE PLAN

TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA



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GRADING/EROSION CONTROL NOTES

- ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEO-TECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
- CONTRACTOR IS TO CONTACT 811 FOR UNDERGROUND UTILITY LOCATION WITHIN 12 FULL WORKING DAYS PRIOR TO DIGGING.
- THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SOIL SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 15 WORKING DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- ALL CUT AND FILL SLOPES AND CHANNEL SIDESLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEEDD UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
 - 100 LBS PER 1,000 SQUARE FOOT GROUND LIMESTONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
 - 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
 - VARIETIES TO BE SEEDD:
 1. SPRING SEEDING - MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
 2. SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.
 3. ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
- SEE LANDSCAPING PLAN FOR PERMANENT SEEDING.
- ALL FINISHED SURFACES SHOULD SLOPE AWAY FROM THE BUILDING, TOWARDS DRAINAGE OUTLETS FOR POSITIVE DRAINAGE AND TO AVOID STANDING WATER.

CONSTRUCTION SEQUENCE

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES ARE MAINTAINED THROUGHOUT THE EXECUTION OF THIS PROJECT.

- OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT TRAPS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.
- BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
- BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS. SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC.. SEED AND MULCH DENUDED AREAS WITHIN FIFTEEN (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION; THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.
- WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.

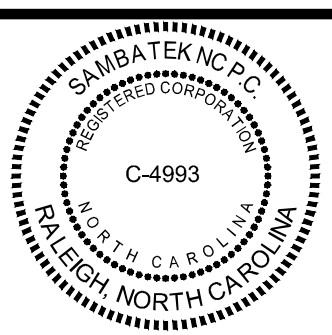
LEGEND

PROPOSED	EXISTING	BOUNDARY LINE		CONCRETE PAVING
		CONCRETE CURB		
		STORM SEWER		
		DRAINTILE		
		BUILDING LINE		
		RETAINING WALL		
		CONTOUR		
		WETLAND		
		TREE LINE		
		SPOT ELEVATIONS		
		RIPRAP		
		OVERFLOW ELEV.		
		SOIL BORING		
		CONSTRUCTION ENTRANCE		
		INLET PROTECTION		
		SILT FENCE OUTLET		

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CALLING 811 FOR THE LOCAL NOTIFICATION CENTER. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



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CHECKED BY NDG
PROJECT NO. LUH-2502



GRADING EROSION CONTROL PLAN

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(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

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MAINTENANCE NOTES

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

CONSTRUCTION ENTRANCE:
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDED AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

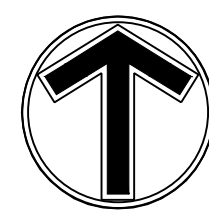
SILT FENCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE GRAVEL OUTLET:
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

BLOCK AND GRAVEL INLET PROTECTION:
INSTALL BLOCK GRAVEL INLET PROTECTION AT ALL STORM STRUCTURES. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

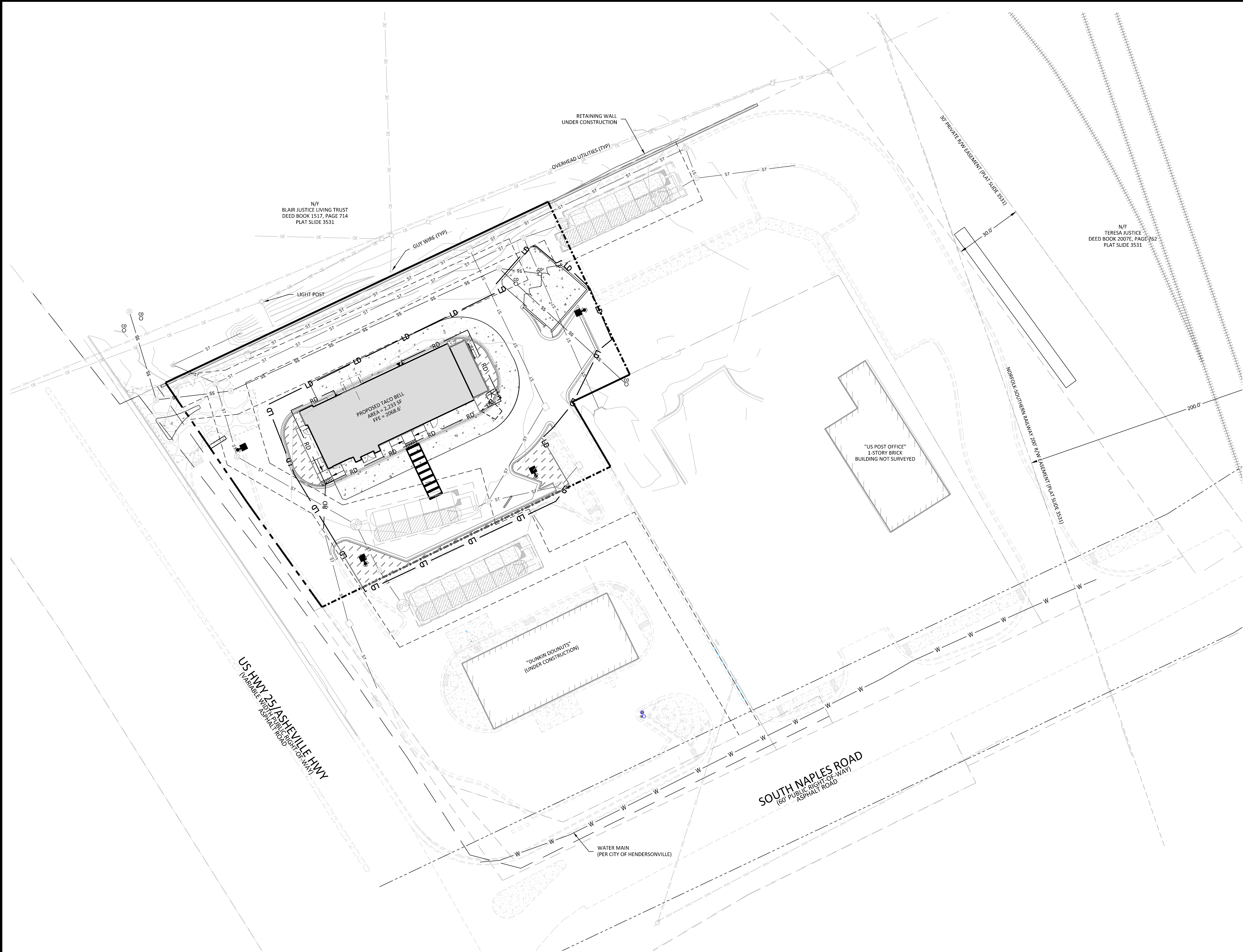
CIVIL 3D MODEL LIMITATIONS

SAMBATEK'S DELIVERABLE AND GOVERNING DOCUMENTS FOR CONSTRUCTION SHALL BE A HARD COPY AND/OR PDF PLAN SHEETS. IF A CIVIL 3D MODEL IS GENERATED IN THE PROCESS OF PREPARING THE PLAN SHEETS, IT IS AS A DESIGN TOOL ONLY AND NOT AS A SEPARATE DELIVERABLE. AT THE OWNER'S REQUEST, WE WILL RELEASE OUR CIVIL 3D MODEL FOR THE CONTRACTOR'S USE. HOWEVER, ITS USE IS AT THE CONTRACTOR'S RISK AND SHALL NOT BE USED FOR STAKING OF CURB, SIDEWALK, OR OTHER HARD SURFACE IMPROVEMENTS. IF A CIVIL 3D MODEL FOR STAKING HARD SURFACE IMPROVEMENTS IS REQUIRED, WE CAN PROVIDE A SUPPLEMENTAL AGREEMENT FOR REFINEMENT AND PREPARATION OF THE CIVIL 3D MODEL.



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LABEL	1) GROUND STABILIZATION		
	SITE AREA DESCRIPTION	STABILIZE WITHIN THIS MANY CALENDAR DAYS AFTER CEASING LAND DISTURBANCE	TIME FRAME VARIATIONS
	PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
	HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
	SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
	SLOPES 3:1 TO 4:1	14 DAYS	- 7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH AND WITH SLOPES STEEPER THAN 4:1 - 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HQW ZONES - 10 DAYS FOR FALLS LAKE WATERSHED
	ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	- 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HQW ZONES - 10 DAYS FOR FALLS LAKE WATERSHED UNLESS THERE IS ZERO SLOPE.

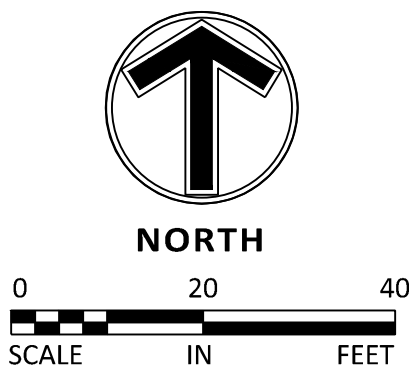
SEE SHEET C-5.02 FOR STANDARD NPDES STABILIZATION DETAILS SHEET

TOTAL DISTURBED AREA = 0.28 ACRES

LATITUDE: 35°23'34"N
LONGITUDE: 82°30'06"W

SOIL TYPE: DILLARD LOAM (DRB)

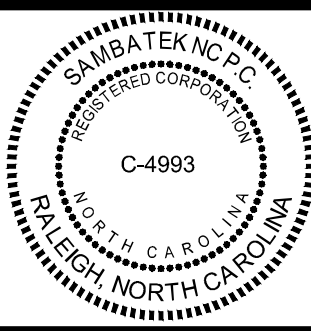
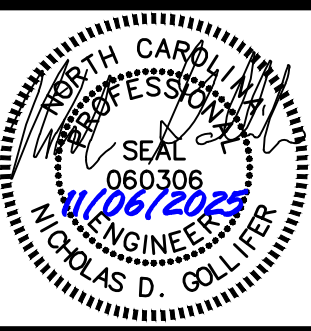
WATERSHED: MUD CREEK (6-55)





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NPDES STABILIZATION PLAN

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(027) (#042426)
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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT		
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.		
SECTION E: GROUND STABILIZATION		
Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION	
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:	
Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">• Temporary grass seed covered with straw or other mulches and tackifiers• Hydroseeding• Rolled erosion control products with or without temporary grass seed• Appropriately applied straw or other mulch• Plastic sheeting	<ul style="list-style-type: none">• Permanent grass seed covered with straw or other mulches and tackifiers• Geotextile fabrics such as permanent soil reinforcement matting• Hydroseeding• Shrubs or other permanent plantings covered with mulch• Uniform and evenly distributed ground cover sufficient to restrain erosion• Structural methods such as concrete, asphalt or retaining walls• Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS	
<ol style="list-style-type: none">1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the <i>NC DWR List of Approved PAMS/Flocculants</i>.2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.3. Apply flocculants at the concentrations specified in the <i>NC DWR List of Approved PAMS/Flocculants</i> and in accordance with the manufacturer's instructions.4. Provide ponding area for containment of treated Stormwater before discharging offsite.5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.	

EQUIPMENT AND VEHICLE MAINTENANCE	
<ol style="list-style-type: none">1. Maintain vehicles and equipment to prevent discharge of fluids.2. Provide drip pans under any stored equipment.3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.	

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE	
<ol style="list-style-type: none">1. Never bury or burn waste. Place litter and debris in approved waste containers.2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.6. Anchor all lightweight items in waste containers during times of high winds.7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.8. Dispose waste off-site at an approved disposal facility.9. On business days, clean up and dispose of waste in designated waste containers.	

PAINT AND OTHER LIQUID WASTE	
<ol style="list-style-type: none">1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.3. Contain liquid wastes in a controlled area.4. Containment must be labeled, sized and placed appropriately for the needs of site.5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.	

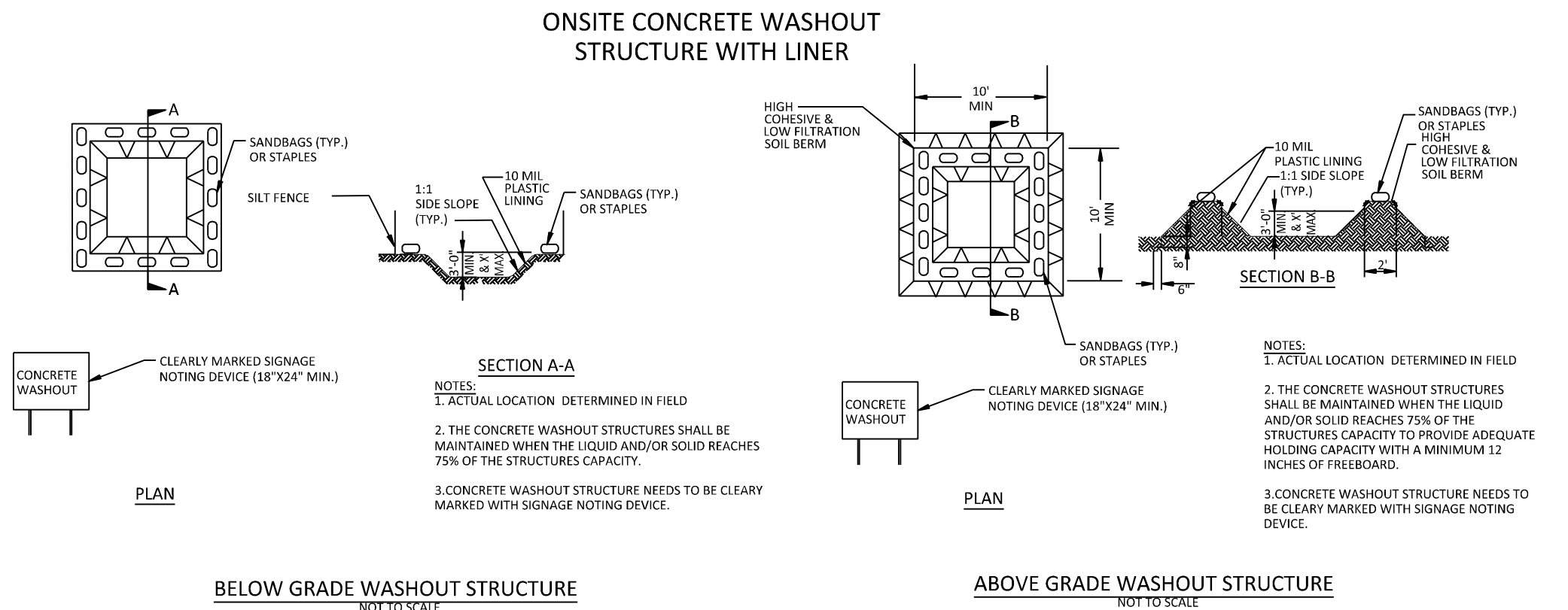
PORTABLE TOILETS	
<ol style="list-style-type: none">1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.	

EARTHEN STOCKPILE MANAGEMENT	
<ol style="list-style-type: none">1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment areas and surface waters unless it can be shown no other alternatives are reasonably available.2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.3. Provide stable stone access point when feasible.4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.	

CONCRETE WASHOUTS	
<ol style="list-style-type: none">1. Do not discharge concrete or cement slurry from the site.2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.	

HERBICIDES, PESTICIDES AND RODENTICIDES	
<ol style="list-style-type: none">1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.4. Do not stockpile these materials onsite.	

HAZARDOUS AND TOXIC WASTE	
<ol style="list-style-type: none">1. Create designated hazardous waste collection areas on-site.2. Place hazardous waste containers under cover or in secondary containment.3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.	



NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING		
SECTION A: SELF-INSPECTION		
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.		
Inspect	Frequency (During normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, use no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-measuring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil, grease, foam or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside the limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Storms or wetlands on site or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the storm wetland has been used to store sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section G, Item (2)(d) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading installation of perimeter E&SC measures, clearing and grubbing, installation of storm discharge facilities, completion of all landscaping activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING	
SECTION B: RECORDKEEPING	
1. E&SC Plan Documentation The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.	
Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.
2. Additional Documentation to be Kept on Site In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical: (a) This General Permit as well as the Certificate of Coverage, after it is received. (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.	
3. Documentation to be Retained for Three Years All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]	

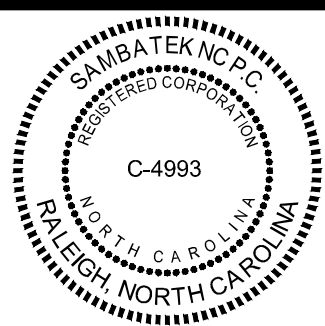
PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING													
SECTION C: REPORTING													
1. Occurrences That Must be Reported Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland. (b) Oil spills if: <ul style="list-style-type: none">• They are 25 gallons or more,• They are less than 25 gallons but cannot be cleaned up within 24 hours,• They cause sheen on surface waters (regardless of volume), or• They are within 100 feet of surface waters (regardless of volume). (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85. (d) Anticipated bypasses and unanticipated bypasses. (e) Noncompliance with the conditions of this permit that may endanger health or the environment. 2. Reporting Timeframes and Other Requirements After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368. <table><tr><th>Occurrence</th><th>Reporting Timeframes (After Discovery) and Other Requirements</th></tr><tr><td>(a) Visible sediment deposition in a stream or wetland</td><td><ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.• If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.</td></tr><tr><td>(b) Oil spills and release of hazardous substances per item 1(b) (c) above</td><td><ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</td></tr><tr><td>(c) Anticipated bypasses [40 CFR 122.41(m)(3)]</td><td><ul style="list-style-type: none">• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.</td></tr><tr><td>(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]</td><td><ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.</td></tr><tr><td>(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.43(f)(7)]</td><td><ul style="list-style-type: none">• Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.43(f)(6)].• Division staff may waive the requirement for a written report on a case-by-case basis.</td></tr></table>		Occurrence	Reporting Timeframes (After Discovery) and Other Requirements	(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.• If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.	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PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT					
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met: (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items. (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit. (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, weir tanks, and filtration systems. (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above. (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and (f) Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.					

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



PRELIMINARY 10/31/2025	DRAWN BY STH
DESIGN REVIEW	DESIGNED BY NDG
PERMIT SUBMITTAL	CHECKED BY NDG
CONSTRUCTION DOCUMENTS	PROJECT NO. LUH-2502



NPDES DETAILS		SHEET
TACO BELL (027) (#042426) 5420 ASHEVILLE HWY. HENDERSON, NORTH CAROLINA		C-5.02
		REV.

UTILITY CONSTRUCTION NOTES

- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
- THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
- ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
- MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
- ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAYING.
- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
- THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4"/FT FOR 4" LINES AND 2) 1/8"/FT FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
- ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
- SANITARY SEWER SERVICES SHALL BE PVC SDR 35 TO R/W, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE "K" COPPER.
- CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
- EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
- ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
- EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
- ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE "WELDED JOINTS; UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4"/FT, 6" - 1/8"/FT.
- BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
- WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
- WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS. VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
- CONTRACTOR SHALL NOTIFY THE LOCAL LOCATE SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF _____ PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
- CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE TOWN OF _____ STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" 1-2, 8" ABC OR BETTER.
- RELATION OF WATER MAINS TO SEWERS:
 - LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OR UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
 - CROSSING A WATER MAIN OVER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - CROSSING A WATER MAIN UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
- UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
- SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICES. TRANSFORMER BY ELECTRIC COMPANY. GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

NOTE TO CONTRACTOR:
CONTRACTOR TO FIELD VERIFY ELECTRIC AND TELCOM CONNECTION
AND COORDINATE WITH UTILITY COMPANY

NOTE TO CONTRACTOR:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR
VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY
CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND
COUNTY AS-BUILTS.

NOTE:
CONTRACTOR SHALL VERIFY EXISTING SANITARY SEWER SERVICE TIE-IN
INVERT ELEVATION PRIOR TO THE START OF CONSTRUCTION. IF INVERT
ELEVATION IS HIGHER THAN 2067.70', CONTRACTOR SHALL COORDINATE
WITH ENGINEER.

UTILITY KEY NOTES

- 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GROUND HEATED, INSULATED ENCLOSURE.
- 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 6" PVC SANITARY SEWER LINE @ 1/8" PER LINEAR FOOT SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- CONNECT TO 2" PLUGGED PEX WATER SERVICE PER MASTER DEVELOPER.
- TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 1500 GALLON GREASE TRAP.
- GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- CONNECT TO EXISTING SANITARY SEWER SERVICE PER CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO ANY CONSTRUCTION TO ENSURE REQUIRED PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE WITH CITY.
- 4.5" W x 8" L UNDERGROUND GAS TANK
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- WALL MOUNTED AREA LIGHT, SEE LIGHTING PLAN

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CALLING 811 FOR THE LOCAL NOTIFICATION CENTER. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

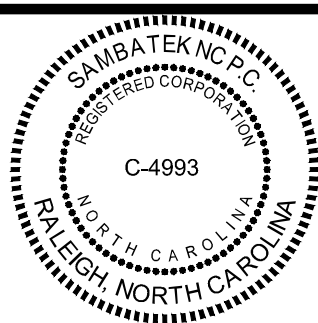
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

PROPOSED	EXISTING	
		SANITARY SEWER
		FORCEMAIN (SAN.)
		STORM SEWER
		DRAIN TILE
		WATERMAIN
		UNDERGROUND GAS LINE
		UNDERGROUND TELEPHONE
		UNDERGROUND ELECTRIC
		CONCRETE CURB
		EASEMENT LINE

- PROPOSED ROOF DRAIN
- IRRIGATION SLEEVE
- (2) 4" PVC, COORDINATE WITH IRRIGATION CONTRACTOR
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED LIGHT POLE

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



PRELIMINARY 10/31/2025	DRAWN BY STH
DESIGN REVIEW	DESIGNED BY NDG
PERMIT SUBMITTAL	CHECKED BY NDG
CONSTRUCTION DOCUMENTS	PROJECT NO. LUH-2502

Sambatek
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Engineering | Surveying | Planning | Environmental

UTILITY PLAN

TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

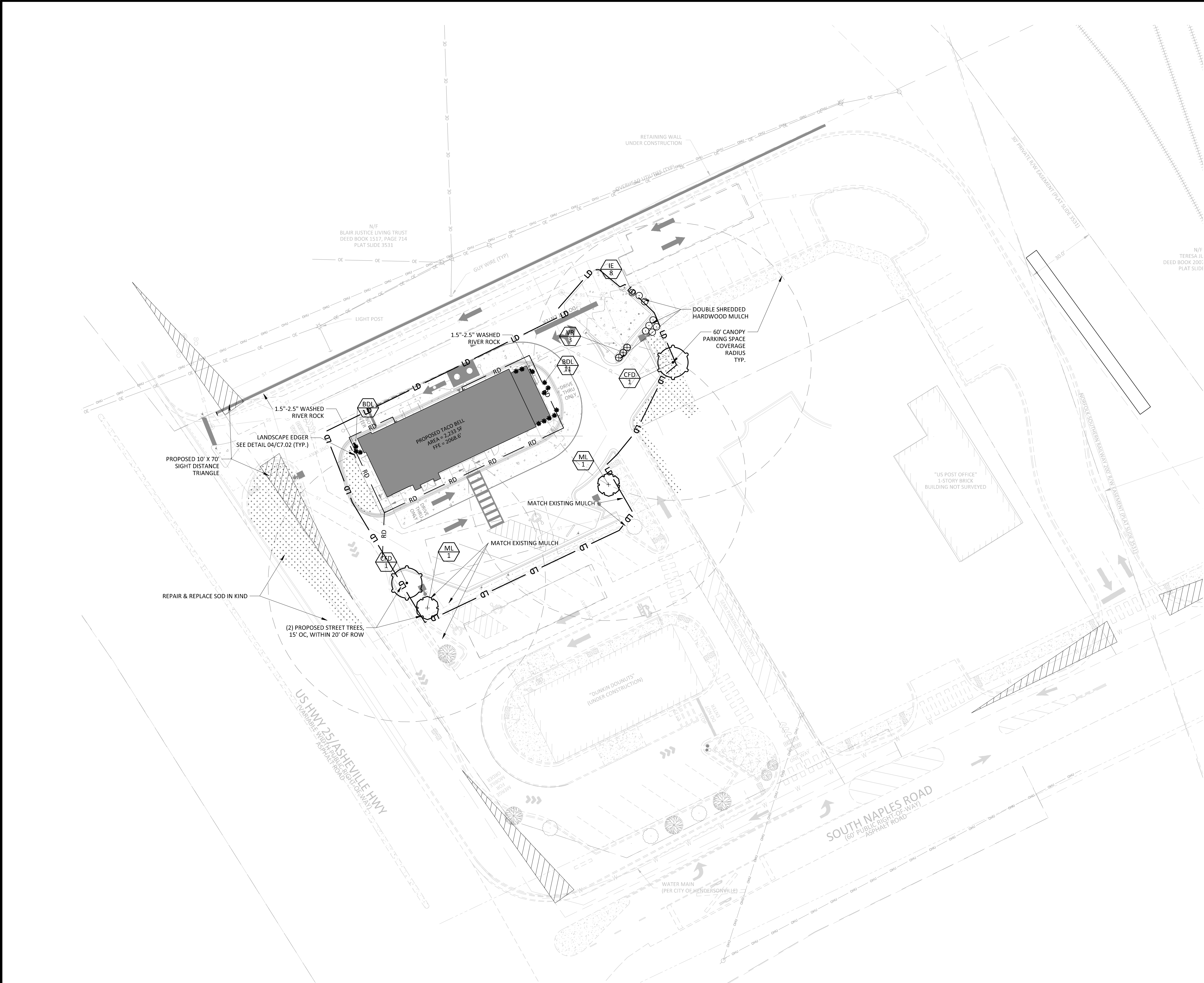
SHEET
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NORTH

0 20 40
SCALE IN FEET







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24.15 (LMS TECH) | 10/31/2025 8:13:13 AM
X:\UH - LHM\2502 - Hendersonville, NC (Naples Rd)\CAD SHEETS\UH-2502-C7.01-LSCP-NC.dwg, 11/06/2025 8:54:37 AM, THLL



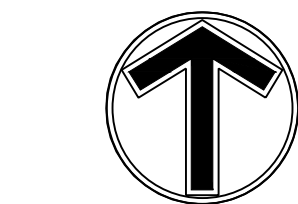
LEGEND			
PROPERTY LIMIT	PROPOSED	EXISTING	
CURB & GUTTER			STANDARD DUTY ASPHALT PAVING
EASEMENT			CONCRETE PAVING
BUILDING			CONCRETE SIDEWALK
RETAINING WALL			
WETLAND LIMITS			
TREELINE			
LANDSCAPE EDGING			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
YARDDRAIN			
LIMITS OF DISTURBANCE			
SIGN			
PIPE BOLLARD			
RIPRAP			

HENDERSON COUNTY, NC LANDSCAPE CODE	
VUA 1 TREE / 5 PARKING SPACES ALL PARKING SPACES WITHIN 60' TREE TRUNK 10 PARKING SPACES / 5 SPACES = 2 TREES REQUIRED, 2 TREES PROPOSED	
STREET TREES 1 TREE / 50 LF PLACED WITHIN R.O.W. OR WITHIN 20' OF EDGE. MIN SPACING 15'. MAX 65' PLACEMENT : PLANT MATERIAL SHALL BE PERMITTED IN THE SIGHT VISIBILITY TRIANGLE PROVIDED THE AREA WITHIN THE SIGHT VISIBILITY TRIANGLE REMAIN PERMANENTLY UNOBSTRUCTED BETWEEN THREE (3) AND TEN (10) FEET ABOVE GRADE.	
US HWY 25 : 120 LF - 26 LF (DRIVE ISLE) = 92 LF 2 TREES/100 LF (94 LF) = 2 TREES REQUIRED, 2 TREES PROPOSED	
DUMPSTER SCREENING SCREEN CLASS 1. CONTINUOUS HEDGE OF EVERGREENS SHRUBS (8' MATURE HEIGHT) PLANTED IN 5' STRIP, MAX OF 8' O.C.	
PROVIDED : ILEX CRENATA 'PHIC-1' (STRAIGHT & NARROW JAPANESE HOLLY) PLANTED 5' OC.	
OPEN SPACE PREVIOUSLY PROVIDED AS PART OF OVERALL DEVELOPMENT OF MOUNTAIN HOME DUNKIN' DONUTS CONSTRUCTION PLANS, DATED 09-04-2025, PREPARED BY FEI CONSULTING.	

PLANT SCHEDULE						
PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
UNDERSTORY						
	CFD	Cornus florida / Flowering Dogwood	B & B	2" CAL	10'	2
	ML	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	B & B	2" CAL	10'	2
SUBTOTAL:						4
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	SIZE	QTY	
MEDIUM EVERGREEN SHRUB						
	IE	Ilex crenata 'PHIC-1' / Straight and Narrow® Japanese Holly	#5	24"		8
	VR	Viburnum obovatum 'Raulston Hardy' / Raulston Hardy Walter's Viburnum	#3	18"		3
SUBTOTAL:						11
PERENNIALS						
	BDL	Hemerocallis x 'Baja' / Baja Daylily	#1			14
SUBTOTAL:						14
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT			
GROUND COVERS						
	CDT	Kentucky 31 Tall Fescue / Kentucky Fescue	sod			

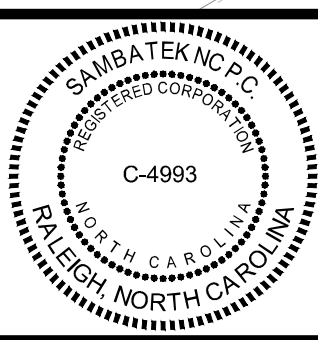


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0 20 40
SCALE IN FEET

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



PRELIMINARY 10/31/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY STH
DESIGNED BY NDG
CHECKED BY NDG
PROJECT NO. LUH-2502



LANDSCAPE PLAN	
TACO BELL (027) (#042426) 5420 ASHEVILLE HWY. HENDERSON, NORTH CAROLINA	

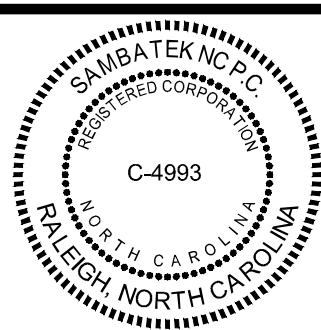
SHEET
C-7.01
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24.15 (LMS TECH) | TRAVIS HILL | 10/31/2025 8:13:13 AM
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NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET

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PRELIMINARY 10/31/2025	DRAWN BY STH
DESIGN REVIEW	DESIGNED BY NDG
PERMIT SUBMITTAL	CHECKED BY NDG
CONSTRUCTION DOCUMENTS	PROJECT NO. LUH-2502



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LANDSCAPE DETAILS

TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

SHEET
C-7.02
REV.

NOTES

GENERAL NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.**
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.**
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT. SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND/PLANTING SCHEDULE IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.**
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.**
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC. STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS @ 6' O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.

PLANTING NOTES:

- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
- ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-Z60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSEYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
- OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE LANDSCAPE PLANTING SCHEDULE.
- PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.**
- ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- MULCH: DOUBLE SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DETRIMENTAL MATERIAL IN ALL MASS PLANTING BEDS AND FOR TREES UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL.
 - DELIVER MULCH ON DAY OF INSTALLATION. USE 3" FOR SHRUB BEDS, TREE RINGS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
- BUILDING MAINTENANCE STRIP: WHERE NO LANDSCAPE PLANTING BEDS EXIST ADJACENT TO A BUILDING FOUNDATION, CONTRACTOR SHALL INSTALL A DECORATIVE ROCK MAINTENANCE STRIP PER PLAN. DECORATIVE ROCK SHALL BE 1.5"-2.5" WASHED RIVER ROCK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
- USE ANTI-DESICCANT (WILT-PRUF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
- WRAP ALL SMOOTH-BARKED DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1 AND REMOVE WRAPPING AFTER MAY 1. TREE WRAPPING MATERIAL SHALL BE WHITE TWO-WALLED PLASTIC SHEETING APPLIED FROM TRUNK FLARE TO THE FIRST BRANCH.
- ALL DECIDUOUS, PINE, AND LARCH PLANTINGS SHALL RECEIVE RODENT PROTECTION PER LOCAL SPECIFICATIONS.
- PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS:
 - FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
 - MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC.
 - SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-0-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD.
 - IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER, ROTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO.
 - ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT EACH EXCAVATED TREE AND SHRUB PIT WILL PERCOLATE PRIOR TO INSTALLING PLANTING MEDIUM AND PLANTS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER AND CONFIRM THAT THIS WATER WILL PERCOLATE WITHIN A 24-HOUR PERIOD. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING SHALL BE RELOCATED IF DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.

- SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK.
 - POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
 - DECIDUOUS T&B: 4/1 - 6/1; 9/21 - 11/1
 - EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21-11/1
 - EVERGREEN B&B: 4/1 - 5/1; 9/21 - 11/1
 - TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
 - NATIVE MIX SEEDING: 4/15 - 7/20; 9/20-10/20
- MAINTENANCE:
 - MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE.
 - PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE.
 - MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION.
 - AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND/PLANTING SCHEDULE SPECIFICATIONS.
- WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES.
 - CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED.
 - CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.

TURF NOTES:

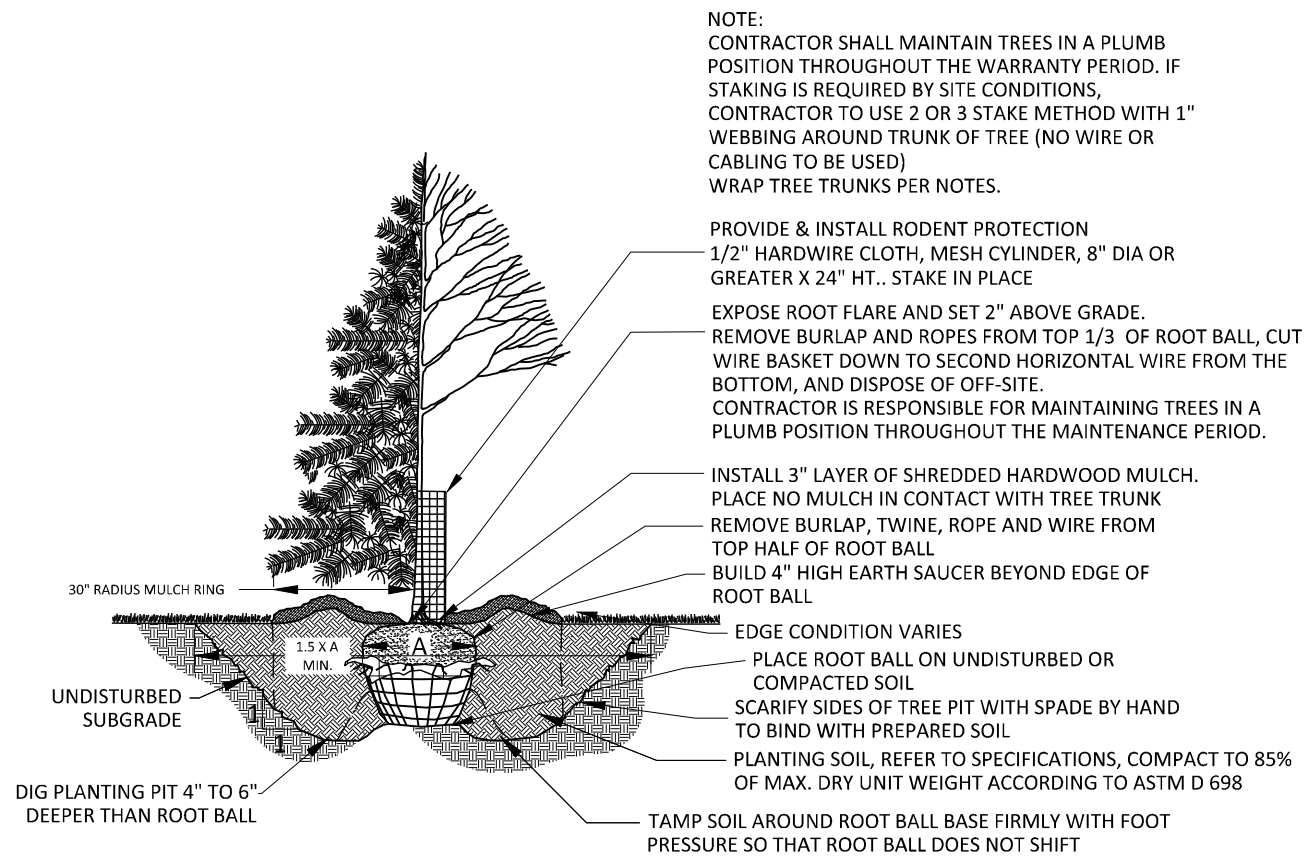
- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE NCDOT VEGETATION MANAGEMENT MANUAL, CHAPTER 5: VEGETATION ESTABLISHMENT**
- ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 6" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
 - WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
 - SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
 - TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. KENTUCKY TALL FESCUE .31 A WILL BE PLACED AT THE RATE OF 100 POUNDS PER ACRE.**
 - ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 6" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
 - ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.

GENERAL TREE SPECIFICATIONS:

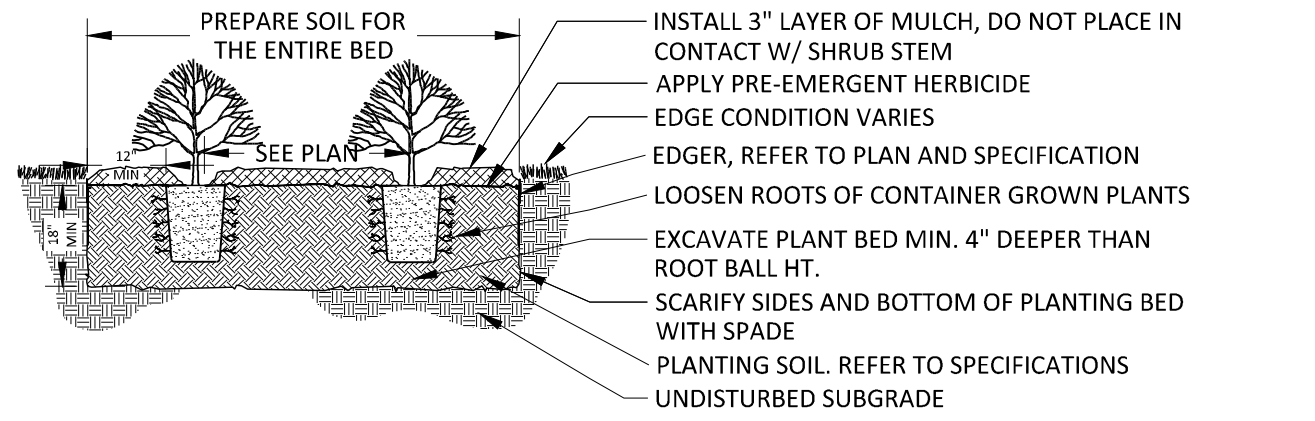
- ALL STREET AND PARKING LOT TREES SHALL BE LIMBED UP TO THE FOLLOWING HEIGHTS:
 - 2" CAL TREES: LOWEST BRANCH 6' HT.
 - 3" CAL+ TREES: LOWEST BRANCH 7' HT.
- TREE CANOPY WIDTH SHALL BE RELATIVE TO HEIGHT/CALIPER OF TREE AND TYPE OF TREE.
 - 1" CALIPER/6-8' HT: 3-4' WIDTH MIN.
 - 2" CALIPER/12-14' HT: 4-5' WIDTH MIN.
 - 3" CALIPER/14-16' HT: 6-7' WIDTH MIN.
- CANOPY TREES **SHALL NOT HAVE CO-DOMINATE LEADERS** IN LOWER HALF OF TREE CROWN.
- ALL TREES SHALL HAVE SYMMETRICAL OR BALANCED BRANCHING ON ALL SIDES OF THE TREE.
- TREES SHALL NOT BE TIPPED PRUNED.**
- TREES SHALL BE FREE OF PHYSICAL DAMAGE FROM SHIPPING AND HANDLING. DAMAGED TREES SHALL BE REJECTED.
- SUMMER DUG TREES SHALL HAVE ROOTBALL SIZE INCREASED BY 20%
- TREES WHICH EXCEED RECOMMENDED CALIPER TO HEIGHT RELATIONSHIP SHALL BE REJECTED.

IRRIGATION NOTES:

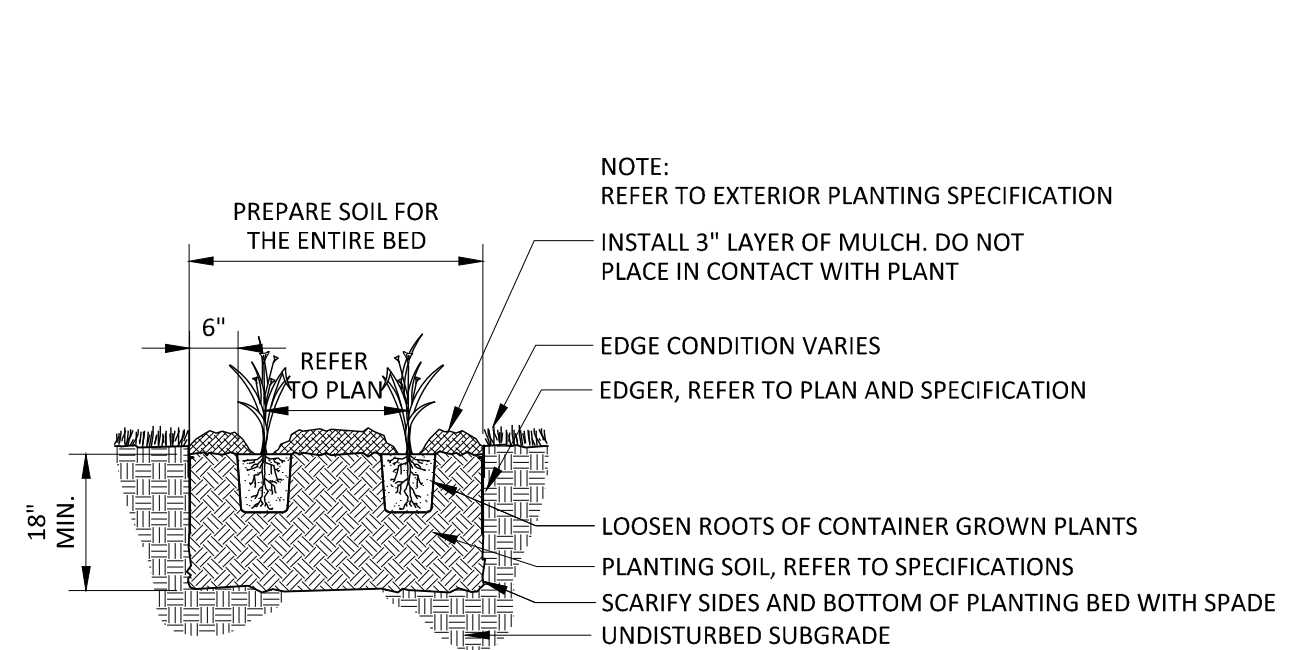
- IRRIGATION SYSTEM TO BE DESIGN/BUILD.** CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
- ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
- ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION , WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.



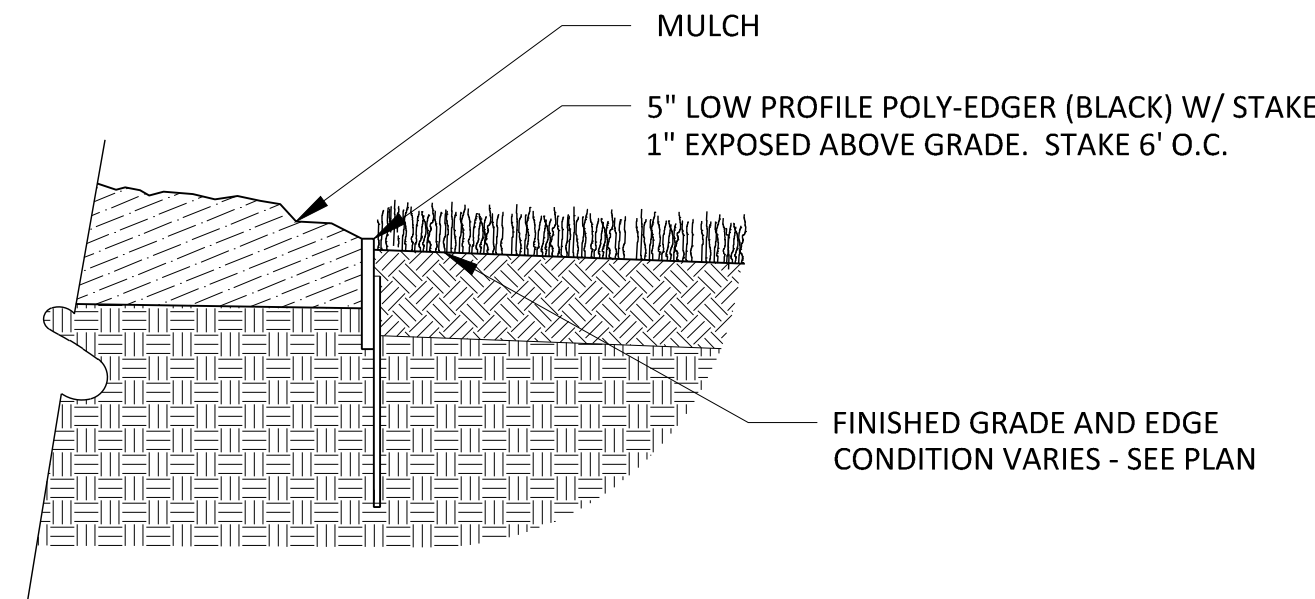
1 TREE PLANTING DETAIL
C7.02 1/4" = 1'-0" P-01



2 SHRUB PLANTING DETAIL
C7.02 3/8" = 1'-0" P-02



3 PERENNIAL PLANTING DETAIL
C7.02 1/2" = 1'-0" P-03



4 LOW PROFILE POLY EDGER
C7.02 1 1/2" = 1'-0" P-30

LIGHTS SUPPLIED BY LSI INDUSTRIES
CONTACT: Tom Fulton
PH: 704-640-6134
EMAIL: t.fulton@shannonandassoc.com

[illegible]

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

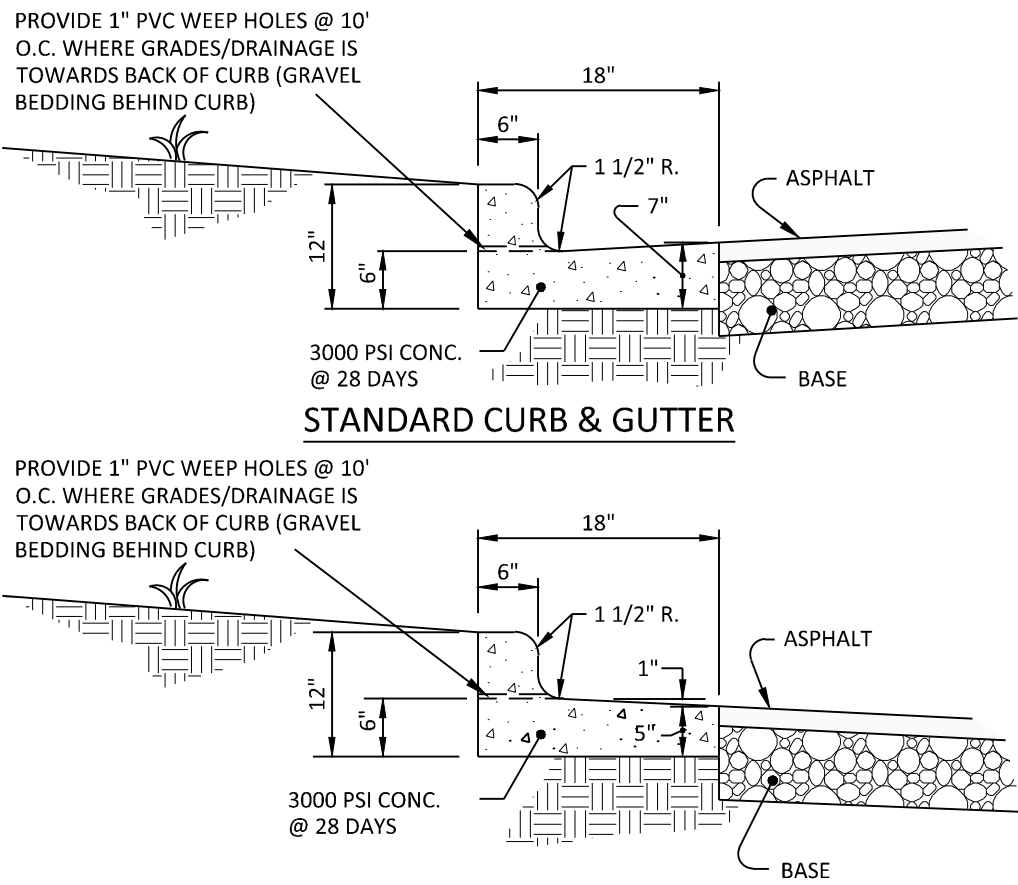
The IES no longer uses the Cutoff Classification System for LED fixtures. The IES classifies LED fixtures with the BUG rating which refers to the Backlight-Uplight-Glare system. An Uplight of "UD" most closely matches the old Full Cutoff rating.



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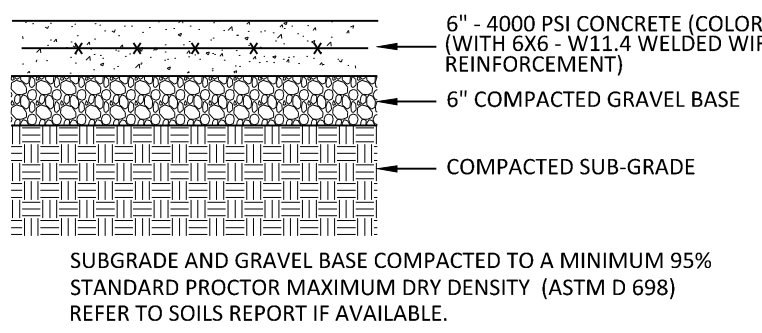


STANDARD CURB & GUTTER

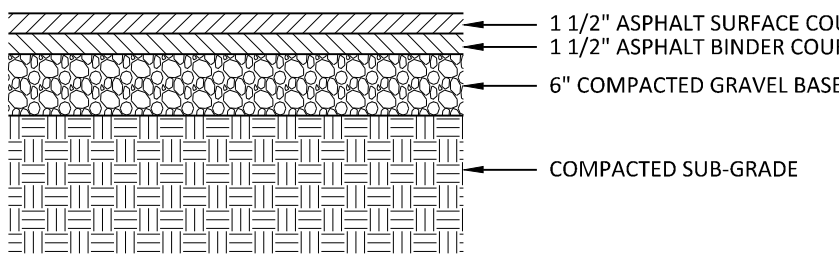
SPILL CURB & GUTTER

- NOTES:
1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
 3. CONTRACTION JOINTS SHALL BE SPACED AT 30' INTERVALS. (A 15' SPACING WILL BE ALLOWED WHEN A MACHINE IS USED.)
 4. FINISH ALL CONCRETE WITH CURING COMPOUND.

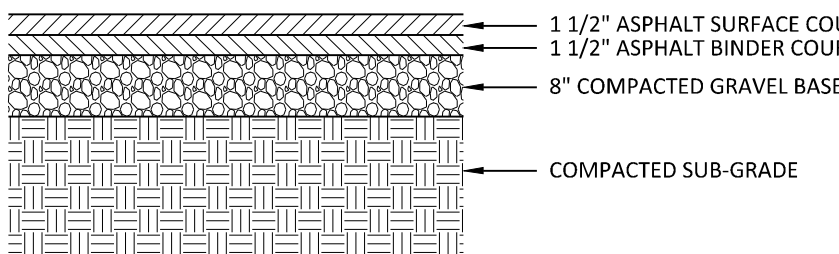
1'-6" STANDARD CURB AND GUTTER



CONCRETE PAVEMENT DETAIL



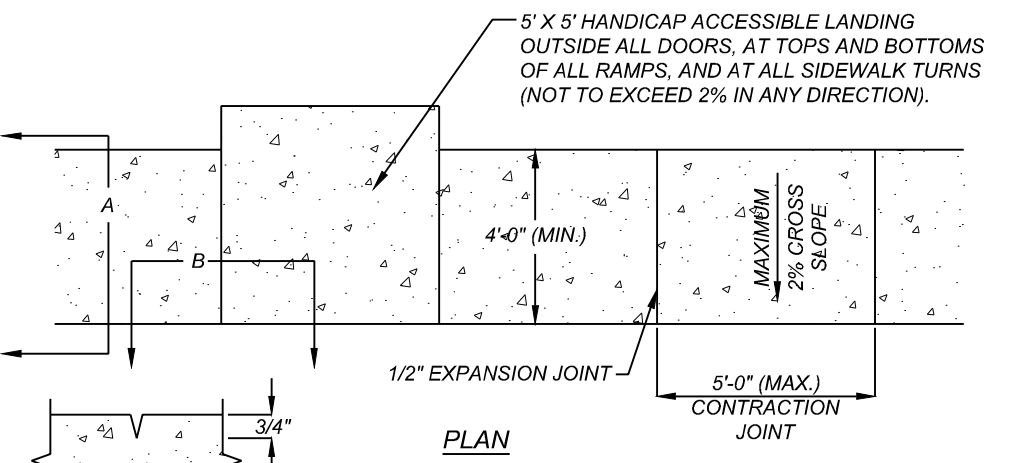
PARKING STALL ASPHALT PAVEMENT



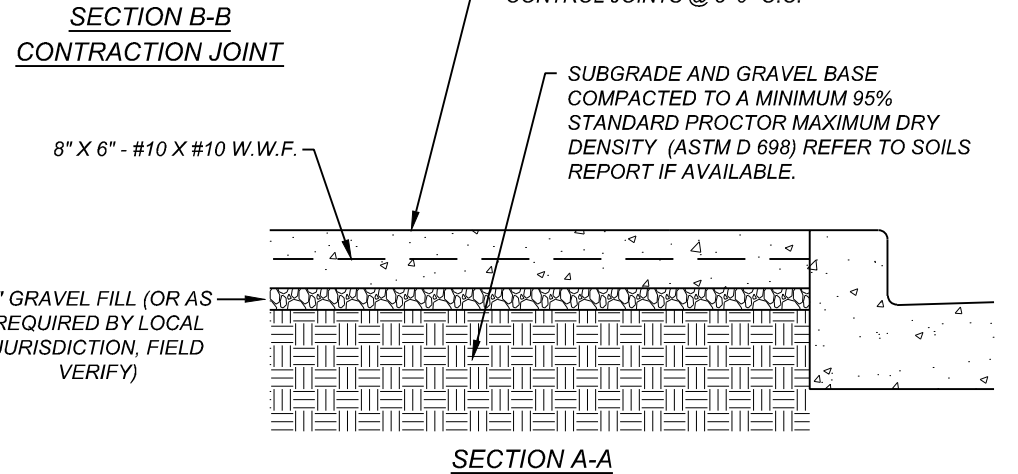
TRAFFIC AISLE ASPHALT PAVEMENT

- NOTES:
1. CONTRACTOR SHALL OBTAIN SOILS REPORT IF AVAILABLE, AND ADJUST PAVEMENT SECTIONS ACCORDINGLY.
 2. CONTRACTOR SHALL PLACE BINDER COURSE DURING CONSTRUCTION, THEN PLACE SURFACE COURSE AFTER BUILDING AND SITE CONSTRUCTION.

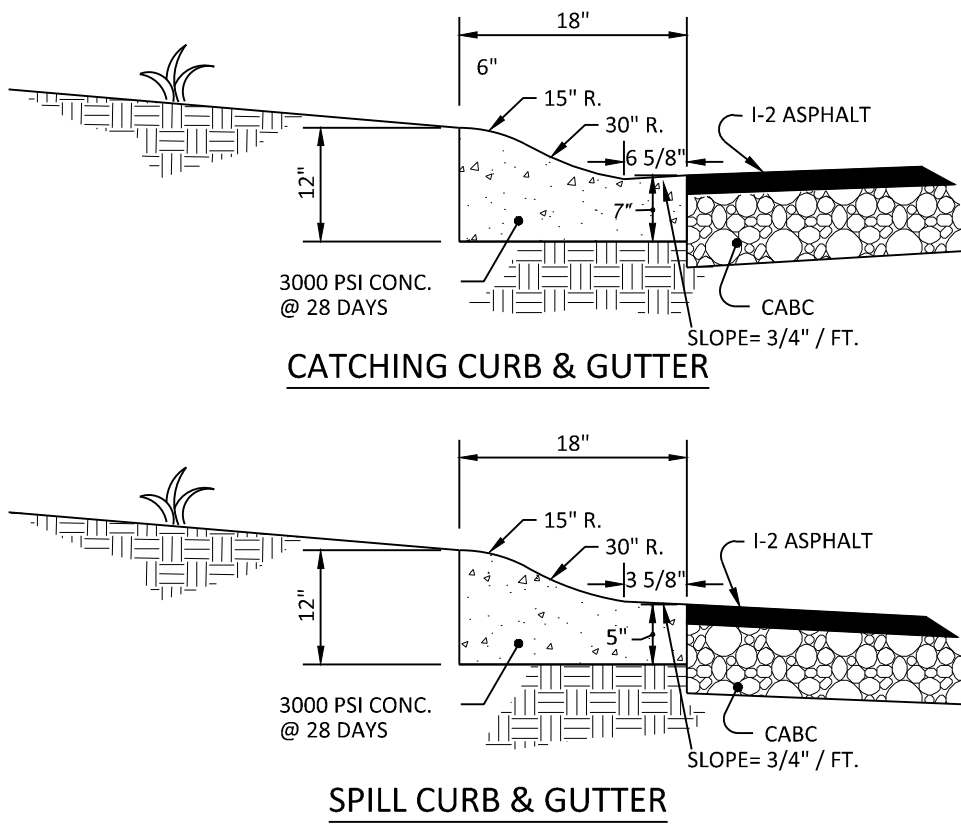
ASPHALT PAVEMENT DETAIL



CONCRETE SLAB DETAIL



CONCRETE SIDEWALK

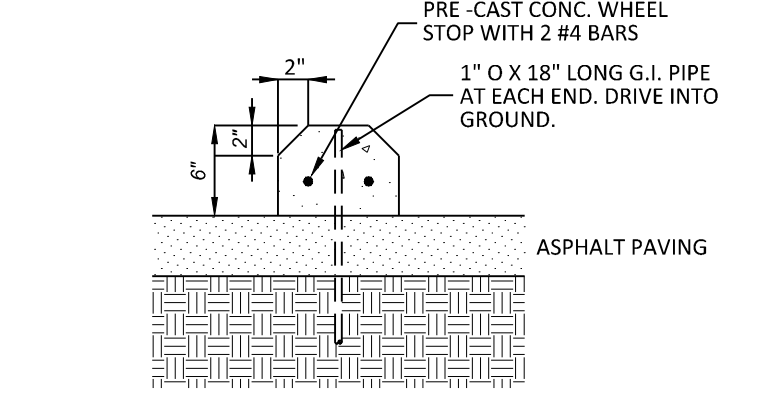


CATCHING CURB & GUTTER

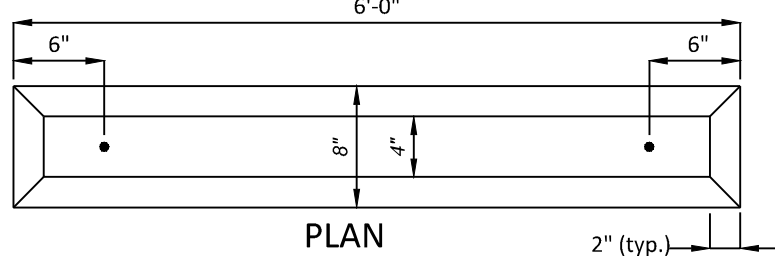
SPILL CURB & GUTTER

- NOTES:
1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
 3. CONTRACTION JOINTS SHALL BE SPACED AT 30' INTERVALS. (A 15' SPACING WILL BE ALLOWED WHEN A MACHINE IS USED.)
 4. FINISH ALL CONCRETE WITH CURING COMPOUND.

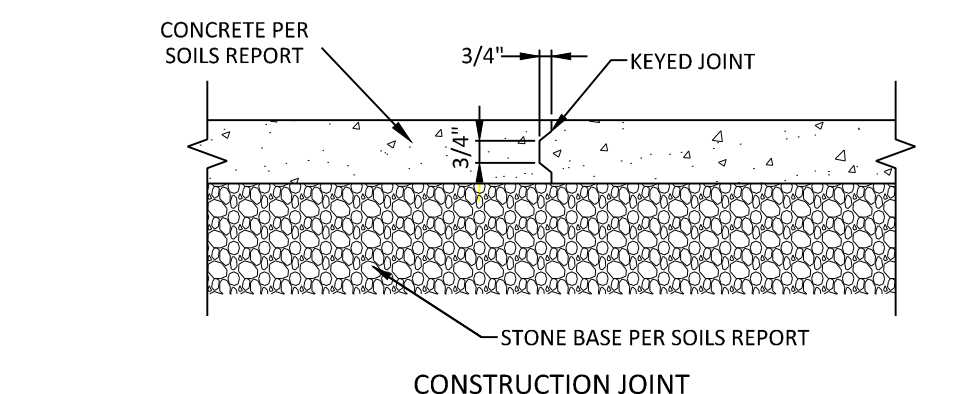
1'-6" ROLLED CURB AND GUTTER



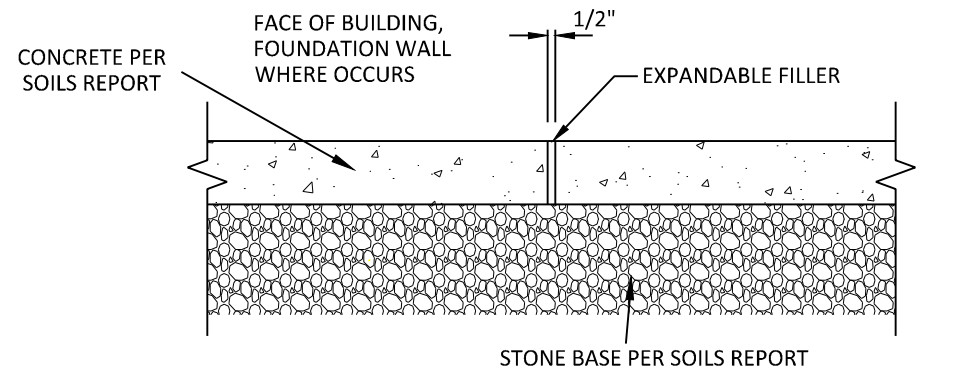
CONCRETE WHEEL STOP



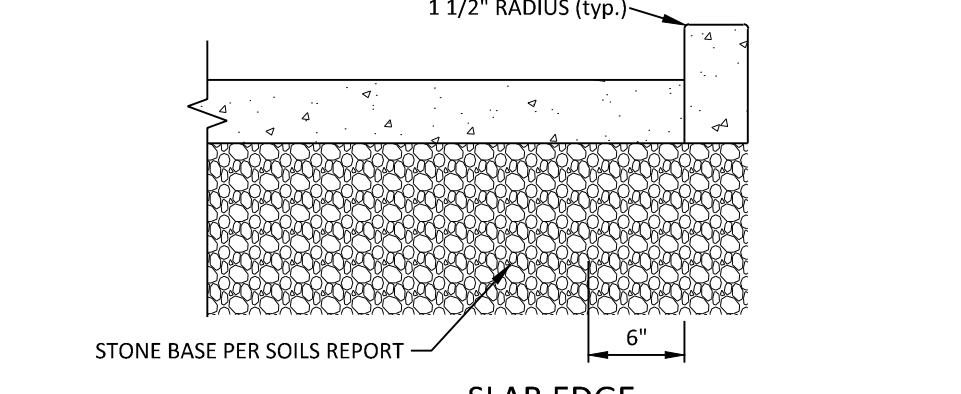
CONCRETE WHEEL STOP



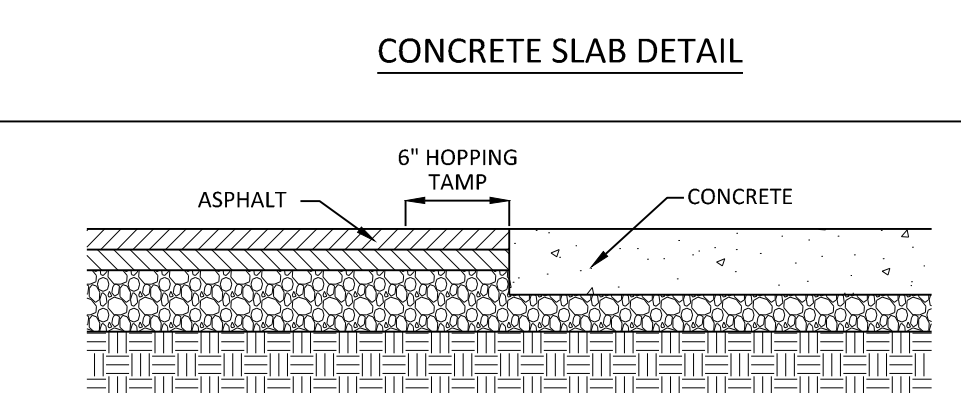
CONSTRUCTION JOINT



EXPANSION JOINT



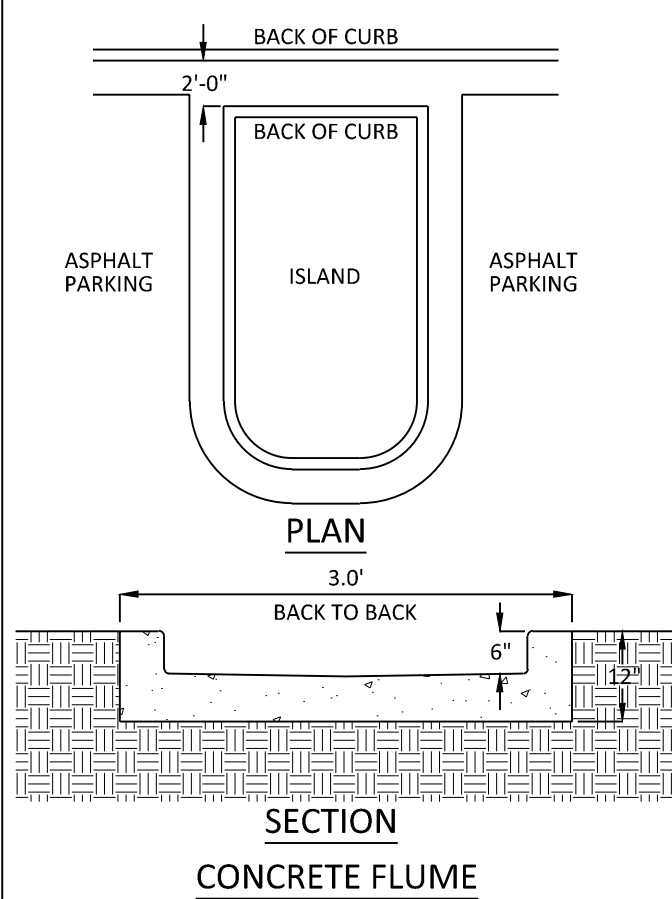
SLAB EDGE



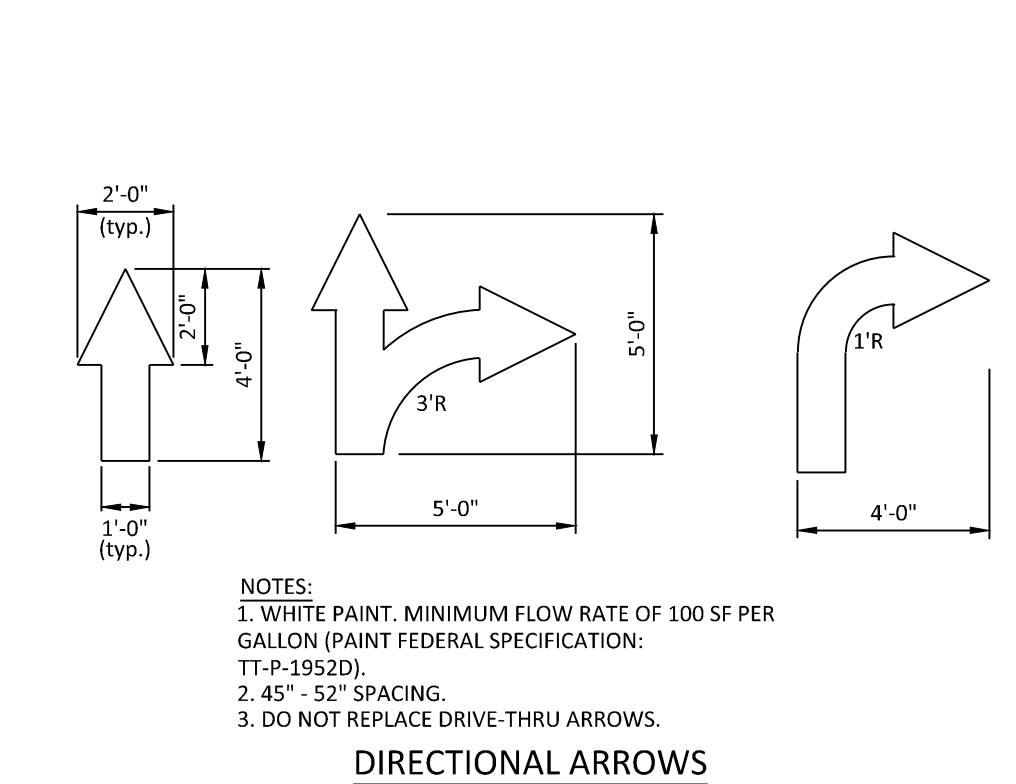
CONCRETE SLAB DETAIL



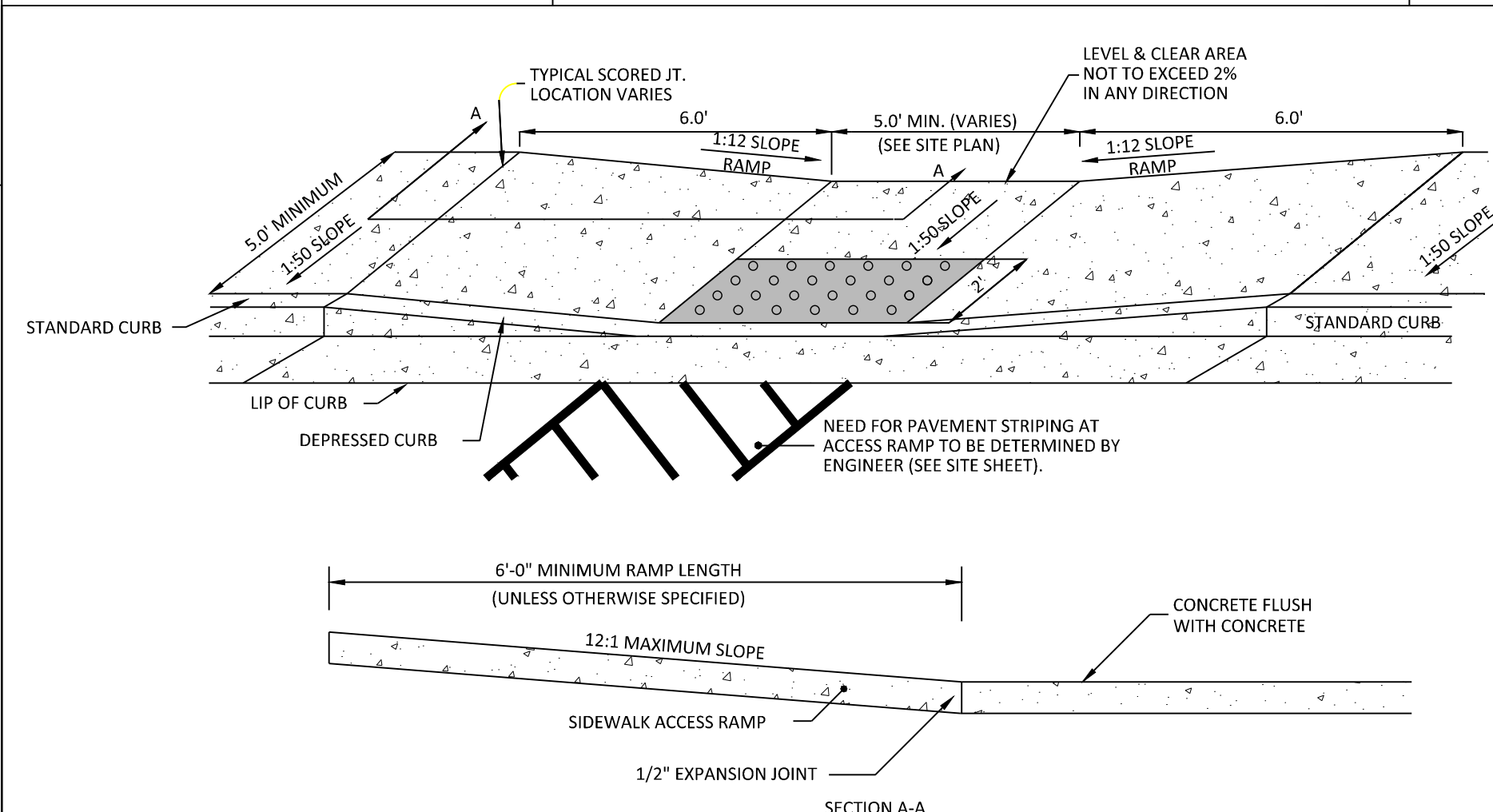
ASPHALT/CONCRETE TRANSITION



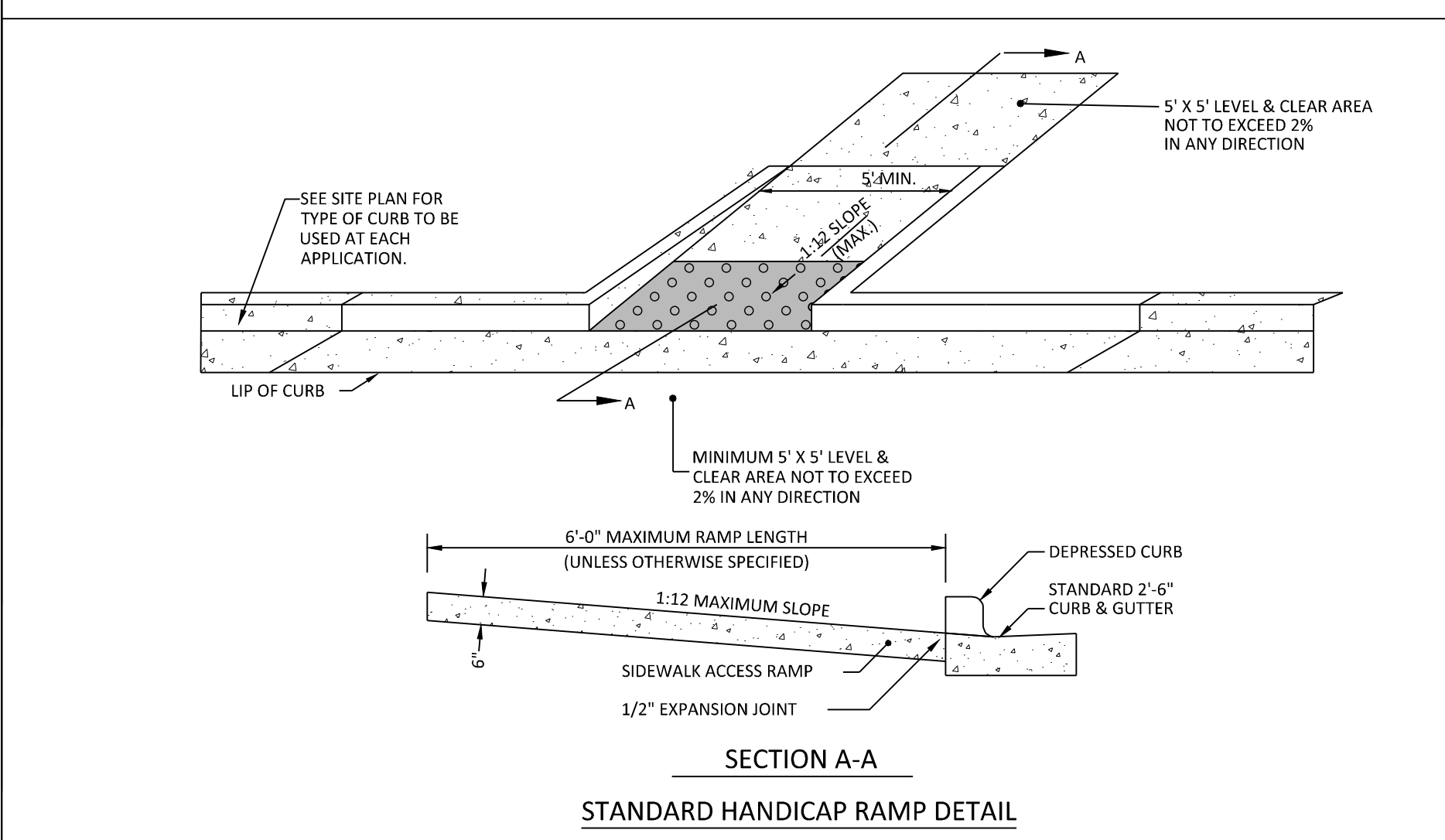
CONCRETE FLUME



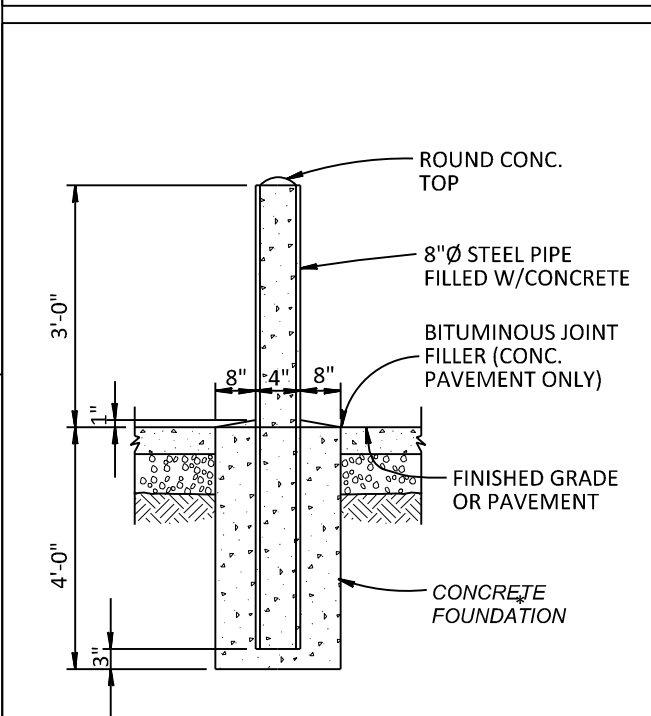
DIRECTIONAL ARROWS



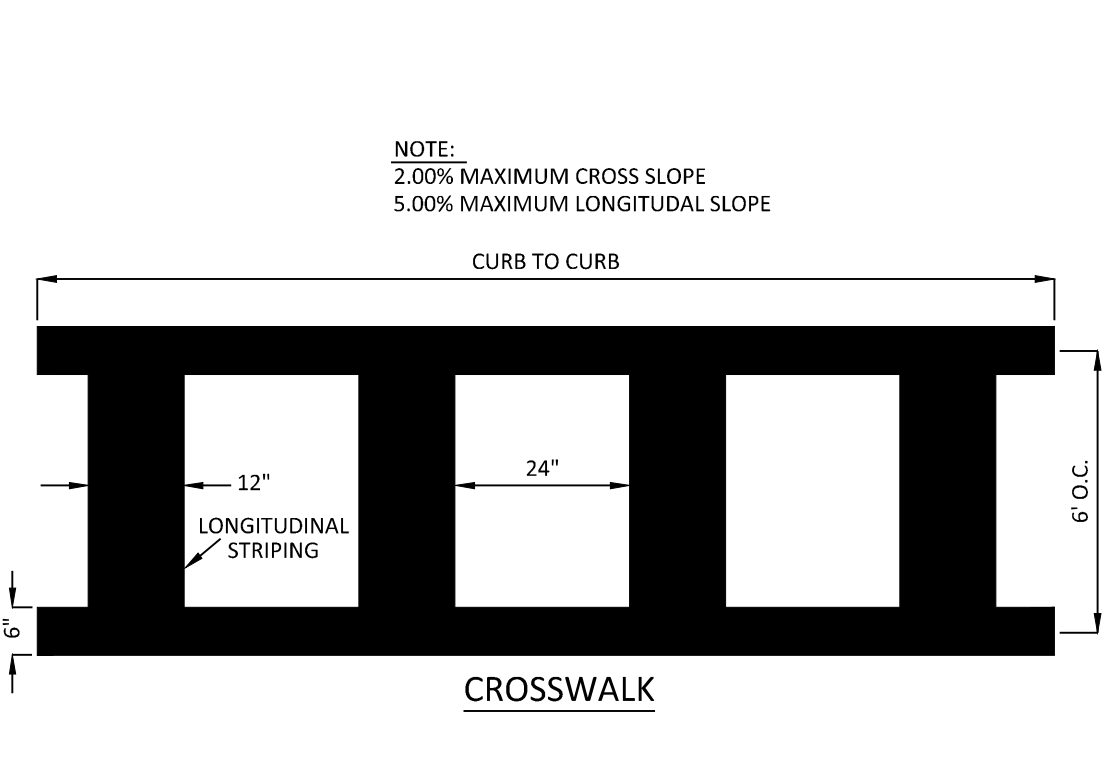
FLUSH HANDICAP RAMP DETAIL



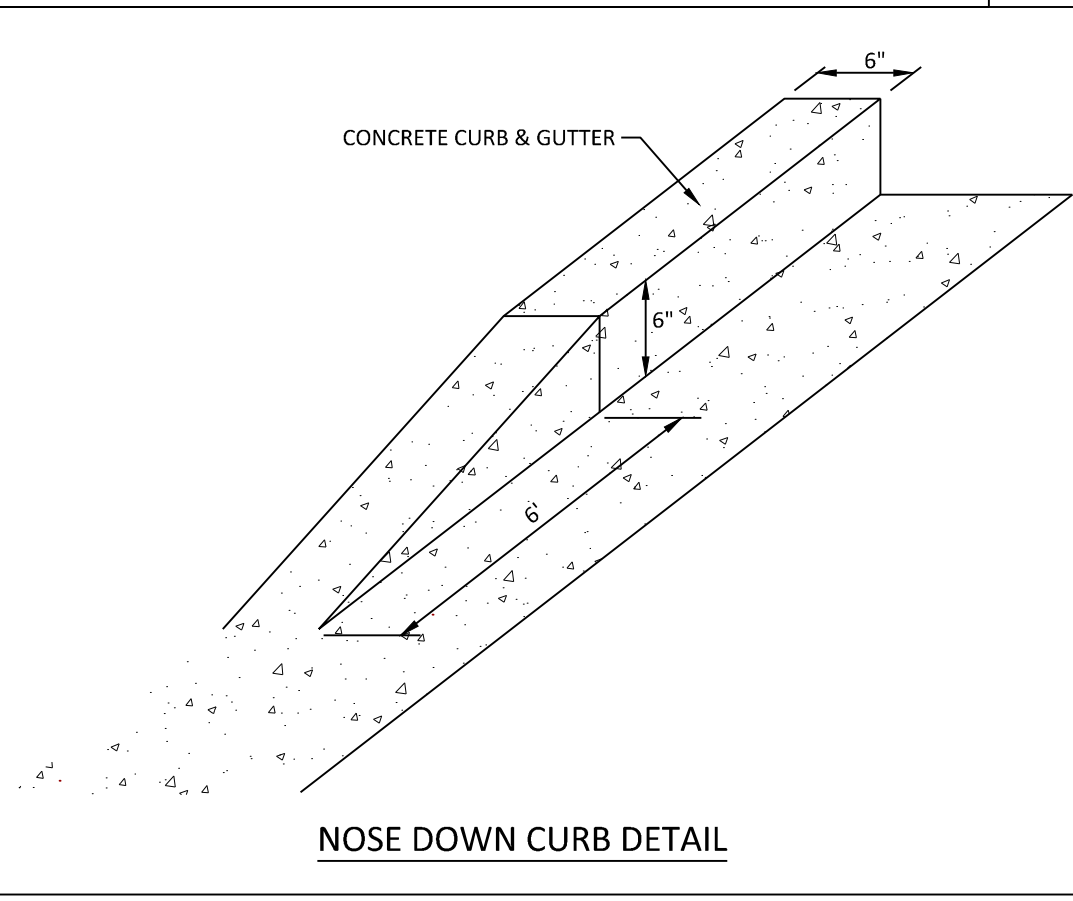
STANDARD HANDICAP RAMP DETAIL



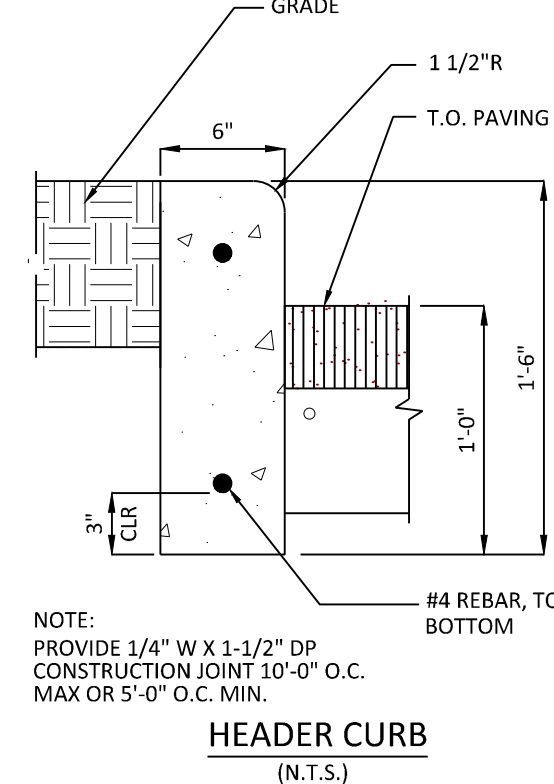
CONCRETE BOLLARD



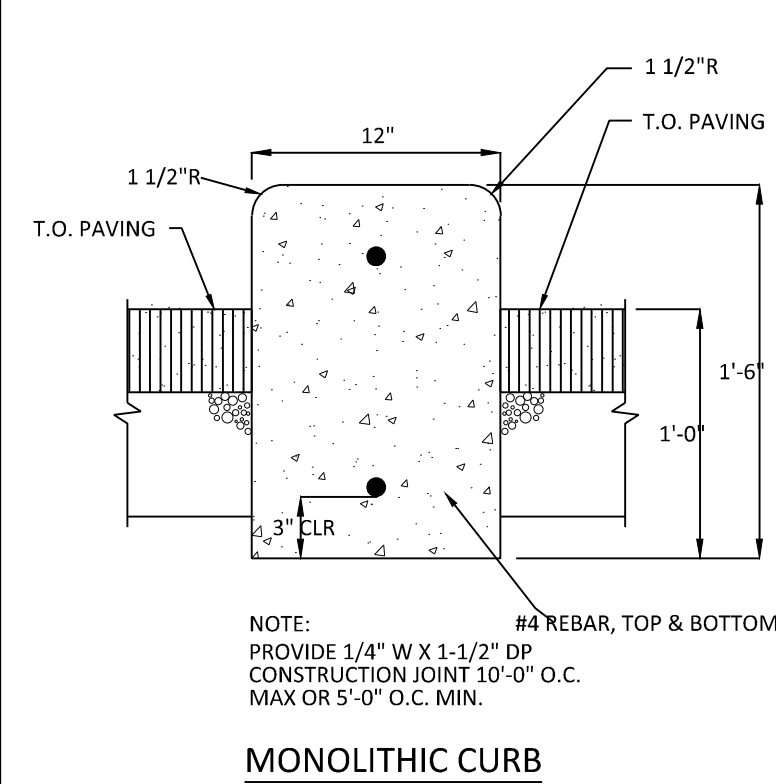
CROSSWALK



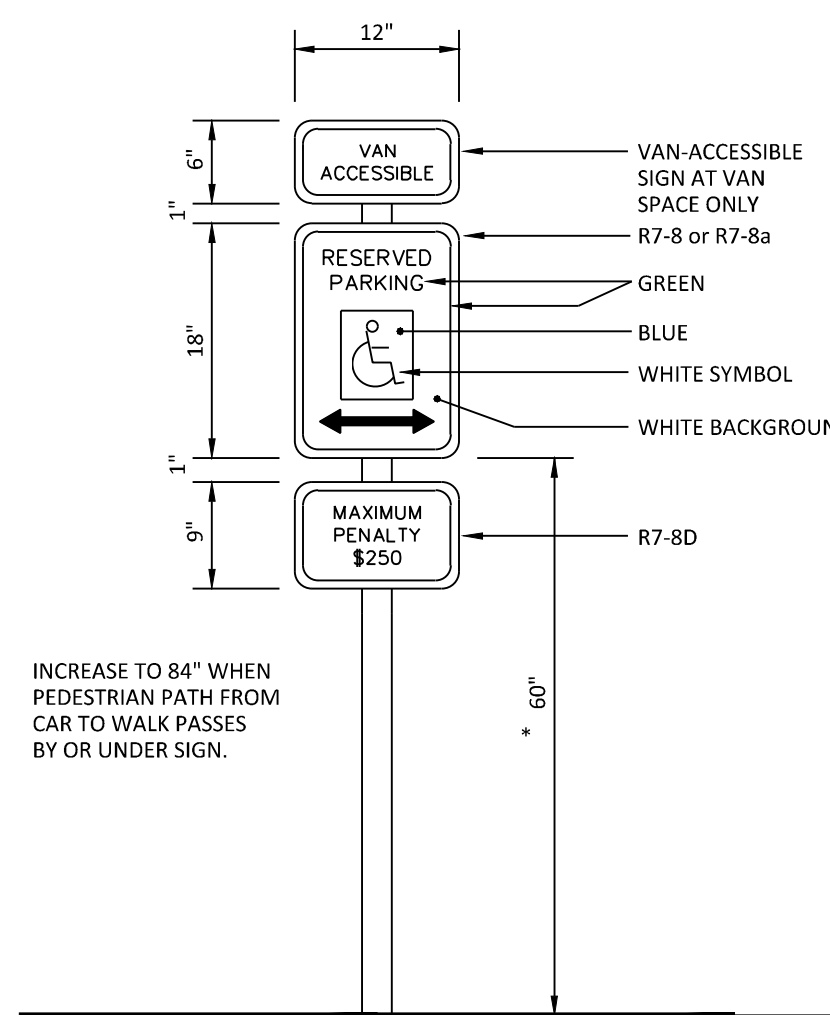
NOSE DOWN CURB DETAIL



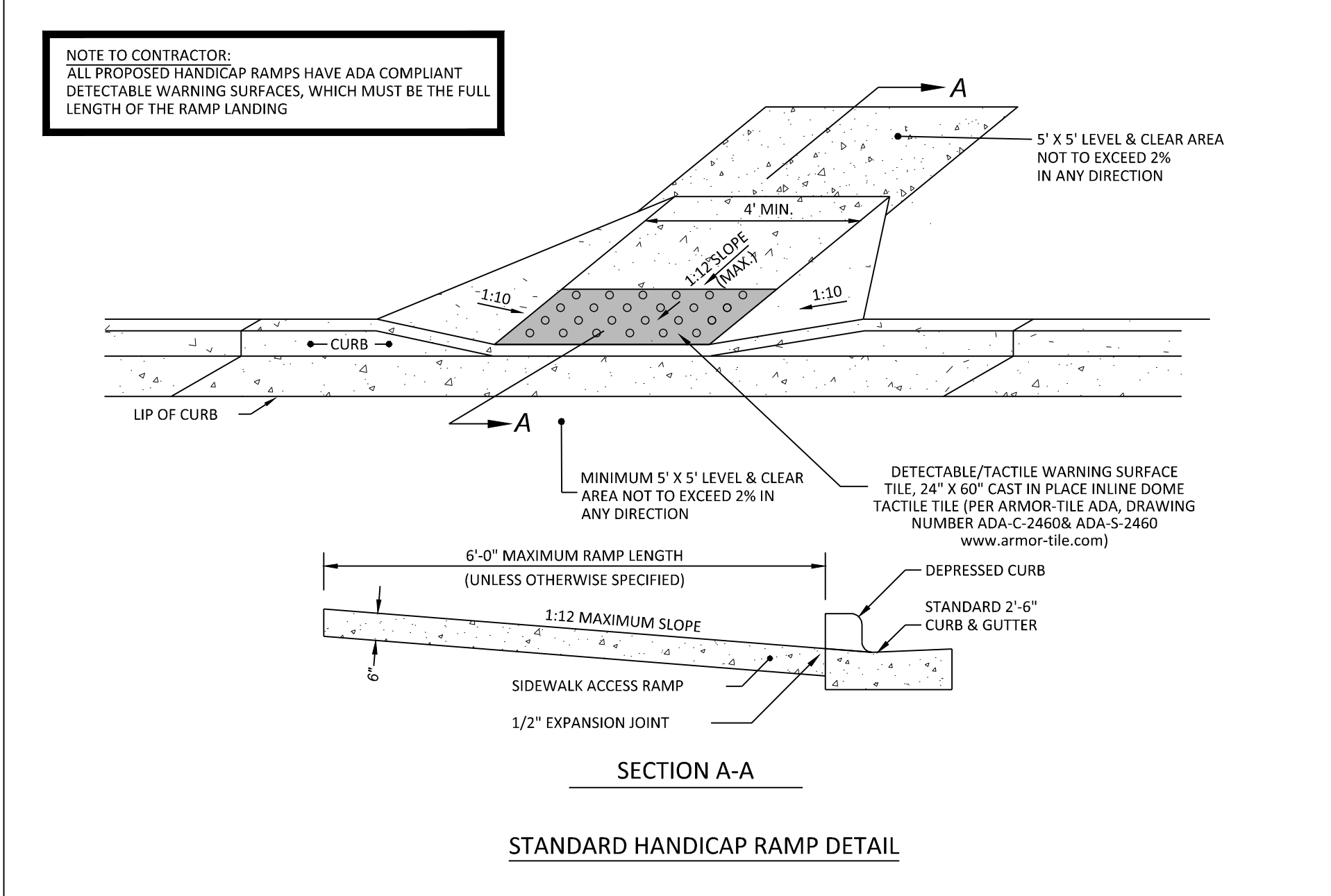
HEADER CURB



MONOLITHIC CURB



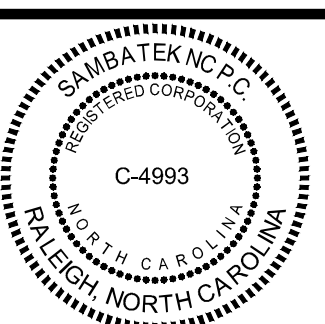
HANDICAP SIGN DETAIL



STANDARD HANDICAP RAMP DETAIL

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET

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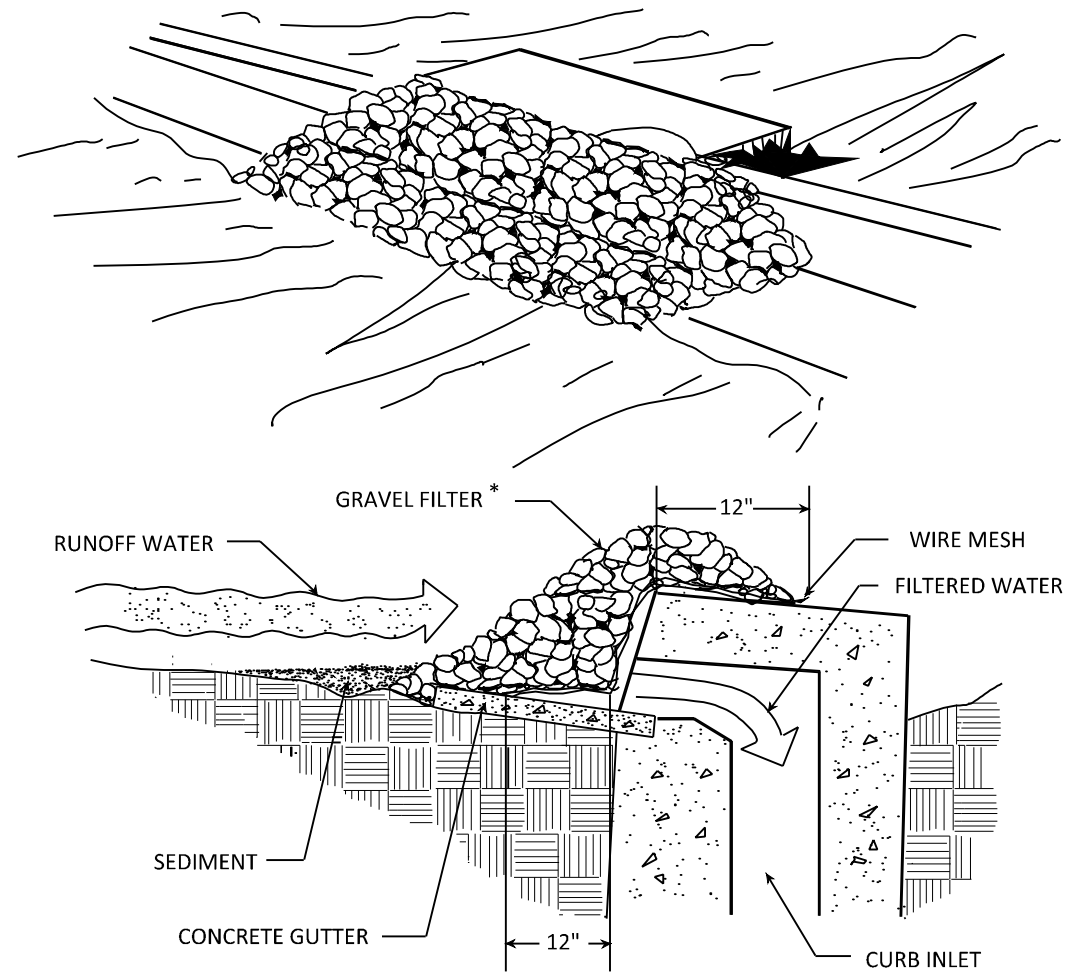


PRELIMINARY 10/31/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

DRAWN BY STH
DESIGNED BY NDG
CHECKED BY NDG
PROJECT NO. LUH-2502



DETAILS	SHEET
TACO BELL (027) (#042426) 5420 ASHEVILLE HWY. HENDERSON, NORTH CAROLINA	C-9.01
	REV.



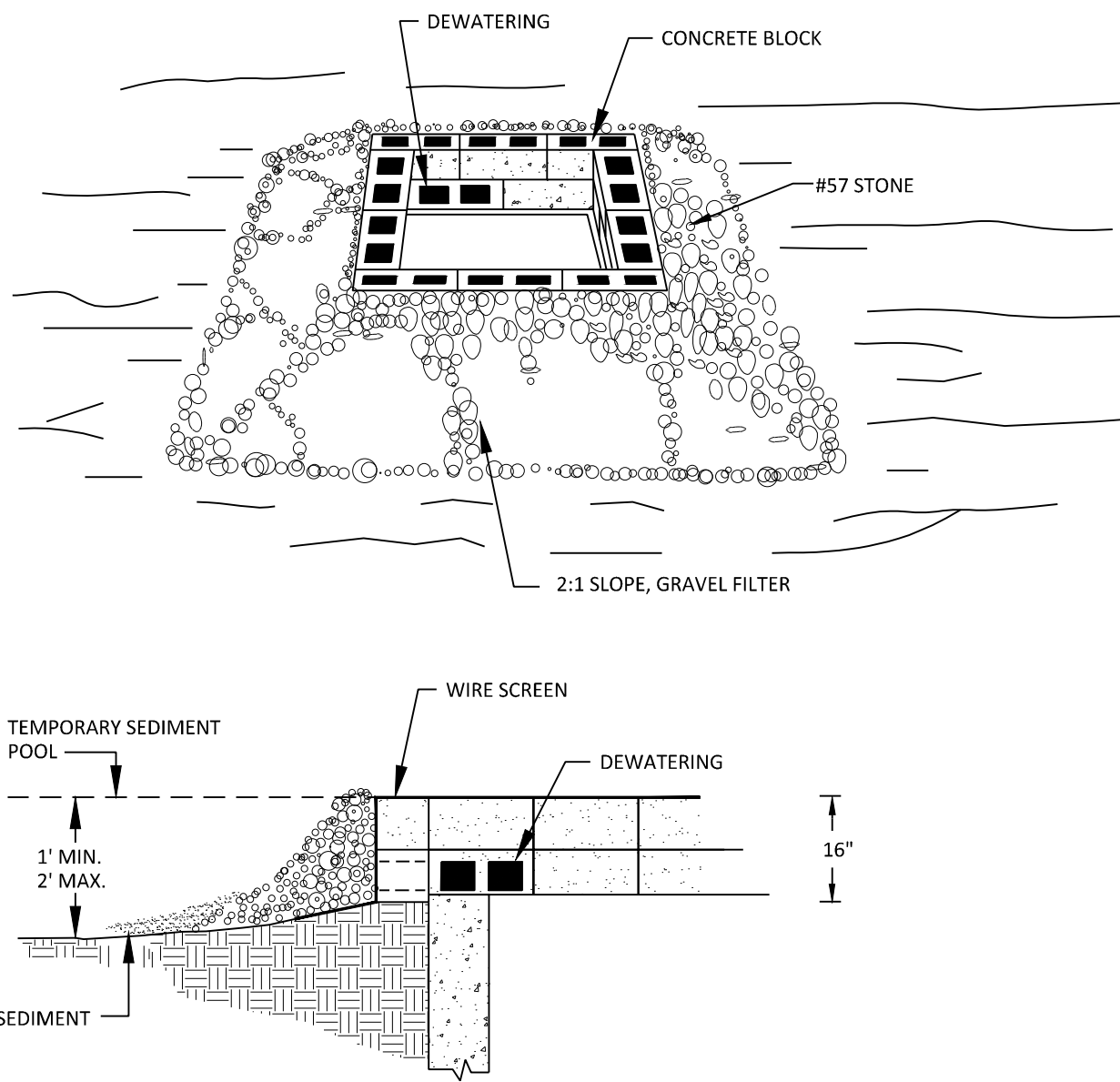
SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

* GRAVEL SHALL BE #57 WASHED STONE

MAINTENANCE:

1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAINFALL AND REPAIRS MADE AS NEEDED.
2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
3. STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE



CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF BLOCKS AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, GIVE LATERAL SUPPORT TO SUBSEQUENT ROWS BY PLACING 2 X 4 WOOD STUDS THROUGH BLOCK OPENINGS.

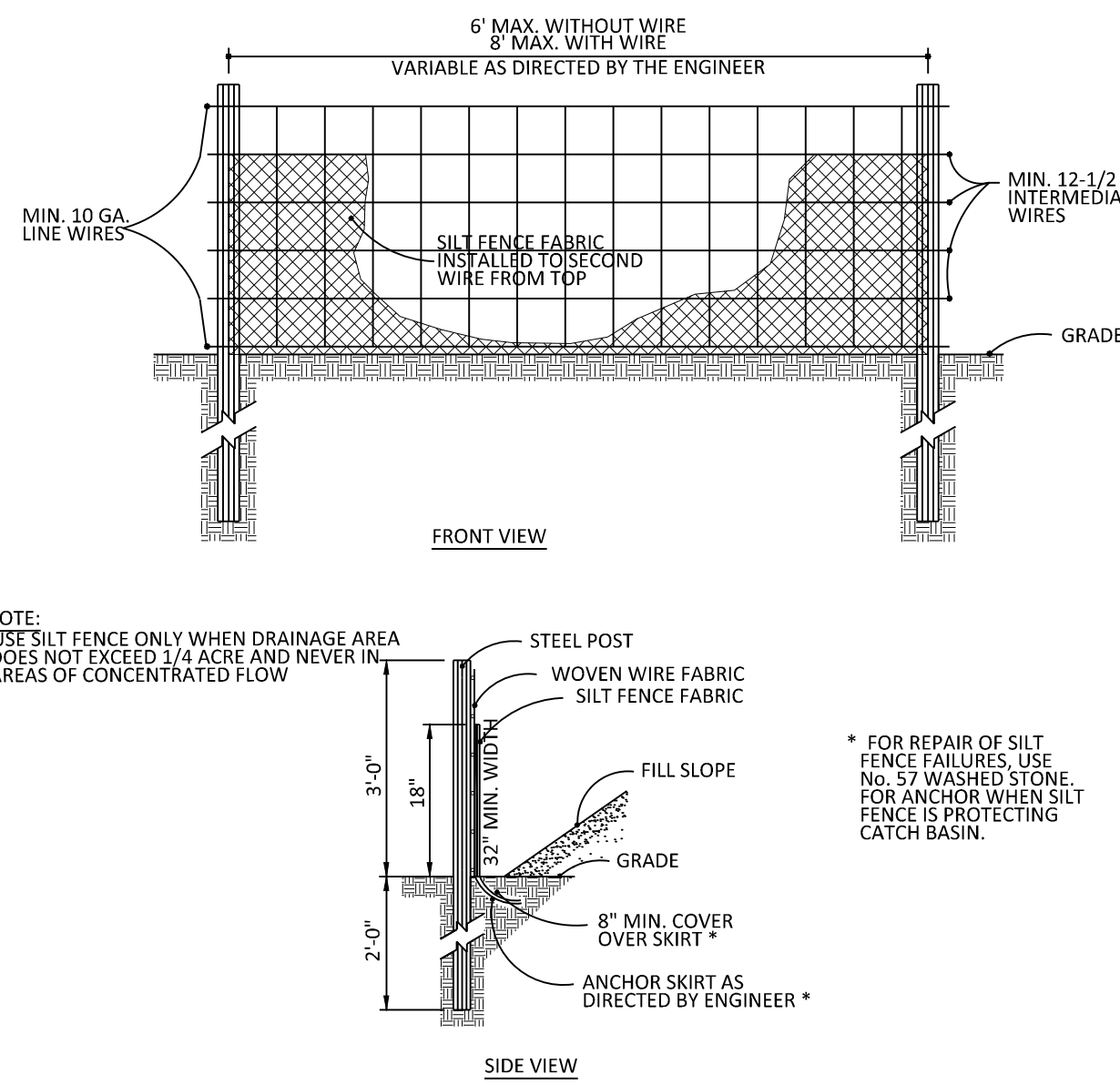
2. CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.

3. USE CLEAN GRAVEL, 3/4- TO 1/2-INCH IN DIAMETER, PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE. DOT #57 WASHED STONE IS RECOMMENDED.

MAINTENANCE:

INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

BLOCK AND GRAVEL DROP INLET PROTECTION

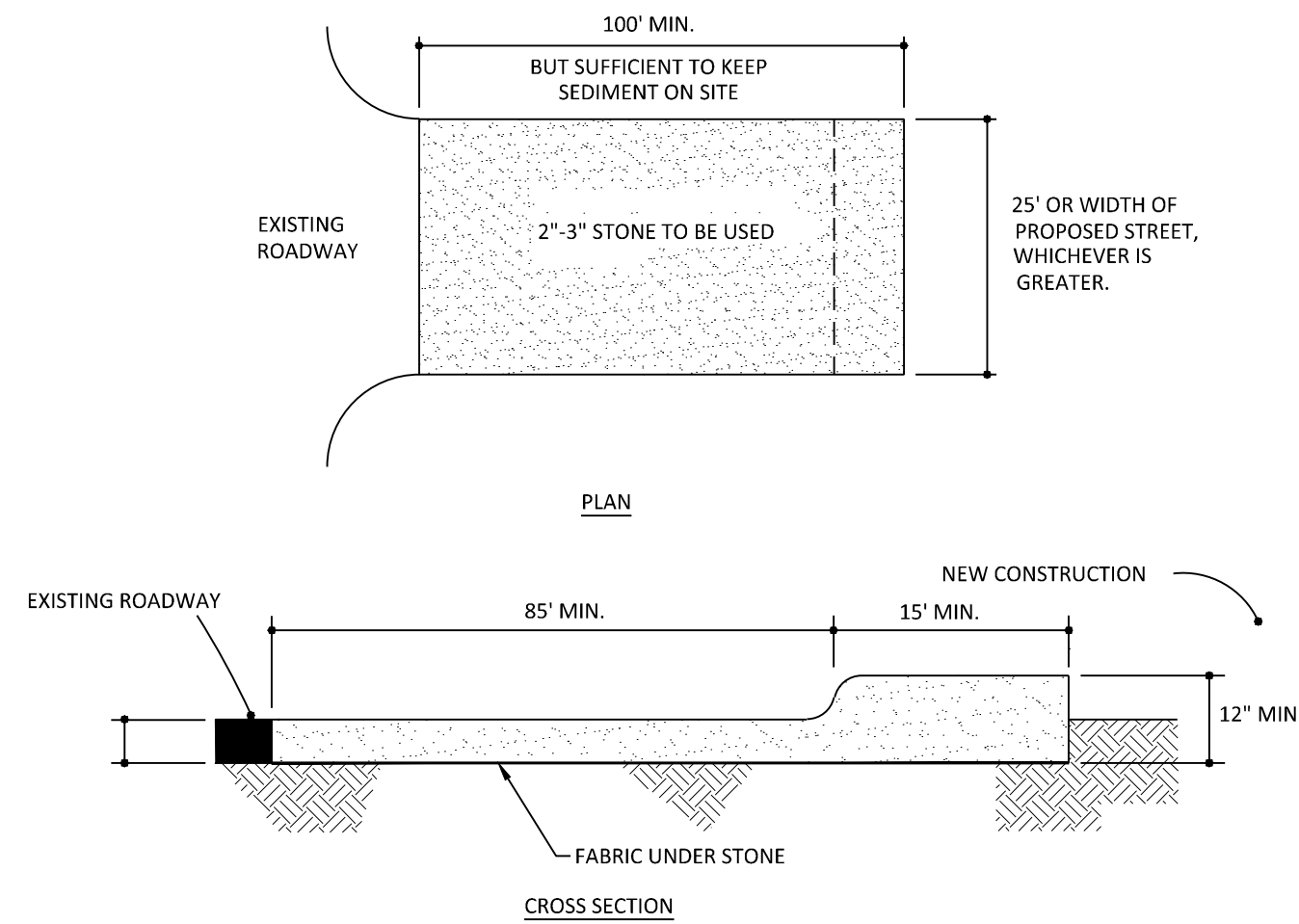


MAINTENANCE:

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. REMOVE SEDIMENT WHEN IT REACHES 1/2 HEIGHT OF THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

STANDARD TEMPORARY SILT FENCE

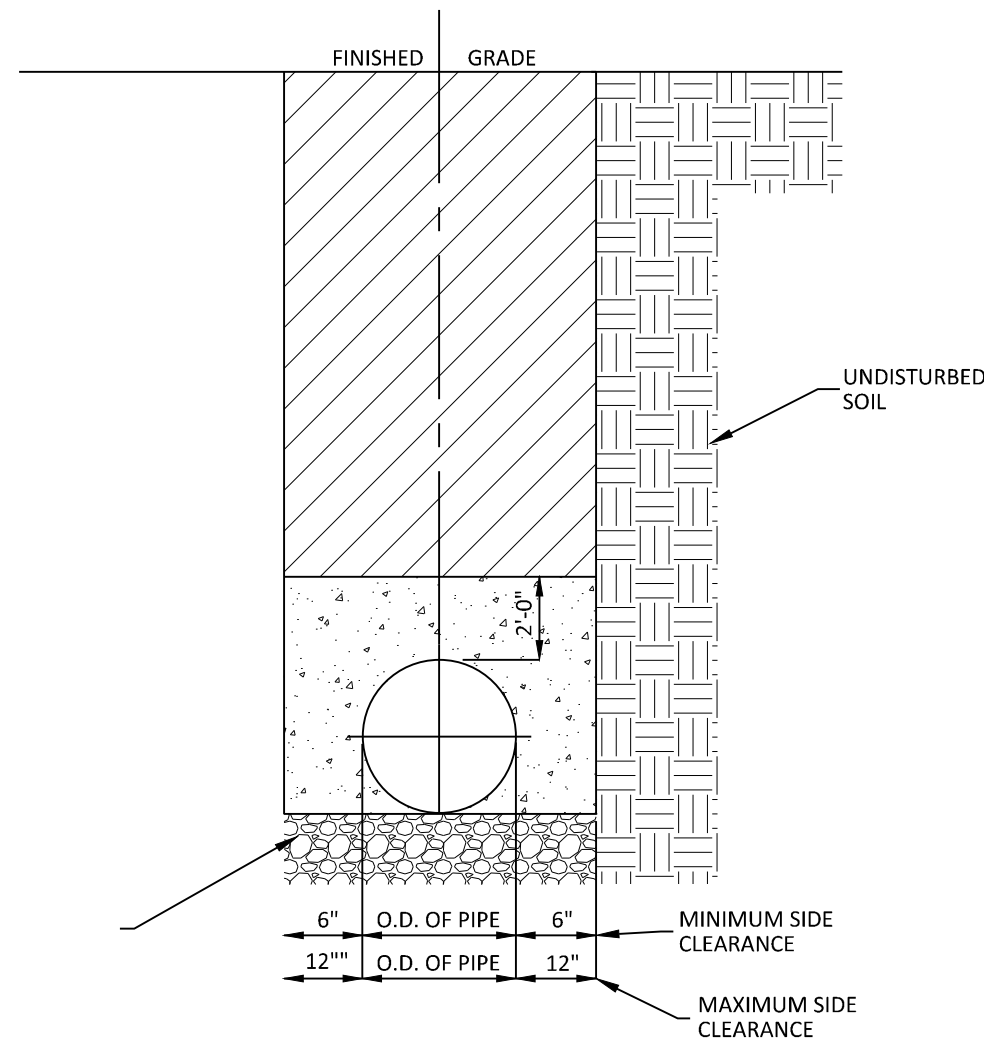
- NOTES:
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVEL-ING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.



MAINTENANCE

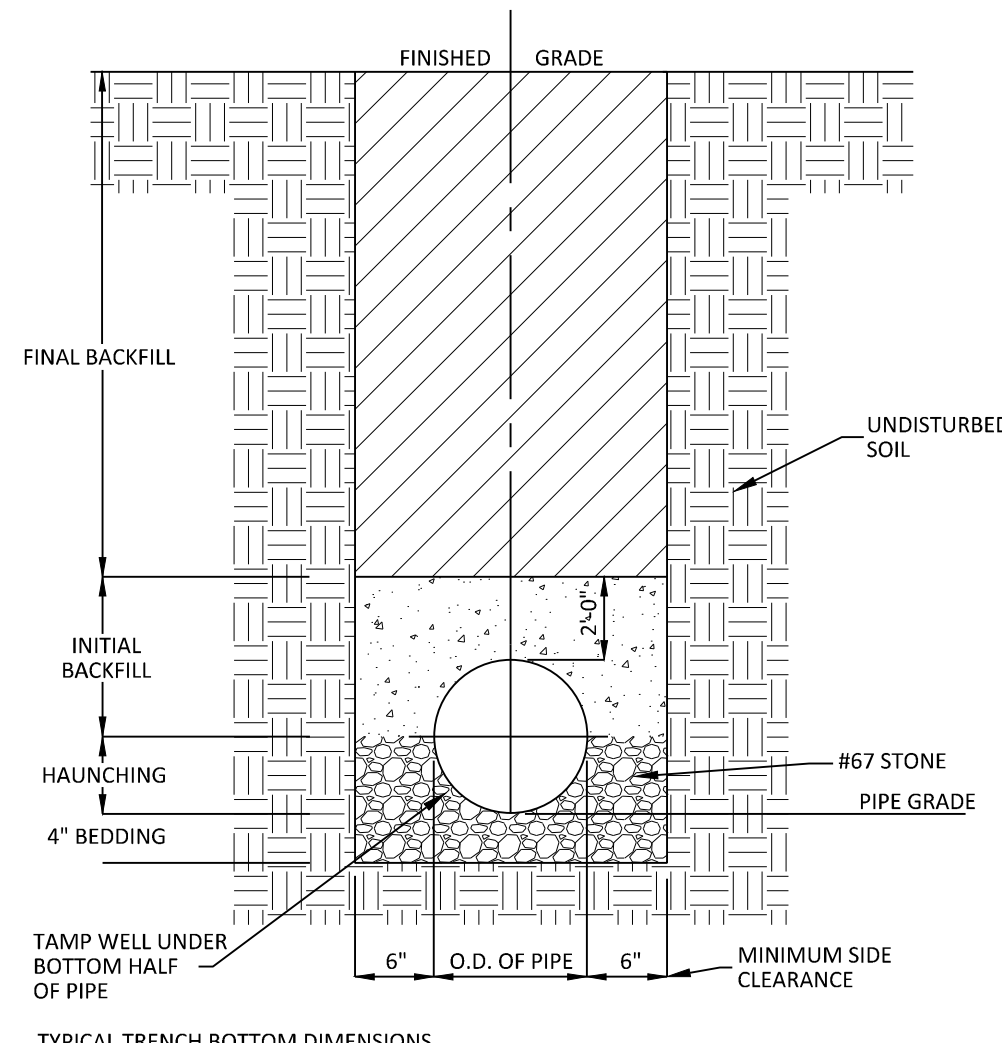
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDD AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

CONSTRUCTION ENTRANCE



1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8"-10" IN NON-TRAFFIC AREAS.
5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.
6. IF IN EASEMENT 4" TOPSOIL AND 12" CLEAN SELECT FILL IS REQUIRED.
7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED.

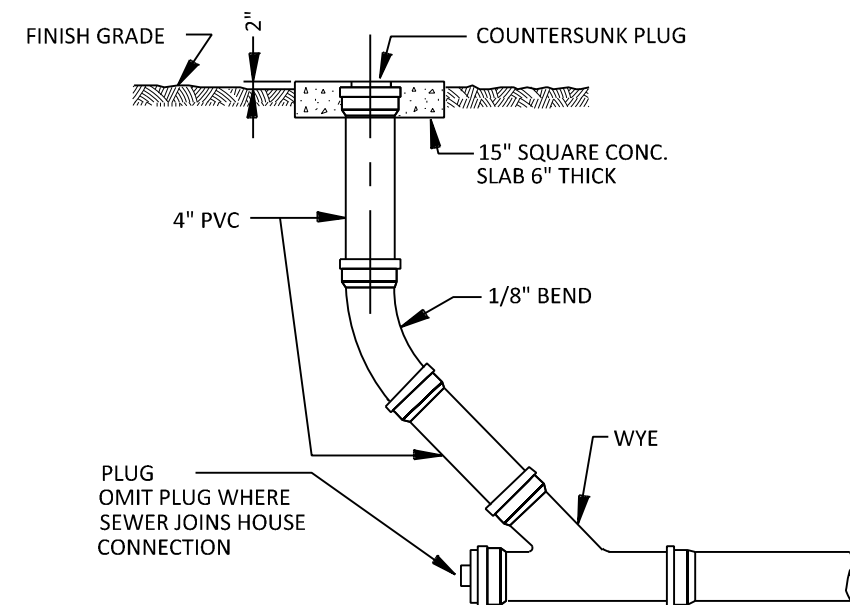
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE



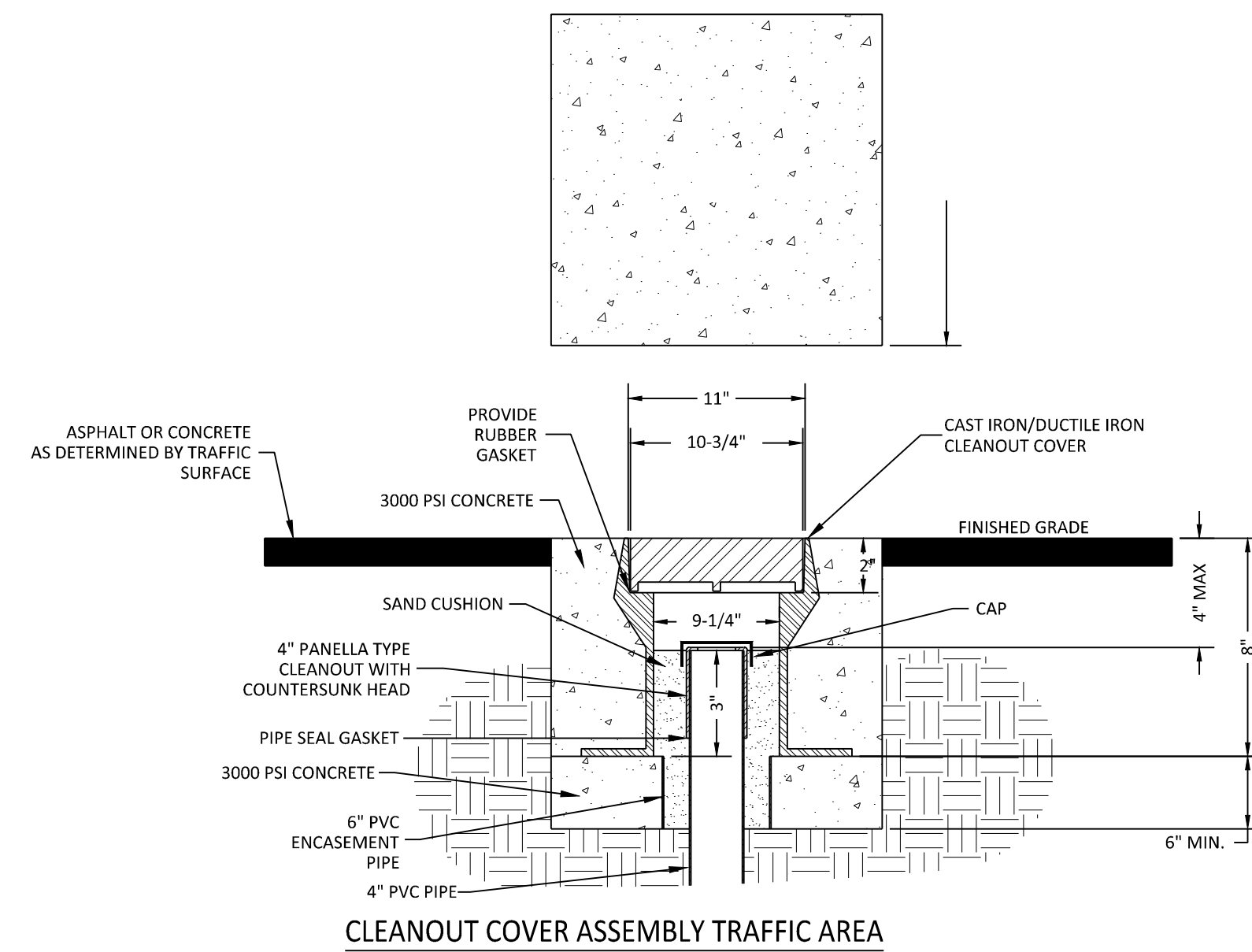
TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8"-10" IN NON-TRAFFIC AREAS.

TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN



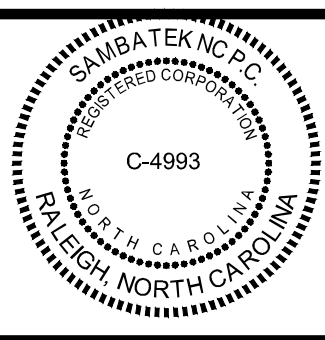
SANITARY SEWER CLEANOUT



CLEANOUT COVER ASSEMBLY TRAFFIC AREA

NO DATE BY CKD APPR COMMENT

1 11/06/2025 STH NDG 1ST SUBMITTAL SET



PRELIMINARY 10/31/2025

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY STH

DESIGNED BY NDG

CHECKED BY NDG

PROJECT NO. LUH-2502



DETAILS

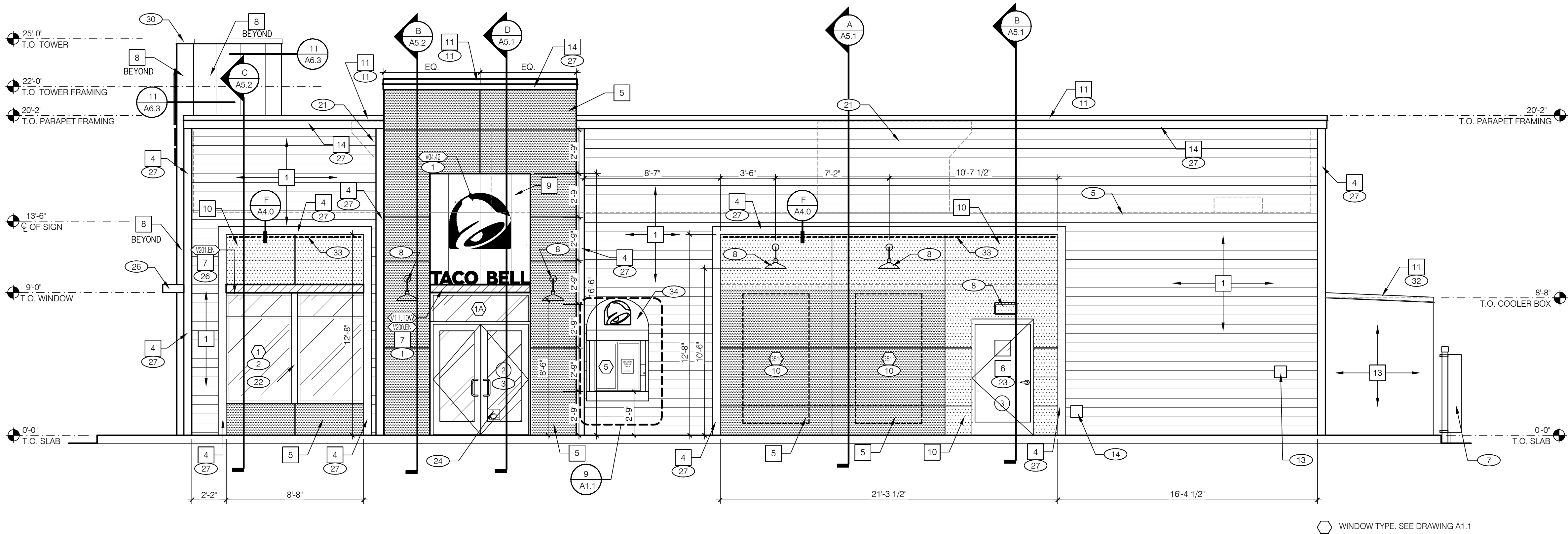
TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

SHEET

C-9.02

REV.

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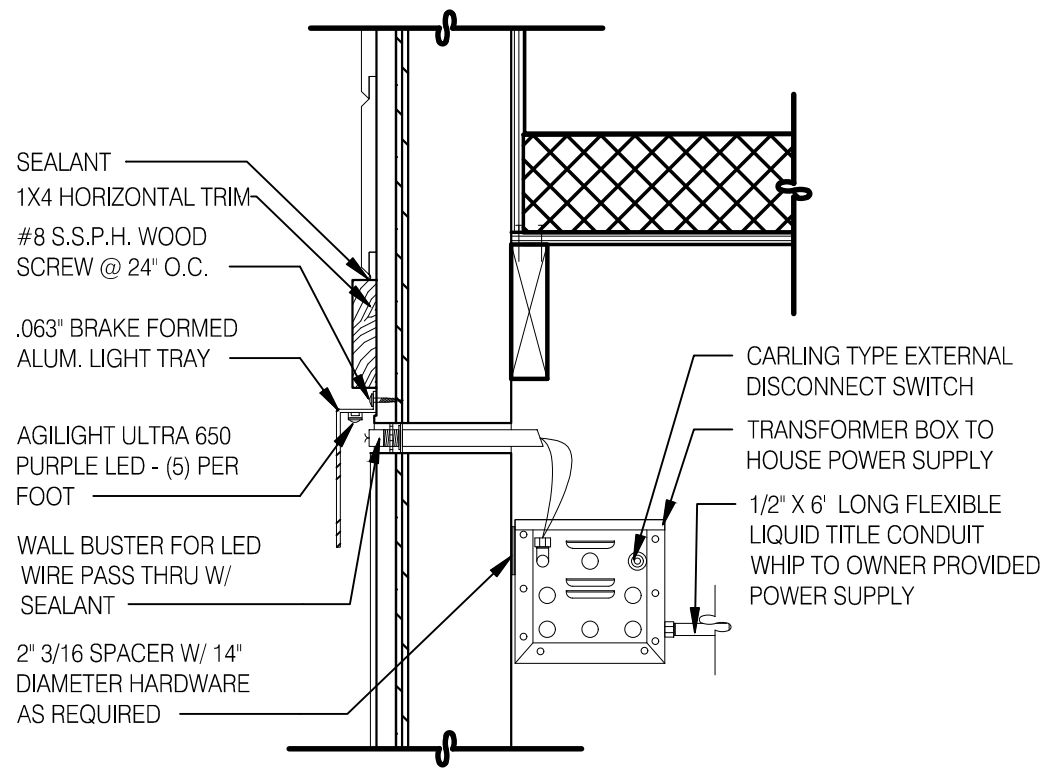
RIGHT SIDE ELEVATION 1/4"=1'-0"

A

(X)	QTY.	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
(G510)	2	CAMO PATTERN - PURPLE	B	M02	CUSTOM	SEE A4.0 & A4.1 FOR LOCATION
(G511)	2	CAMO PATTERN - PURPLE	B	M02	CUSTOM	SEE A4.0 & A4.1 FOR LOCATION
(G512)	1	CAMO PATTERN - PURPLE	B	M02	CUSTOM	SEE A4.1 FOR LOCATION

ARTWORK SCHEDULE N.T.S.

H



LED WALL WASHER & TRIM DETAIL N.T.S.

F

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)
A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS
A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE. A-100 EXTERIOR LATEX SATIN.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINT NOTES

D

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
FRONT TOWER			
09.14W	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
04.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
SIDE ENTRY TOWER			
04.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
200.ET	1	SIDE ENTRY AWNING 6' 4" X 3' 0" BLACK	A4.0
11.10W	1	10" WHITE CHANNEL LETTERS MTD. ON AWNING	A4.0
DRIVE THRU			
101.DT	1	DT AWNING (OVER DT) 9' 4" X 4' 0" BLACK	A4.1
REAR			
EYEBROW AWNINGS OVER WINDOWS			
203.ET	1	DT SIDE EYEBROW (WINDOW) 5' 11" L X 6" H X 1' 4" D BLACK	A4.1
201.ET	1	SIDE EYEBROW (WINDOW) 8' 4" L X 6" H X 1' 4" D BLACK	A4.0

* NOTE: FIELD VERIFY ALL LENGTH PRIOR TO FABRICATION

SIGNAGE

B

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 144"L X 8.25"W. 7" EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	SEE C / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4x6 SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS	SEE C / A 7.2
5	HARDIE PANEL VERTICAL SIDING W/ ALUMINUM TRIM FROM FRY REGLET AND/OR TAMLYN	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING - SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS	SEE C / A 7.2
6	HOLLOW METAL DOOR & FRAME	-	-	SW PURPLE TB2603C, SEMI-GLOSS	
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR	
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24GA PAINTED 18" PANEL	WEATHERED RUSTIC	SEE C / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	WESTERN STATE	T-GROOVE 24GA PAINTED 18" PANEL	WEATHERED RUSTIC	SEE C / A 7.2
10	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TB2603C, SEMI-GLOSS	SEE C / A 7.2
11	METAL PARAPET CAP	-	24GA GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING	
12	BOLLARD	STREET SMART		YELLOW - 1/4" THICK PLASTIC COVER (US POSTMAN.COM) OR EQUAL - PRIME PRIOR TO COVER INSTALLATION	
13	FREEZER / COOLER	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	
14	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4X12 SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS	SEE C / A 7.2

EXTERIOR FINISH SCHEDULE

G

- SIGNAGE TO BE PROVIDED & INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT - SEE STRUCTURAL BLOCKING ELEVATIONS - SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
- STOREFRONT & GLASS - TYP.
- STOREFRONT DOOR - SEE SHEET A1.1.
- DRIVE-THRU WINDOW - SEE SHEET A1.0 & A1.1.
- DASHED LINE REPRESENTS ROOF LINE BEYOND.
- GAS SERVICE - PAINT TO MATCH ADJACENT SIDING.
- ELECTRICAL METERS INCLUDING EQUIPMENT ENCLOSURES - PAINT TO MATCH ADJACENT.
- EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- WALL PACK LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- EXTERIOR MURAL - SEE SHEET A2.0 FOR ARTWORK SCHEDULE.
- PARAPET CAP ROOF - SEE DETAIL 2/A6.0 AND 16/A6.2 - PAINT.
- SINGLE-PLY MEMBRANE ROOFING.
- CO2 FILLER VALVE & COVER - SEE DETAIL 7/A6.2 SIM.
- HOSE BIB BOX @ 18" A.F.F. - SEE DETAIL 11/A6.2.
- SCUPPER, COLLECTOR, & 6" MIN. VERTICAL DOWNSPOUT - PAINT.
- OVERFLOW SCUPPER.

- CONCRETE CURB.
- ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 6" Ø BOLLARD.
- Ø BOLLARD AT ALL DOWNSPOUTS
- RTU BEYOND - PAINT TO MATCH MAIN BUILDING COLOR.
- BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 16/A6.1.
- H.M. DOOR & FRAME - PAINT.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- HANGER ROD CANOPY BY VENDOR W/ LIGHTS - SEE ELECTRICAL DRAWINGS.
- EYEBROW CANOPY BY VENDOR.
- TRIM - PAINT.
- FRAME STUDS & HEADER FOR OPTIONAL FUTURE WINDOW.
- FRAME STUDS & HEADER FOR FUTURE WINDOW.
- PARAPET CAP @ TOWER - SEE DET. 1/A6.3.
- INSTALL BLOCKING FOR FUTURE HANGING ROD CANOPY.
- GALV. METAL CAP FLASHING - PREFINISH

- L.E.D. PURPLE LIGHT WALL WASHER TO BE PROVIDED & INSTALLED BY G.C. - SEE I/A4.0. EC SHALL PROVIDE (2) CIRCUITS RUN TO A WP J-BOX MOUNTED TO THE BACK SIDE OF THE PARAPET WALL.
- INSTALL WALK UP WINDOW SURROUND - PROVIDED AND INSTALLED BY SIGN VENDOR UNDER A SEPARATE PERMIT - MATCH ADJACENT FINISHES.

KEY NOTES

C

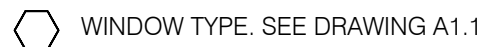
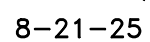
CONTRACT DATE: 07.25.2025
BUILDING TYPE: MED 40
PLAN VERSION: -
BRAND DESIGNER: -
SITE NUMBER: -
STORE NUMBER: 042423

TACO BELL
5420 ASHEVILLE HWY
HENDERSONVILLE, NC 28791

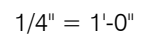


ENDEAVOR 2.0
EXTERIOR
ELEVATIONS

A4.0




A



* NOTE: FIELD VERIFY ALL LENGTH PRIOR TO FABRICATION

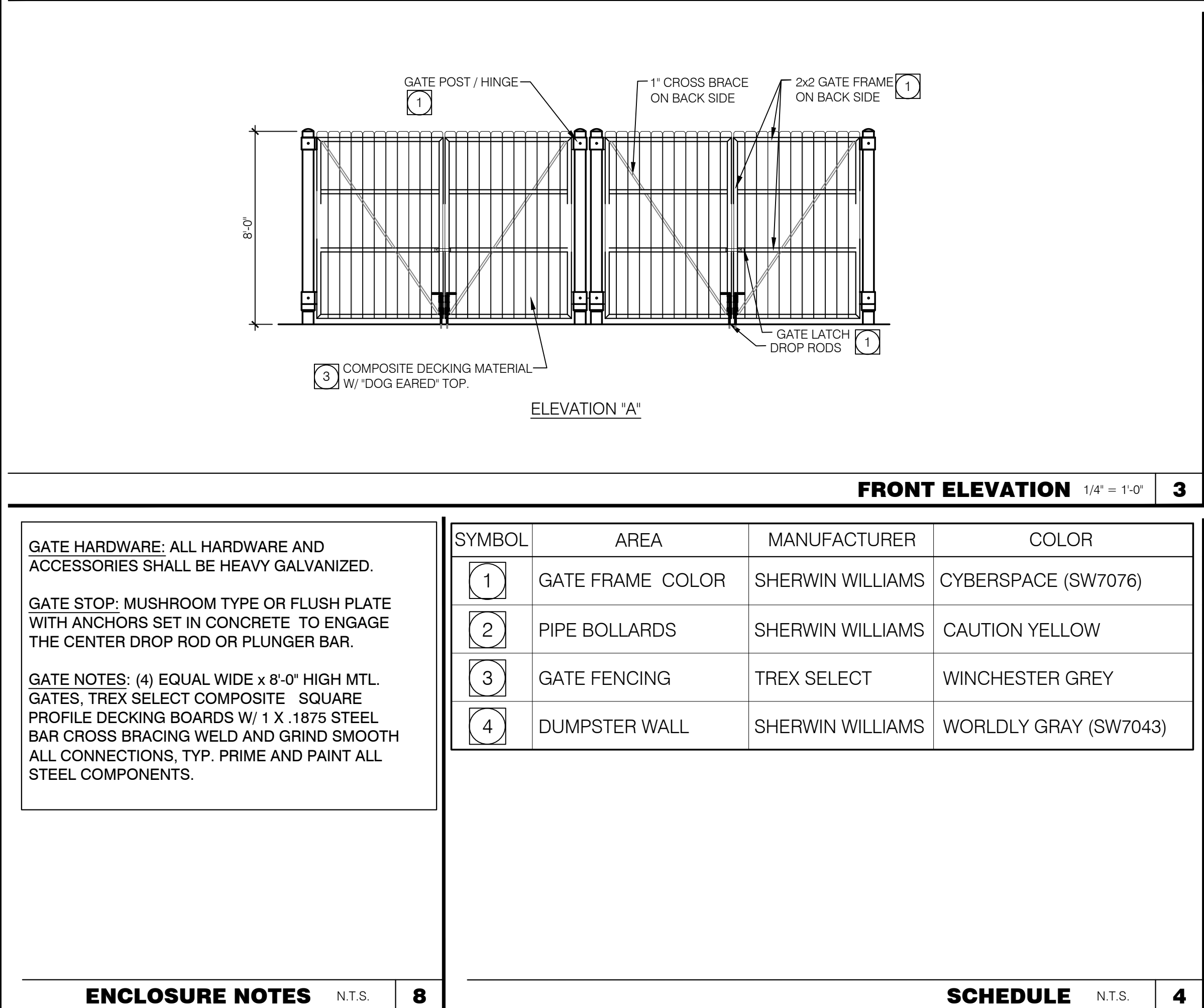
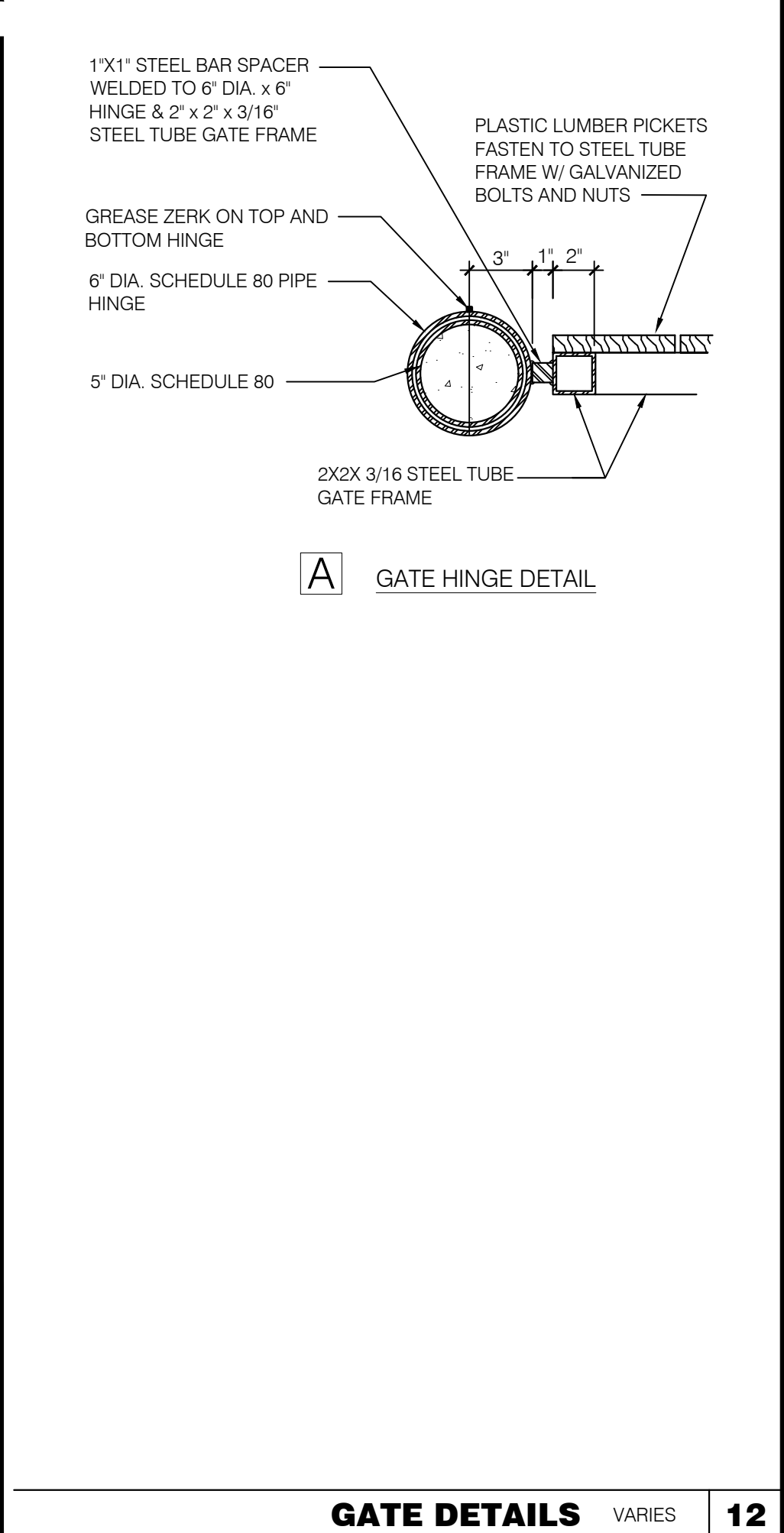
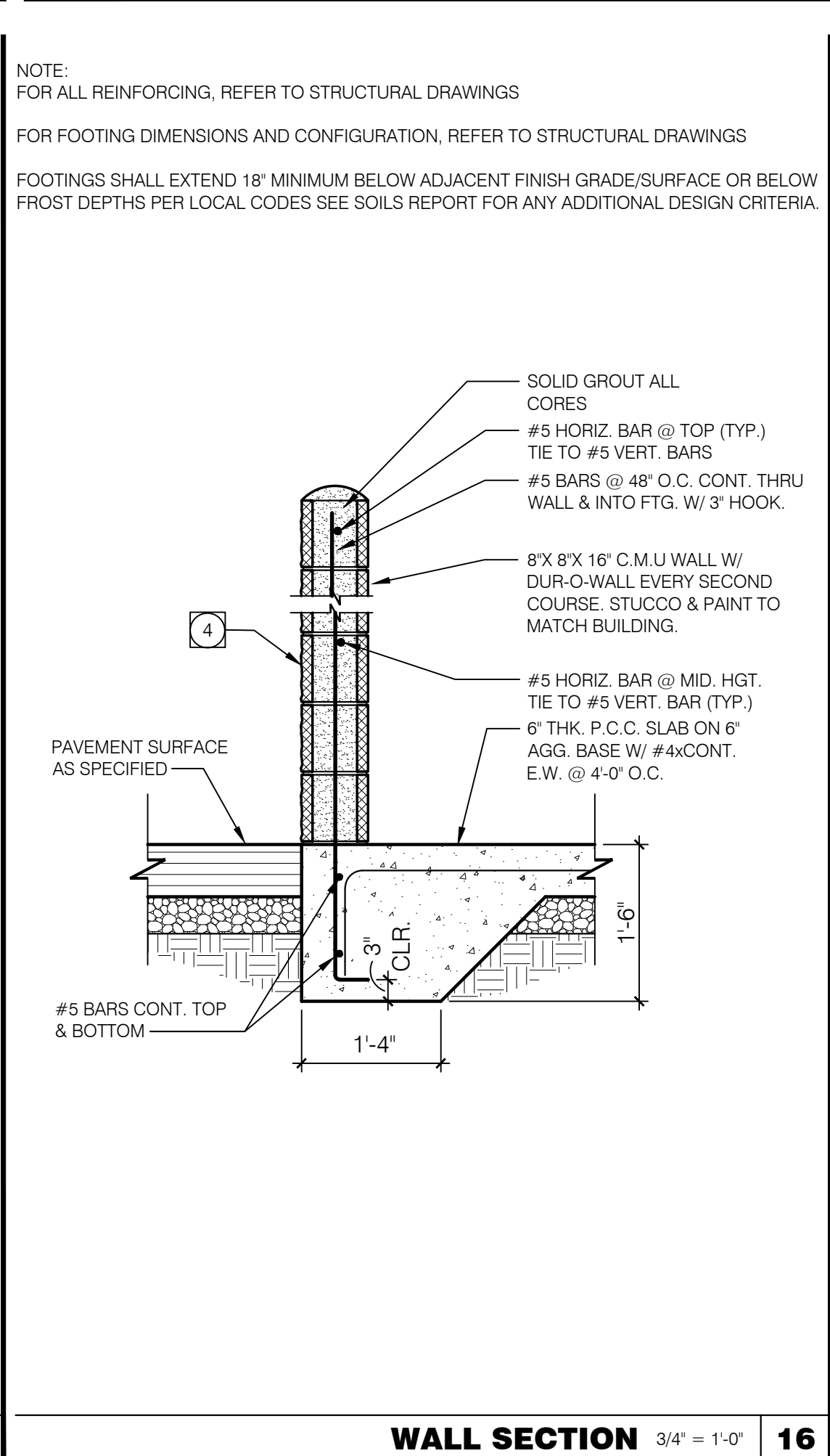
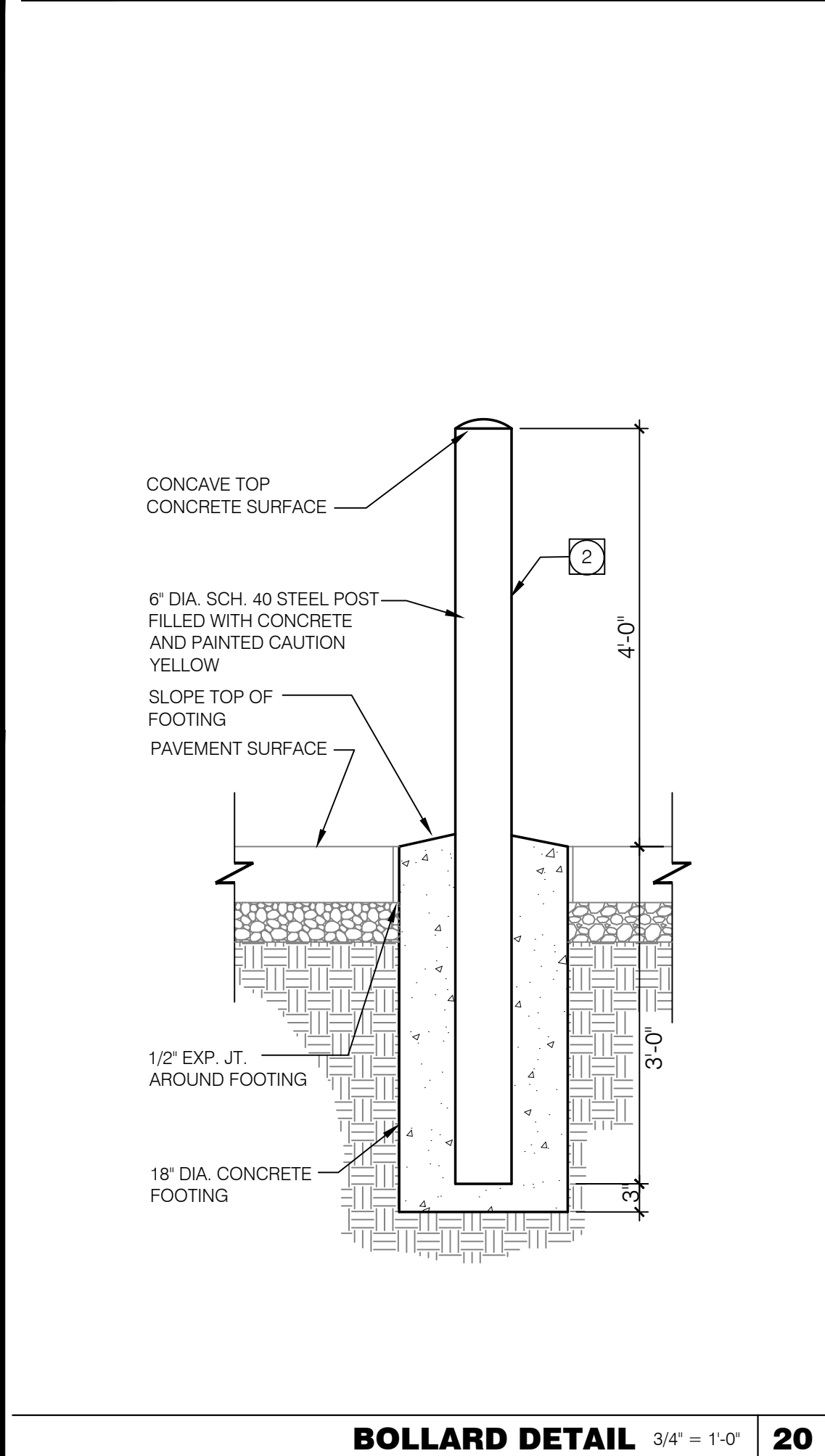
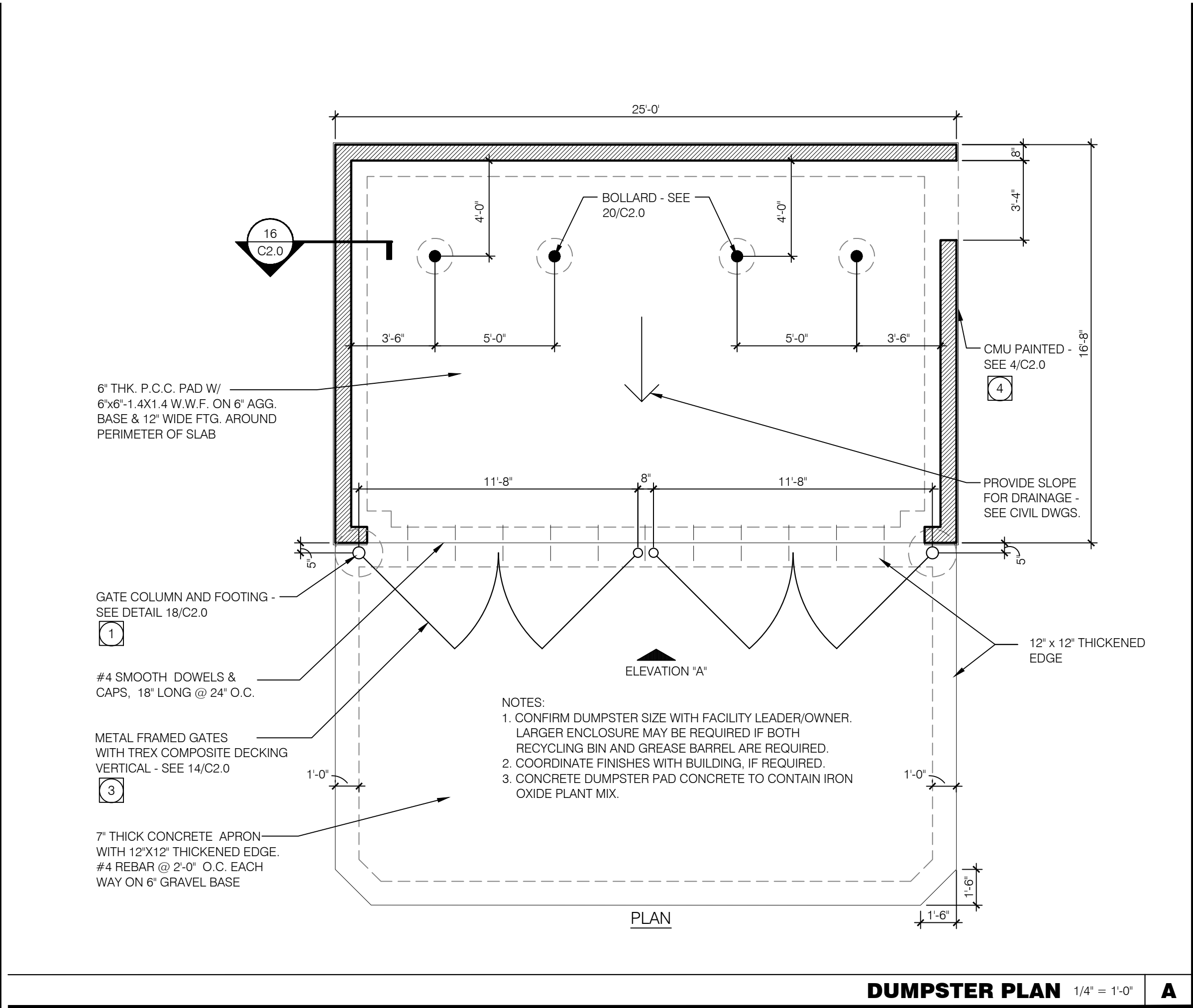
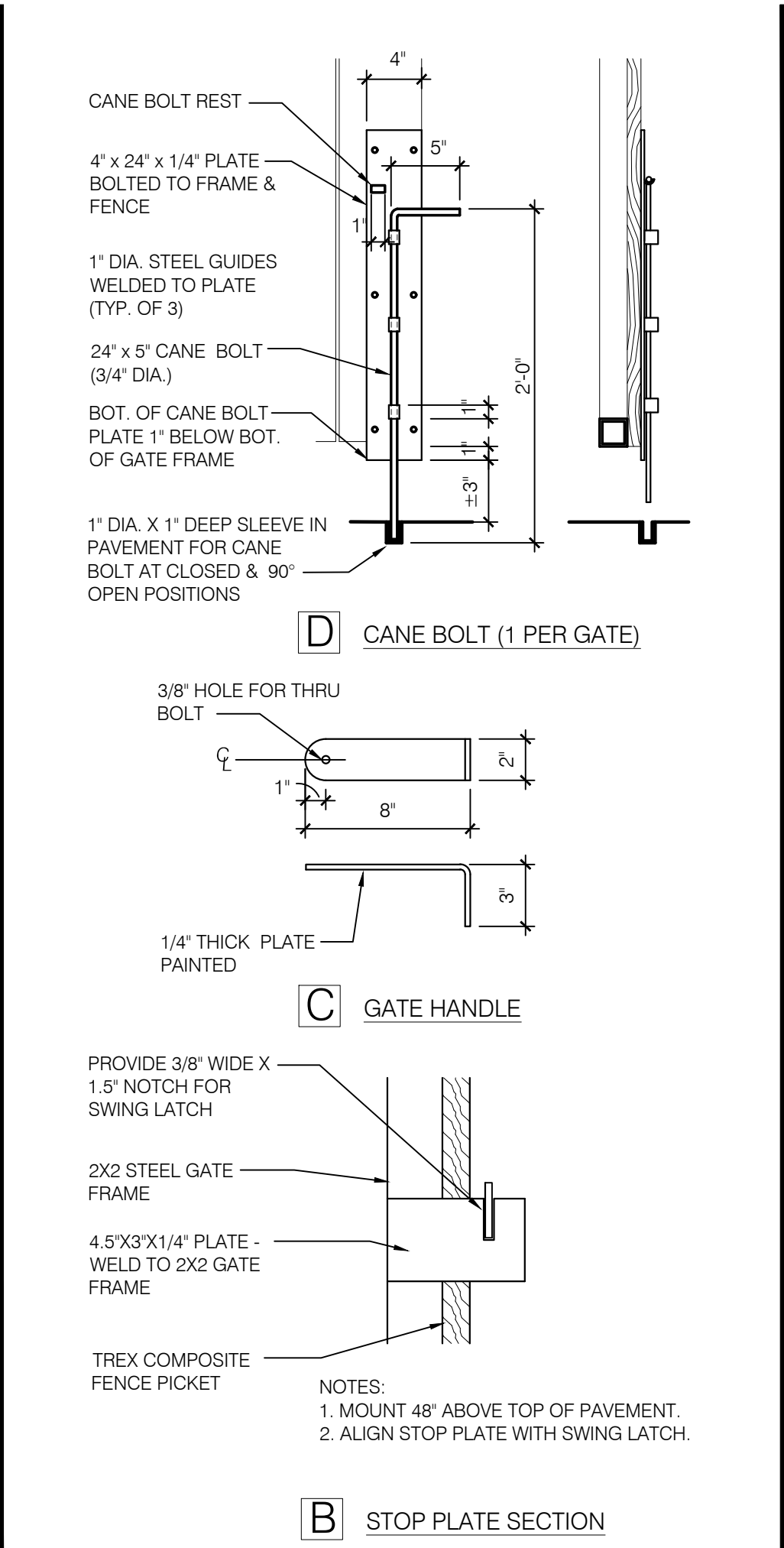
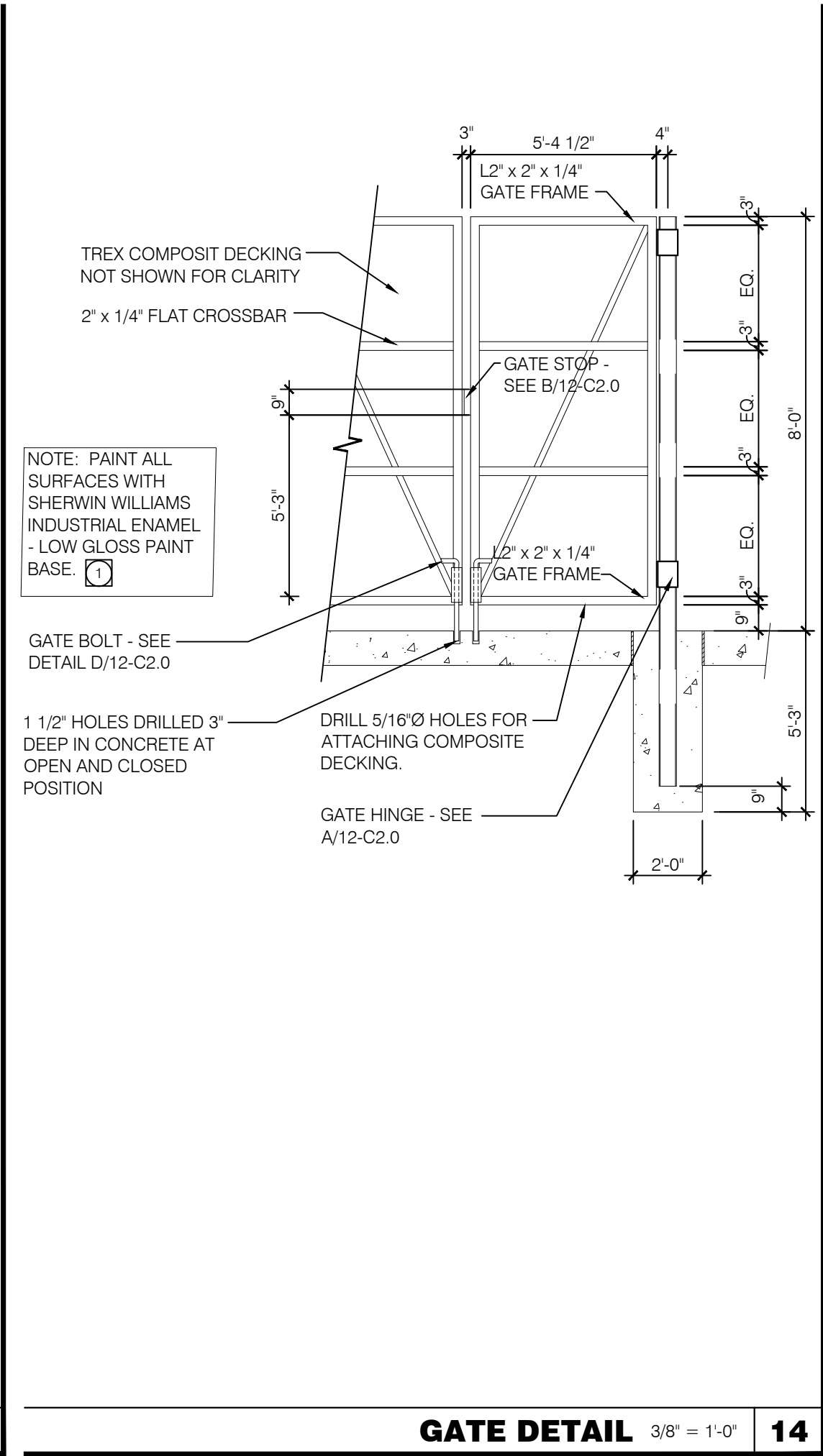
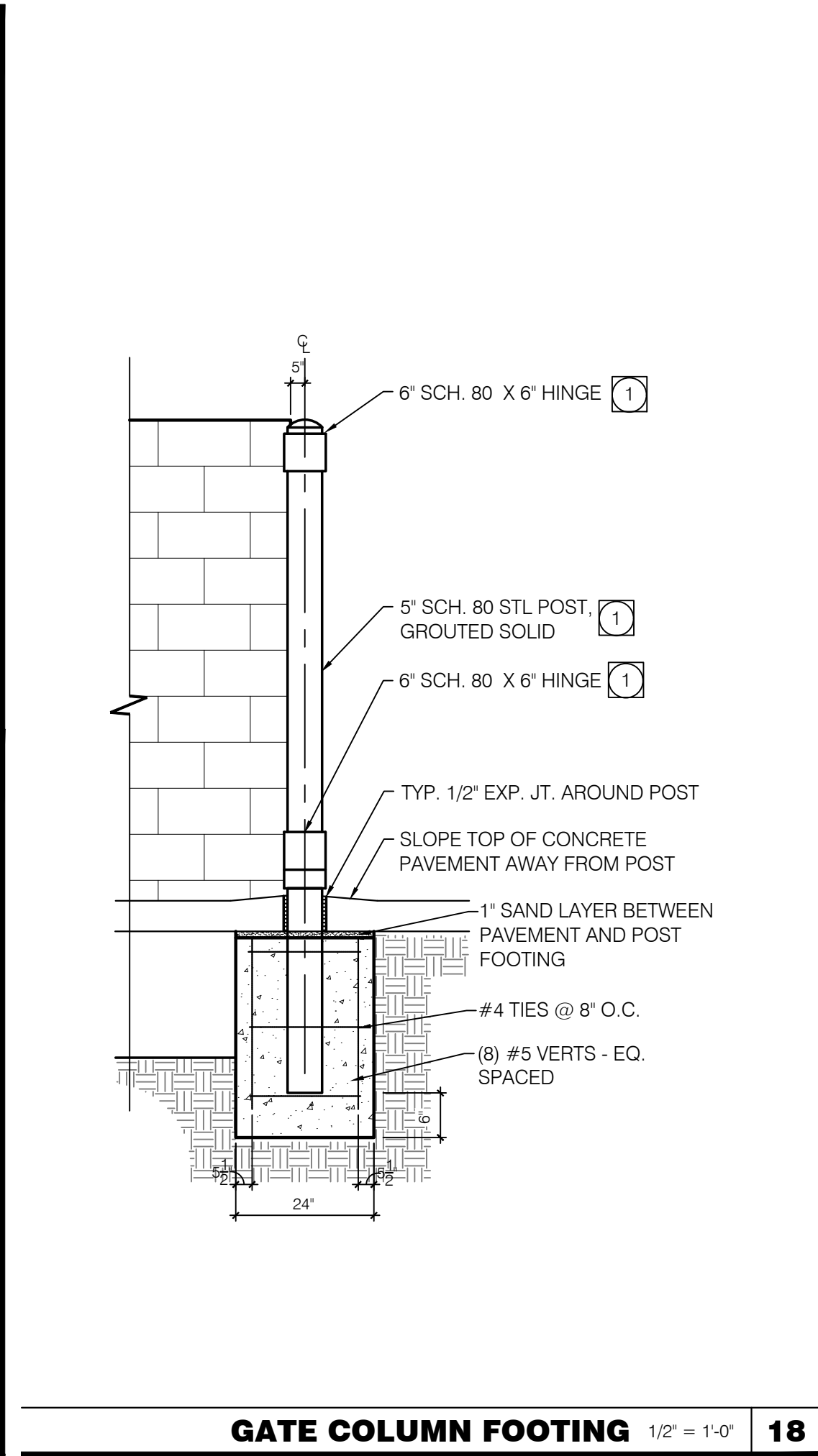
B

- 



A4.1

PLOT DATE: 05.20.2025



PROJECT# 25051 LVP

NATIONAL RESTAURANT DESIGNERS
A DIVISION OF LMHT ASSOCIATES
175 REGENCY WOODS PLACE, SUITE 220
CARY, NC 27513
phone 919.544.0007 fax 919.544.9399

8-21-25

TACO BELL
5420 ASHEVILLE HWY
HENDERSONVILLE, NC 28791

ENDEAVOR 2.0
DUMPSTER PLAN/DETAIL
C2.0
PLOT DATE: 05.20.2025