

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: February 3, 2026

SUBJECT: Major Site Plan Review Taco Bell

PRESENTER: Matt Champion, Zoning Administrator

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Retail Sales & Service SR 7.14 & Drive-Thru Window SR 2.2

Suggested Motion: I move that the TRC approve/deny the major site plan for Taco Bell



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** Luihn VantEdge Partners, LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PINs:** 9651-66-4259
- 1.4. **Size:** 1.98 acres +/-
- 1.5. **Location:** The subject area is located at 5422 Asheville Hwy (US25).
- 1.6. **Supplemental Requirements:**

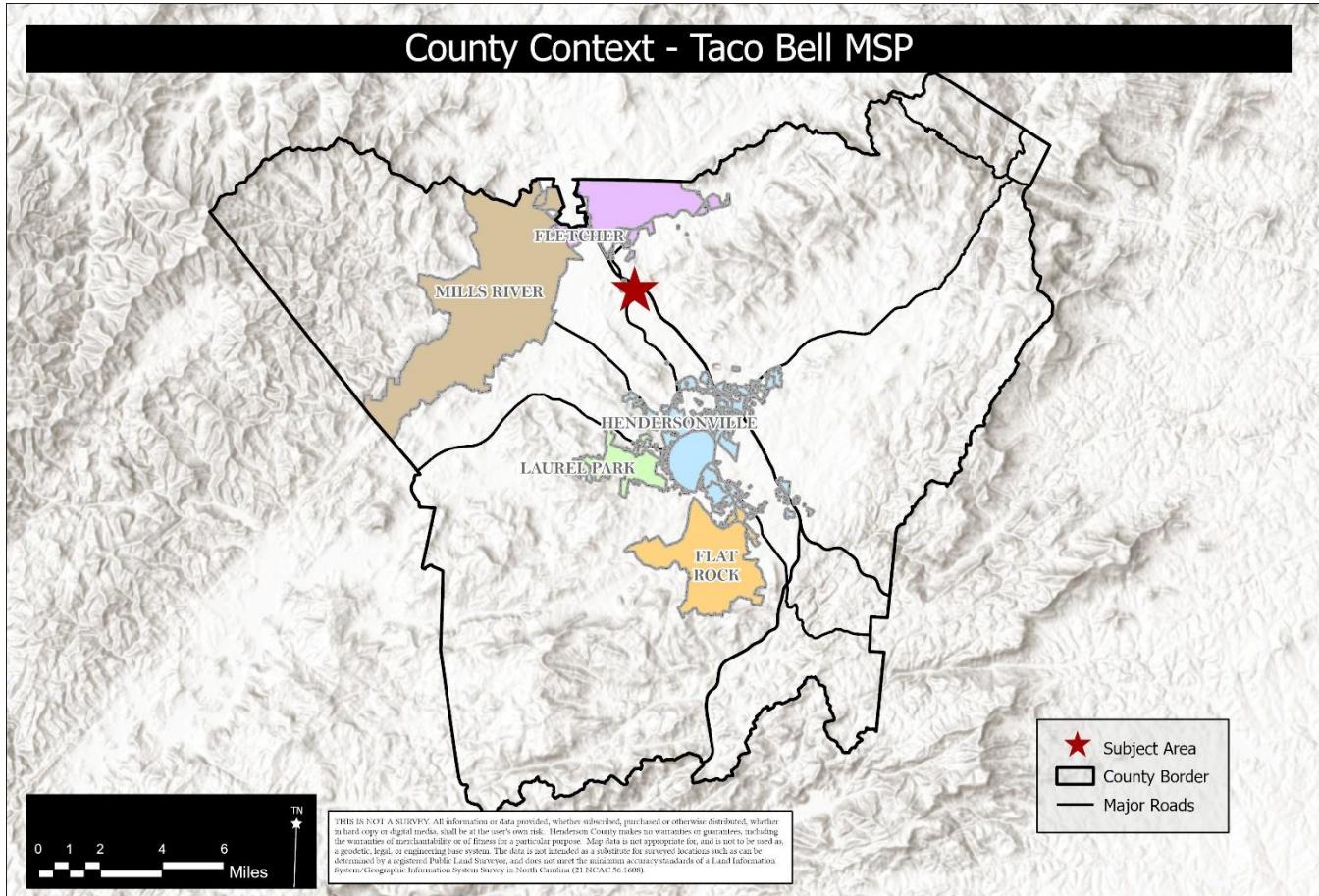
SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (of *Gross Floor Area*)

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

SR 2.2. Drive-Thru Window

- (1) Maximum Number Permitted Per Lot. Two (2) per business, three (3) per restaurant and/or five (5) per financial institution.
- (2) Structure Orientation. The drive-thru window, any communications equipment and menu *signs* shall be located so as not to be seen from any adjacent *residential zoning district* property.
- (3) Stacking Lanes. Stacking lanes shall:
 - a. Be a minimum of 100 feet in length (where window access is provided directly from a *road of low volume*);
 - b. Be distinctly marked (striping, pavement markings, parking islands, etc.);
 - c. Be separate from a passage lane (located to the outer edge of the stacking lane); and
 - d. Not placed within 75 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*).
- (4) Passage Lanes. Passage lanes shall be provided to the outer edge of the stacking lane to ensure the adequate flow of traffic on the site.
- (5) Landscaping Standards. Drive-thru windows, stacking lanes and circulation areas shall be treated as components of on-site parking for the purposes of landscaping requirements.

Map A: County Context



Property Owner: Naples 121, LLC / Applicant: Luihn VantEdge Partners, LLC

Assessed Acreage: 1.98 Acres PIN: 9651-66-4259

Current Zoning: Regional Commercial (RC)



2. History & Characteristics:

2.1. **Current Property Owners:** Rick Moore purchased the property on October 6, 2021, and transferred the property into an LLC on February 11, 2025.

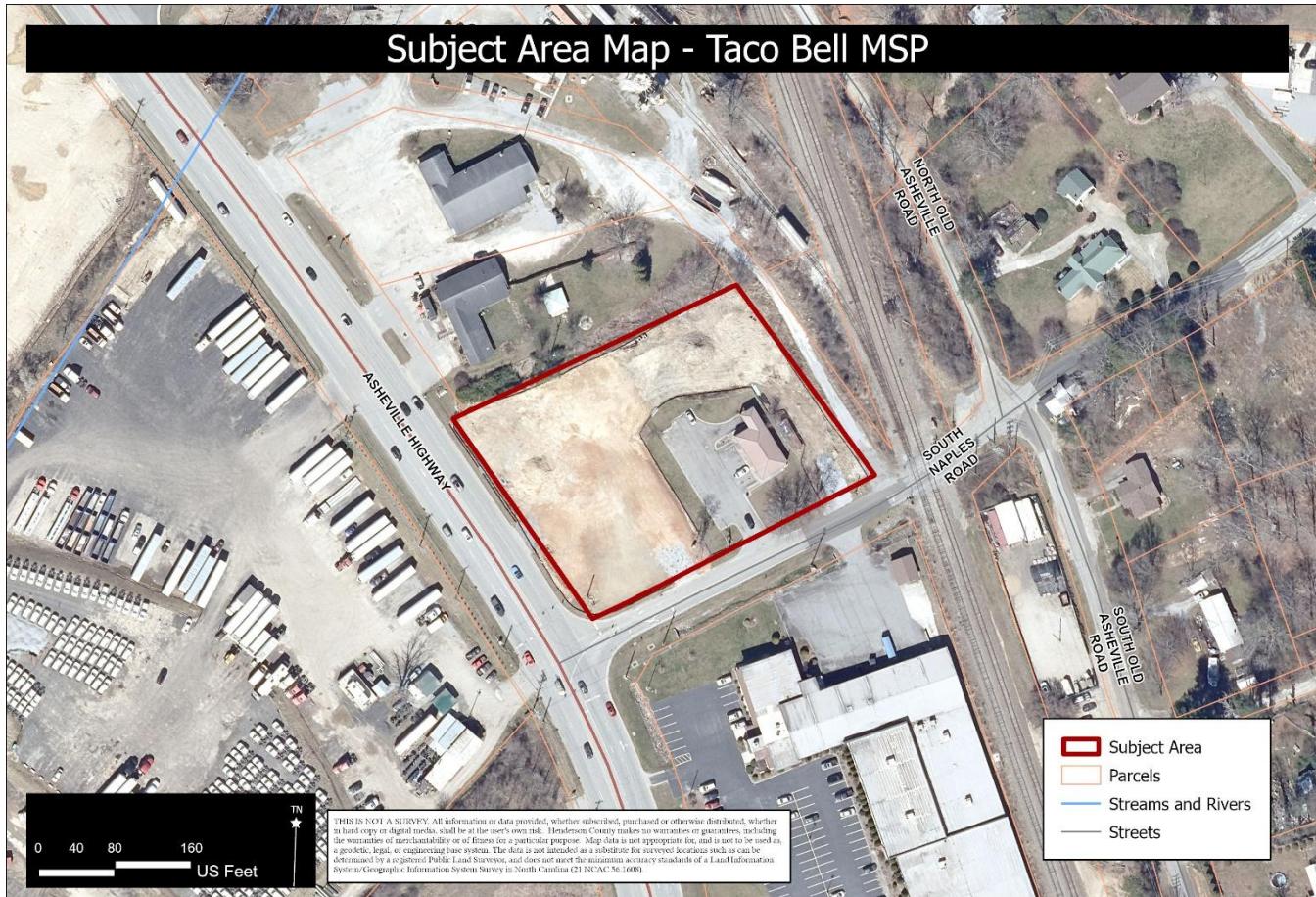
2.2. **Former Property Owners:** Scott McKinley Jarvis Revocable Trust was listed as the former property owner.

2.3. Natural Resources:

2.3.1. **Streams:** The subject area does not contain any surface water sources. The subject area is within proximity to several large flood hazard areas on the other side of Asheville Hwy.

2.3.2. **Slopes:** The subject area only contains slopes between 0% to 16%.

Map B: Subject Area Map



Property Owner: Naples 121, LLC / Applicant: Luihn VantEdge Partners, LLC

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3. Current Conditions

2.1 Current Use: The subject area currently contains an approximately 1,488SQFT United States Post Office and a 2024 TRC approved 2,230SQFT Dunkin' restaurant with a drive-thru. The USPS structure is still currently in use and operates under a lease agreement. The Dunkin' restaurant opened in 2025.

2.2 Adjacent Area Uses: The surrounding properties consist of commercial and industrial uses. Some residential uses are found east of the subject area along S. and N. Old Asheville Rd. A self-storage facility is located southeast of the subject area.

4. Current Zoning

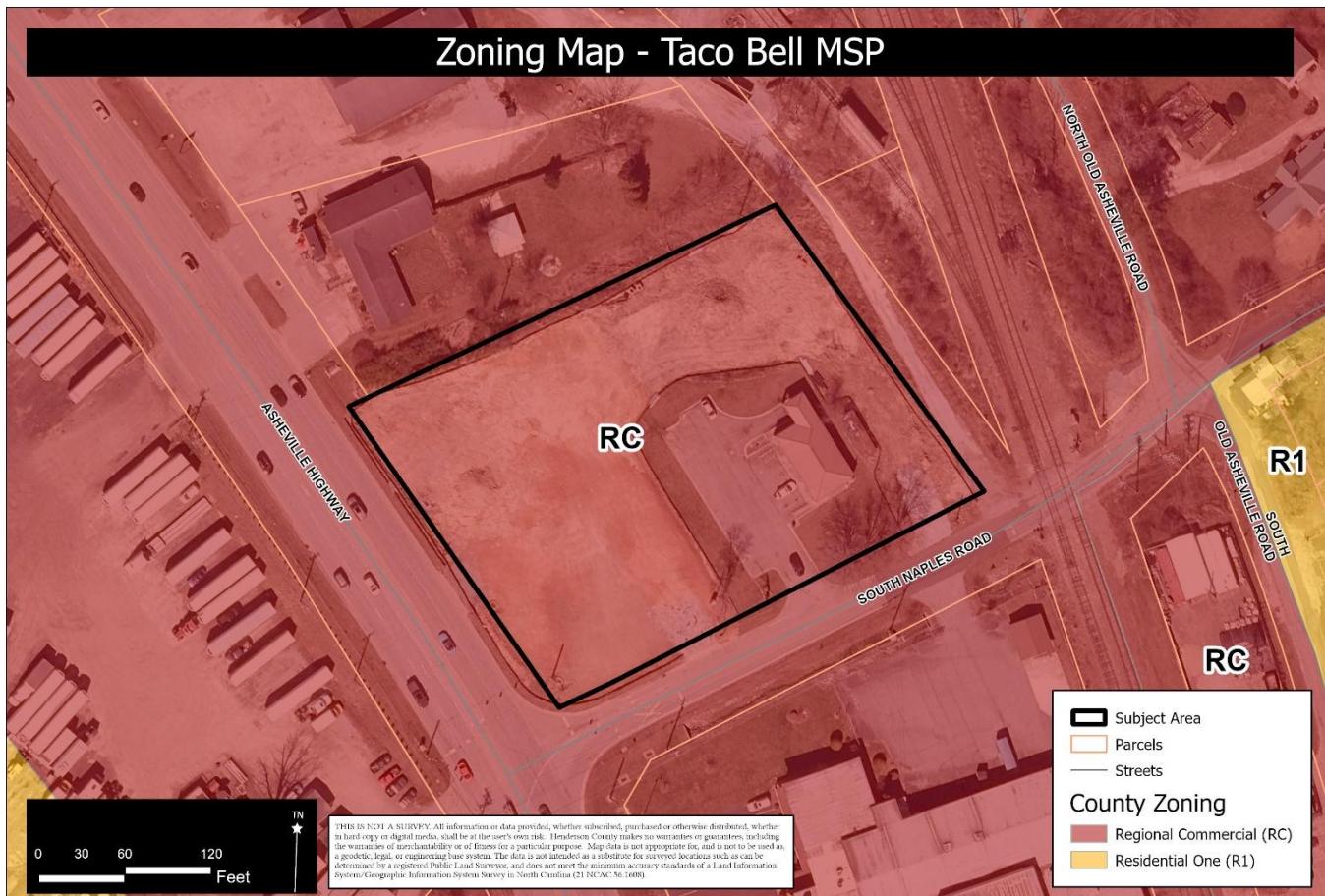
4.1. **Subject Area Zoning:** The subject area is currently zoned Regional Commercial (RC) by Henderson County.

4.2. **Adjacent Area Zoning:** The subject area is surrounded by properties that are also zoned Regional Commercial (RC).

4.2.1. Regional Commercial (RC): "The purpose of the Regional Commercial (RC) zoning district is to foster orderly growth where the principal use of land is commercial. The intent of this district is to allow for commercial development consistent with the

recommendations of the Comprehensive Plan. In accordance with the Comprehensive Plan, the district will allow for and provide commercial development that: (1) includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on the local, community, and regional level; (2) is directed largely to Community Service Centers as defined in the Comprehensive Plan; (3) is compatible with adjacent development and the surrounding community; and (4) will minimize congestion and sprawl. This general use district is meant to be utilized in areas designated as Urban (USA) in the Comprehensive Plan.” Residential density in Regional Commercial is sixteen (16) units per acre with a maximum impervious surface allowance of 80% (LDC §42-28).

Map C: Current Zoning



Property Owner: Naples 121, LLC / Applicant: Luihn VantEdge Partners, LLC

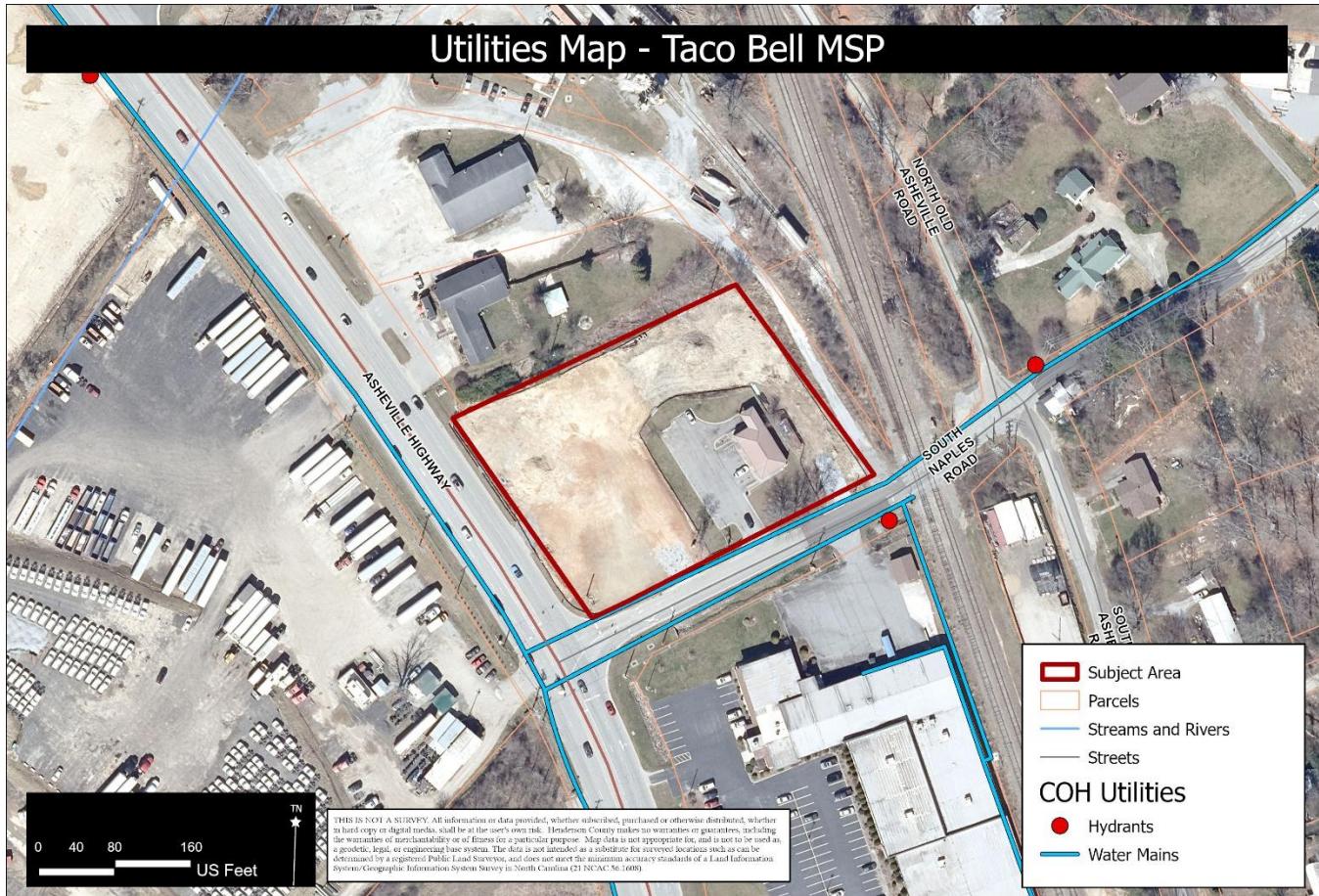
Assessed Acreage: 1.98 Acres PIN: 9651-66-4259

Current Zoning: Regional Commercial (RC)



5. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

Map D: Utilities Map



Property Owner: Naples 121, LLC / Applicant: Luihn VantEdge Partners, LLC

Assessed Acreage: 1.98 Acres PIN: 9651-66-4259

Current Zoning: Regional Commercial (RC)



6. **Water and Sewer** The applicant is proposing connection to the City of Hendersonville public water and MSD public sewer to serve this property.

Public Water: Yes

Public Sewer: Yes

7. **Proposal** The applicant is leasing a 20,006SQFT area to construct a 2,233SQFT restaurant with a drive-thru. The new restaurant space has a total of 7 parking spaces including 1 ADA van accessible parking space. The proposed structure includes 1 drive-thru window with enough stacking to accommodate 10 personal vehicles. The major site plan shows 3 total driveway cuts to serve the proposed structure. 2 driveway cuts are proposed off S. Naples Rd with one dedicated as one-way. The Asheville Hwy driveway cut is shown as a right-in and right-out only. The major site plan shows a total area of disturbance 0.28 acres and post development impervious surfaces at 0.98 acres. Also, the major site shows a proposed dumpster location.

8. **Landscaping & Buffering Requirements** The subject area is not required to buffer the perimeter of the property since the surrounding properties all fall within the Regional Commercial (RC) zoning district. The subject area will have to provide a landscaping plan for the following elements:

- 8.1. **Parking area landscaping** is required for new parking areas with 10 or more dedicated parking spaces. The parking area standards requires 1 small or large deciduous tree for every 5 parking spaces. Additionally, when no buffer is required along the property lines and parking is proposed within 20' of a property line, a planting strip is required. The planting strip is a minimum of 10' in width and shall contain 2 small or large deciduous or evergreen trees per 100 linear feet.
- 8.2. **Dumpster screening** is required for a proposed solid waste collection facility. The dumpster will require a Screen Class One (1) Two (2) or Three (3) that are outlined in Section 42-181 Screen Classifications.

9. Oblique Aerial Photos

View from East



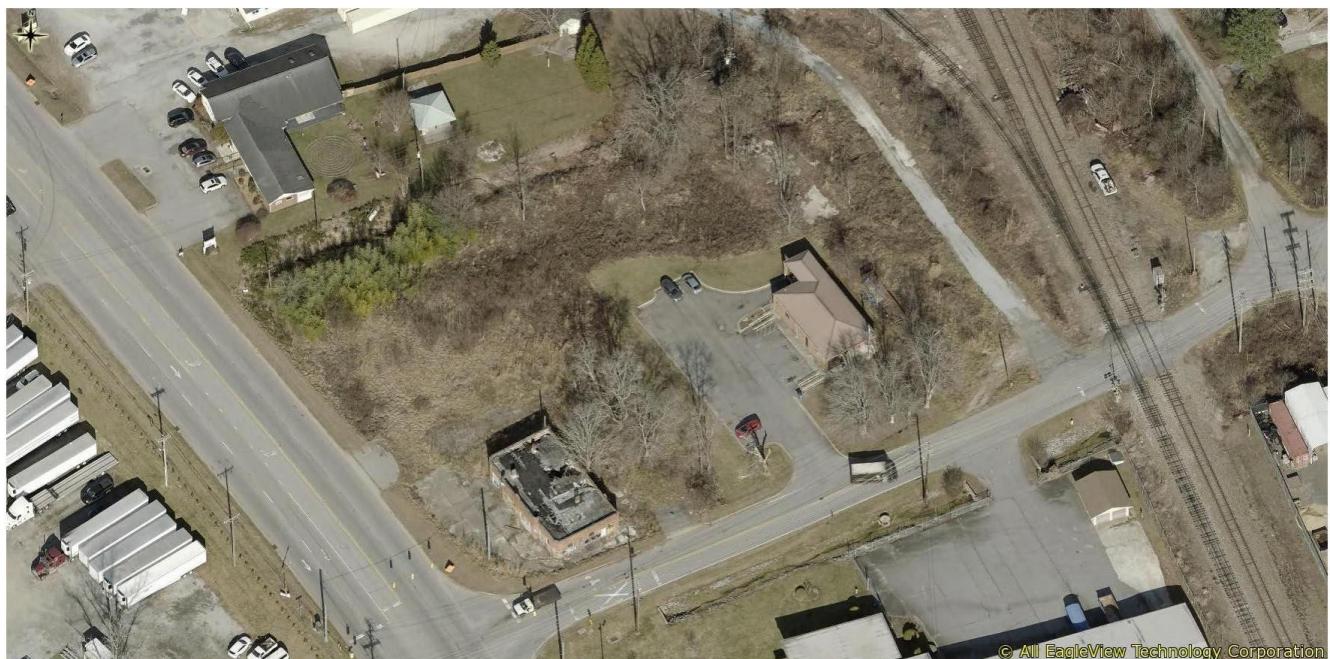
01/05/2024

View from North



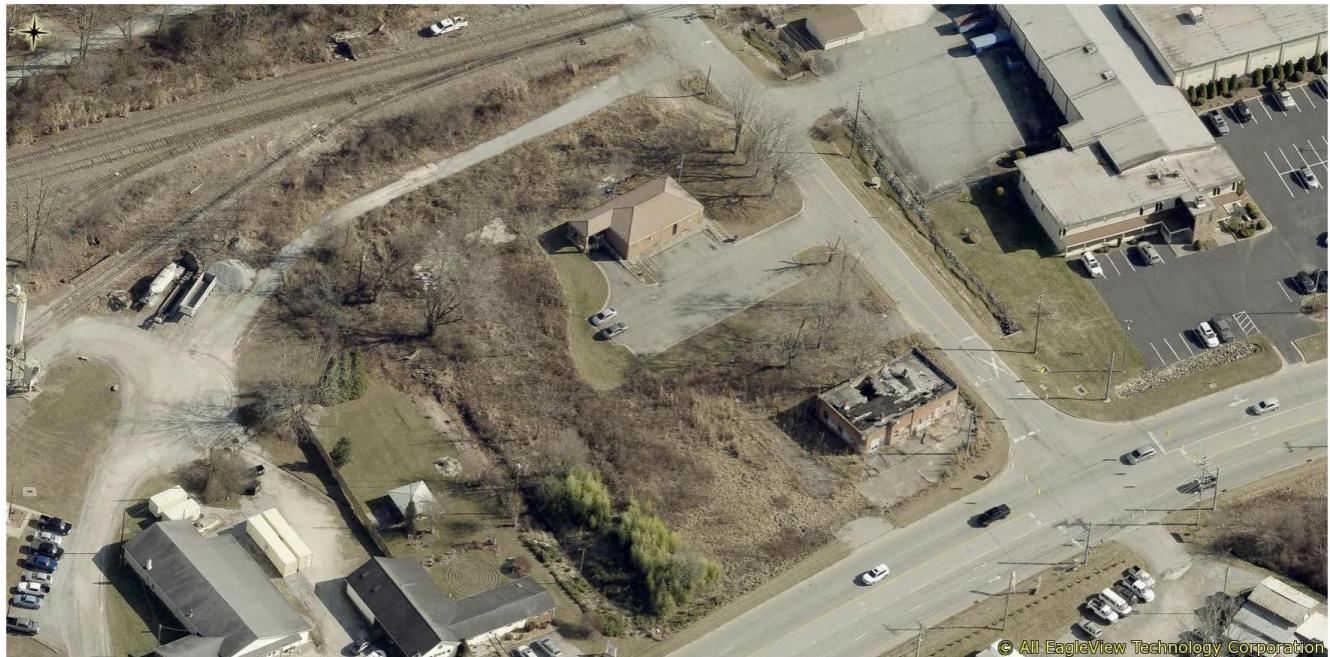
© All EagleView Technology Corporation

View from South



© All EagleView Technology Corporation

View from West



01/05/2024

HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION

CONTACT INFORMATION

Property Owner:

Name: Naples 121, LLC Phone: 828-891-8900
Complete Address: 103 McDowell Road, Mills River, NC 28759

Applicant:

Name: Luihn Vantage Partners, LLC Phone: 919-850-0558
Complete Address: 2950 Gateway Centre BLVD. Morrisville, NC 27560

Agent:

Name: Nicholas Gollifer, PE Phone: 765-729-2409
Complete Address: 8312 Creedmoor Road Raleigh, NC 27613
Agent Form (Circle One): Yes No

Plan Preparer:

Name: Sambatek NC P.C. Phone: 765-729-2409
Complete Address: 8312 Creedmoor Road Raleigh, NC 27613

GENERAL INFORMATION

Date of Application: 01/15/2026

Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: 9651664259

Tract Size (Acres): 1.98 AC

Zoning District: Regional Commercial District (RC)

Fire District:

Supplemental Requirement#

Watershed: Mud Creek (6-55)

Permitted by Right

Floodplain: Zone X

Special Use Permit

Location / Property to be developed: Lease Parcel inside the existing Mountain Home Dunkin Donuts development.

Parcel is addressed as 5420 Asheville Hwy.

County Use Only

Fee: \$ Paid: Method: Received by:

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
LUIHN VANTAGE PARTNERS, LLC
2950 GATEWAY CENTRE BLVD
MORRISVILLE, NC 27560

CIVIL ENGINEER
SAMBATEK NC P.C.
8312 CREDMOOR ROAD
RALEIGH, NC 27613
EMAIL: ngolifer@sambatek.com
CONTACT: NICK GOLIFER
PHONE: 919.848.6121

ARCHITECT
NRD
175 REGENCY WOODS PLACE, SUITE 220
CARY, NC 27518
PHONE: 919.544.0087

SURVEYOR
SAMBATEK NC P.C.
8312 CREDMOOR ROAD
RALEIGH, NC 27613
EMAIL: astock@sambatek.com
CONTACT: AARON STOCK
PHONE: 919.848.6121

CONSTRUCTION DRAWINGS**for****TACO BELL****(027) (#042426)****5420 ASHEVILLE HWY.****HENDERSONVILLE, NORTH CAROLINA****UTILITY & GOVERNING AGENCIES CONTACT LIST:**

PLANNING DEPARTMENT
HENDERSON COUNTY PLANNING DEPARTMENT
100 NORTH KING STREET
HENDERSONVILLE, NORTH CAROLINA 28792
PHONE: 828.697.4819

BUILDING INSPECTOR
HENDERSON COUNTY INSPECTIONS
101 E ALLEN STREET
HENDERSON, NC 28792
PHONE: 828.697.4830

PUBLIC SAFETY
HENDERSON COUNTY SHERIFFS OFFICE
100 NORTH GROVE STREET
HENDERSONVILLE, NC 28792
CONTACT: SHERIFFS OFFICE ADMINISTRATION
PHONE: 828.697.4596

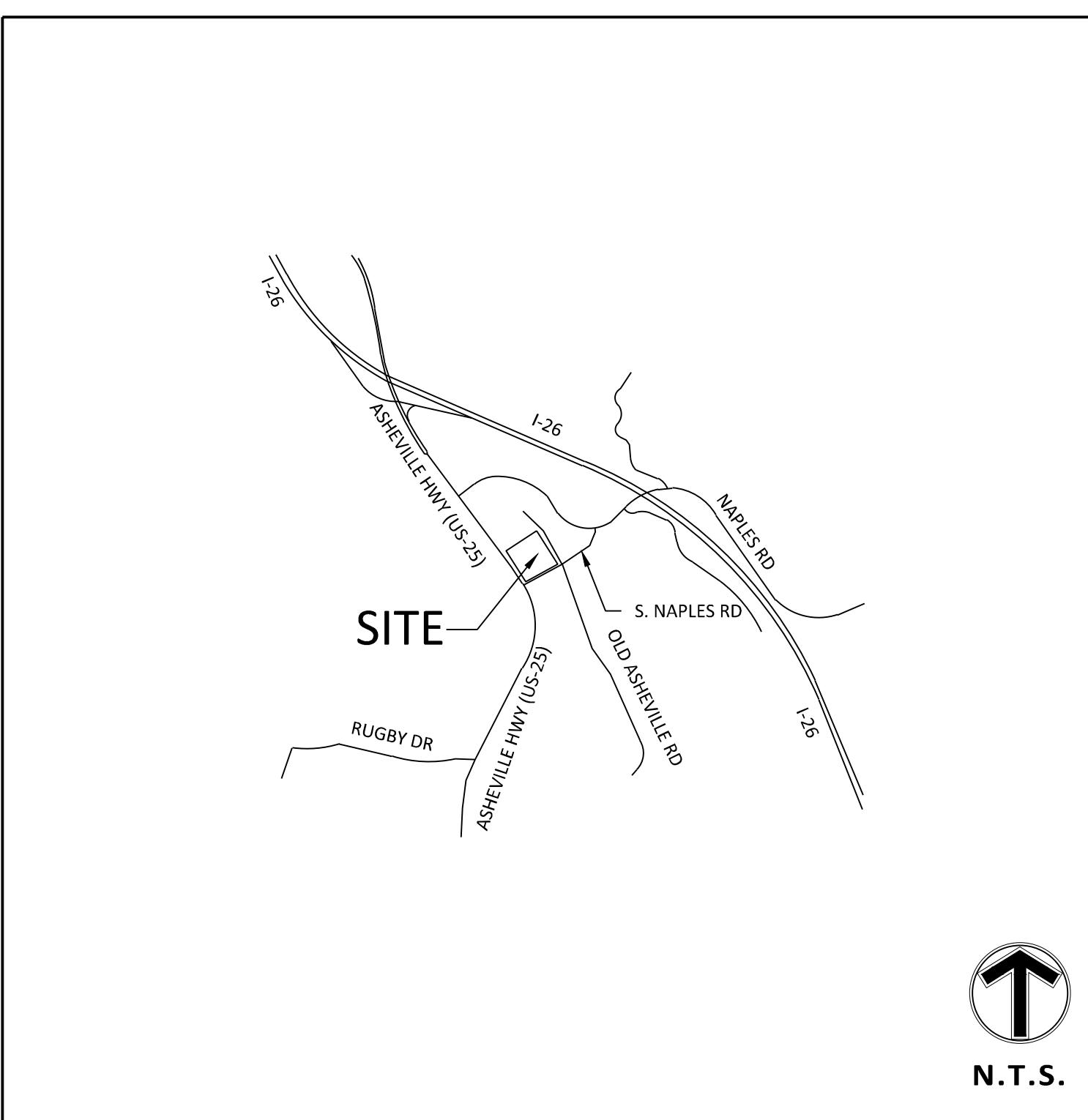
DEPT OF TRANSPORTATION
NCDOT HENDERSON COUNTY
PHONE: 828.694.7971
NCDOT REGIONAL CONTACT
LONNIE HAYWARD (910.732.4222); DISTRICT ENGINEER
4142 HAYWARD ROAD
HORSE SHOE, NC 28742
PHONE: 828.891.7911
FAX: 828.891.5026

GAS COMPANY
PIEDMONT NATURAL GAS
CONTACT: CUSTOMER SERVICE
PHONE: 800.752.7504

TELEPHONE COMPANY
AT&T
CONTACT: CUSTOMER SERVICE
PHONE: 800.321.2000

ELECTRIC COMPANY
DURELLED CITY PROGRESS BUSINESS
CONTACT: CUSTOMER SERVICE
PHONE: 800.653.5307

FIRE
FIRE MARSHAL OFFICE
2529 ASHEVILLE HIGHWAY
HENDERSONVILLE, NC 28791
CONTACT: KEVIN WALDRUP
PHONE: 828.679.4728

**VICINITY MAP**

NO SCALE

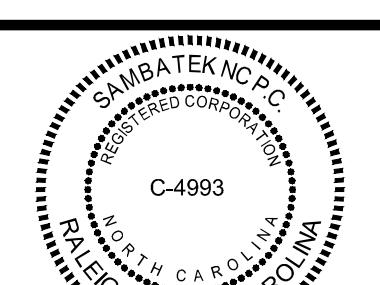


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nc811.org or 1-800-632-4949

DEVELOPMENT SUMMARY

PIN NUMBER:	9651664259	ZONING	EXISTING ZONING	PROPOSED ZONING	REGIONAL COMM DISTRICT, (RC)
AREA	20,006 SF OR 0.46 AC	1.98 AC			REGIONAL COMM DISTRICT, (RC)
SITE AREA	12,400 SF OR 0.28 AC	0.47 AC	PER DEVELOPER PLANS	0.98 AC	30 FT
DISTURBED AREA			PER DEVELOPER PLANS		10 FT
EXISTING IMPERVIOUS AREA					10 FT
PROPOSED IMPERVIOUS AREA					
BUILDING DATA:					
BUILDING AREA	2,233 SF	50'			
MAXIMUM BUILDING HEIGHT	25'				
PROPOSED BUILDING HEIGHT					
PARKING SUMMARY					
1 PER 500 SF OF BUILDING GROSS AREA					
STANDARD REQUIRED					
ADA REQUIRED					
STANDARD PROVIDED					
	5 STALLS	1 STALLS			
	6 REGULAR SPACES	1 HANDICAP SPACES			
	7 TOTAL SPACES				

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



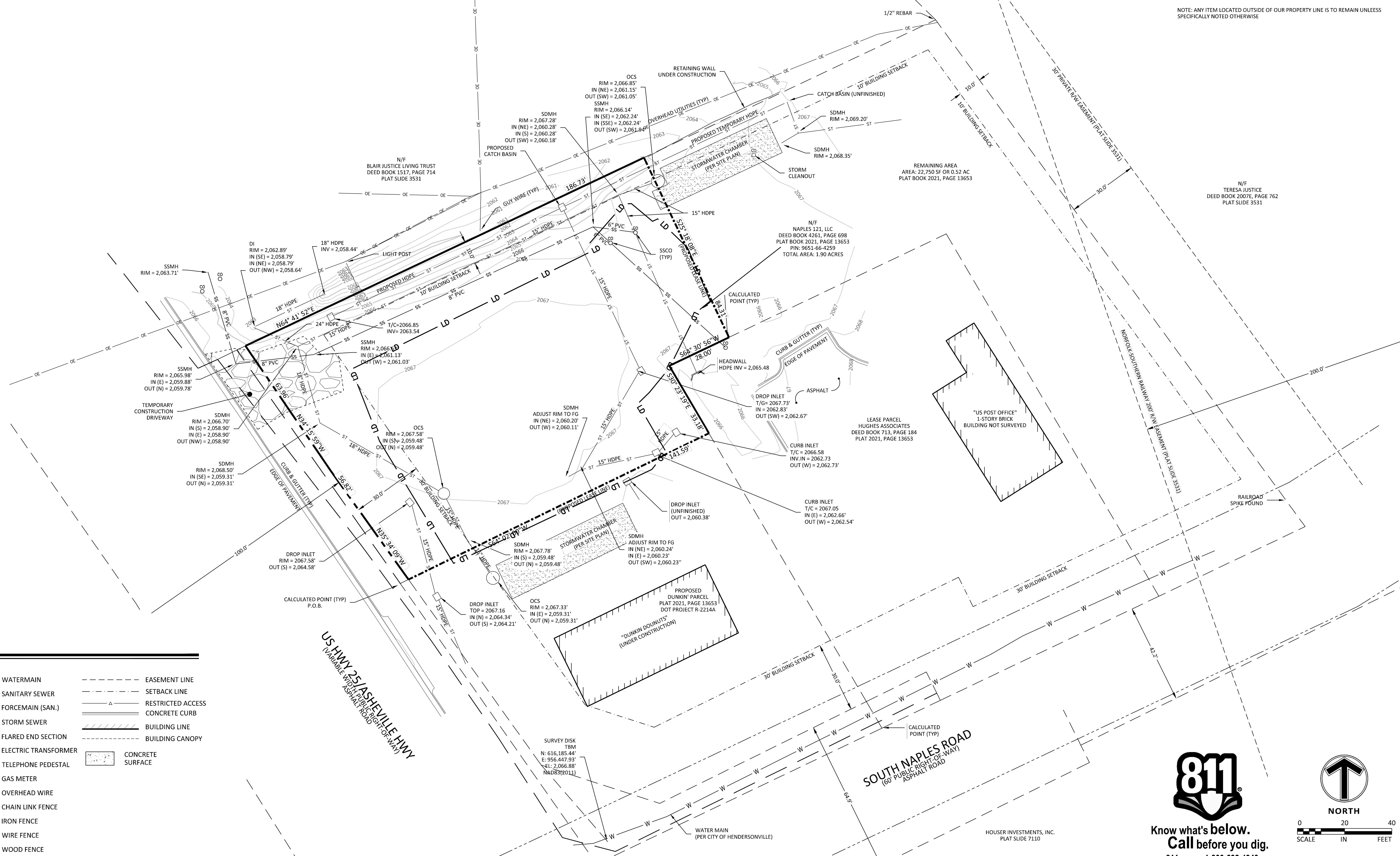
PRELIMINARY 10/31/2025	DRAWN BY STH
DESIGN REVIEW	DESIGNED BY NDG
PERMIT SUBMITTAL	CHECKED BY NDG
CONSTRUCTION DOCUMENTS	PROJECT NO. LUH-2502

NOTE:
SURVEY WAS TAKEN DURING ACTIVE CONSTRUCTION OF MASTER DEVELOPMENT. ALL INVERTS WERE FIELD VERIFIED. THE SITE WAS MASS GRADED AT THE TIME OF SURVEY. ANY ADDITIONAL INFORMATION REQUIRED TO DEVELOP THE SITE WAS OBTAINED FROM THE MASTER DEVELOPMENT PLANS MSD PROJECT # 2024086

DEMOLITION NOTES

REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
ITEM TO REMAIN.

NOTE: ANY ITEM LOCATED OUTSIDE OF OUR PROPERTY LINE IS TO REMAIN UNLESS
SPECIFICALLY NOTED OTHERWISE



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nc811.org or 1-800-632-4949**



A scale bar for a map, showing distances of 0, 20, and 40 feet. The bar is marked with a scale of 1/8 inch equals 1 foot, and the 40-foot mark is indicated by a double tick mark.

0 20 40
SCALE IN FEET

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SHEET

628

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REV.

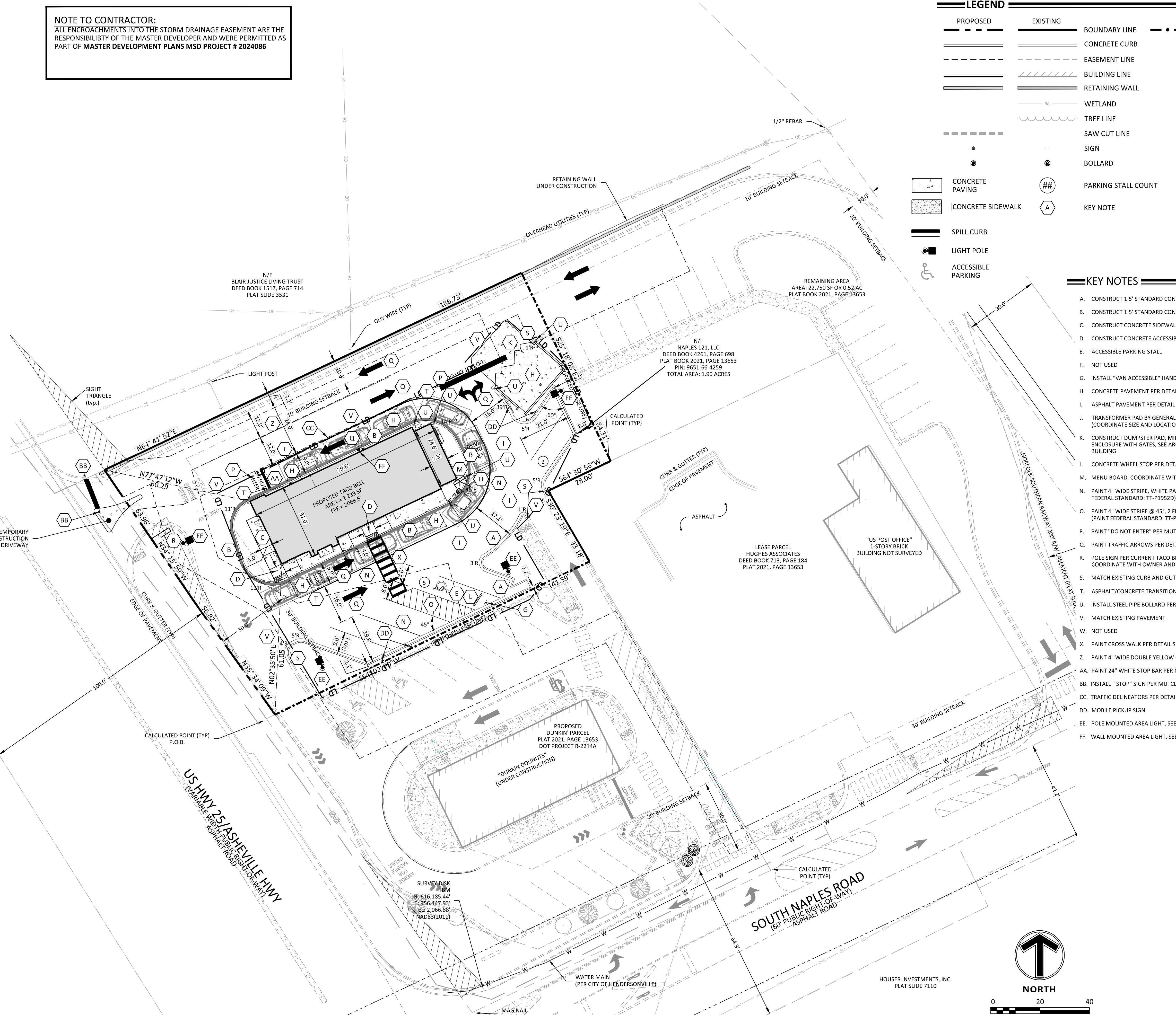
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DEVELOPMENT NOTES

1. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
3. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
4. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
5. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
6. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
7. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
9. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
10. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
11. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
12. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
13. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE.
14. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
15. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
16. ALL RADII DIMENSIONS ARE TO FACE OF CURB.
17. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
18. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
19. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEEDED AND MULCHED WITHIN SEVEN (7) DAYS.
20. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT THE LOCAL LOCATE SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO ANY DIGGING FOR ASSISTANCE IN LOCATING EXISTING UTILITIES.
21. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
22. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 95 STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
23. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER..
24. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
25. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
26. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
27. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
28. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
29. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
30. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
31. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
32. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

NOTE TO CONTRACTOR

ALL ENCROACHMENTS INTO THE STORM DRAINAGE EASEMENT ARE THE RESPONSIBILITY OF THE MASTER DEVELOPER AND WERE PERMITTED AS PART OF **MASTER DEVELOPMENT PLANS MSD PROJECT # 2024086**

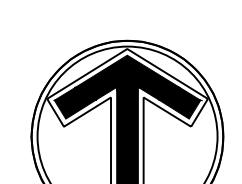


THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, BY CALLING 811 FOR THE LOCAL NOTIFICATION CENTER. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

811

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1

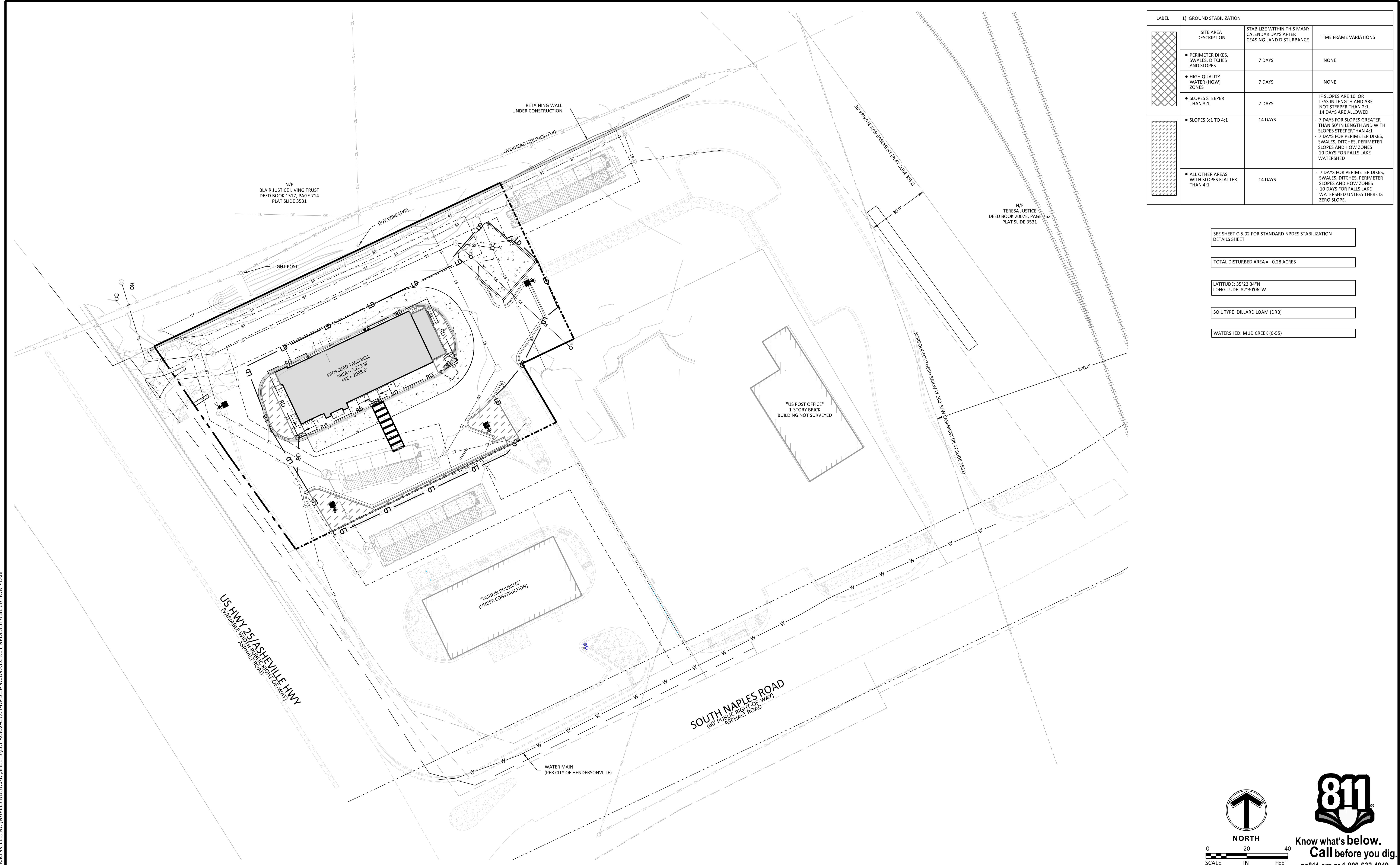
SITE PLAN

TACO BELL
(027) (#042426)
5420 ASHEVILLE HWY.
DERTON, NORTH CAROLINA

SHEET

C-3.01

REV.



LABEL	1) GROUND STABILIZATION		
	SITE AREA DESCRIPTION	STABILIZE WITHIN THIS MANY CALENDAR DAYS AFTER CEASING LAND DISTURBANCE	TIME FRAME VARIATIONS
	<ul style="list-style-type: none"> • PERIMETER DIKES, SWALES, DITCHES AND SLOPES 	7 DAYS	NONE
	<ul style="list-style-type: none"> • HIGH QUALITY WATER (HQW) ZONES 	7 DAYS	NONE
	<ul style="list-style-type: none"> • SLOPES STEEPER THAN 3:1 	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1. 14 DAYS ARE ALLOWED.
	<ul style="list-style-type: none"> • SLOPES 3:1 TO 4:1 	14 DAYS	<ul style="list-style-type: none"> - 7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH AND WITH SLOPES STEEPER THAN 4:1 - 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HQW ZONES - 10 DAYS FOR FALLS LAKE WATERSHED
	<ul style="list-style-type: none"> • ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 	14 DAYS	<ul style="list-style-type: none"> - 7 DAYS FOR PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND HQW ZONES - 10 DAYS FOR FALLS LAKE WATERSHED UNLESS THERE IS ZERO SLOPE.

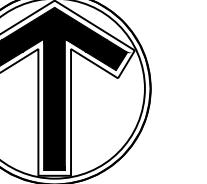
C-5.02 FOR STANDARD NPDES STABILIZATION SHEET

TURBED AREA = 0.28 ACRES

35°23'34"N
E: 82°30'06"W

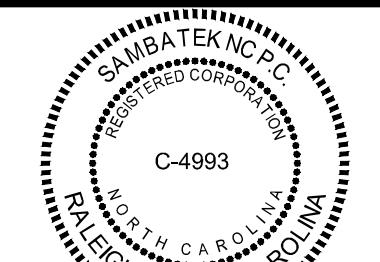
: DILLARD LOAM (DRB)

ED: MUD CREEK (6-55)



NORTH

20 40
IN FEET
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PRELIMINARY
10/31/2025

DESIGN REVIEW

PERMIT SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY
STH

DESIGNED BY
NDG

CHECKED BY
NDG

PROJECT NO.
LIH-2502



Sambatek

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Surveying | Planning | Environmental

NPDES STABILIZATION PLAN

SHEET

C-5.01

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT		
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.		
SECTION E: GROUND STABILIZATION		
Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION		
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:		
Temporary Stabilization	Permanent Stabilization	
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed 	

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS		
<ol style="list-style-type: none"> Select flocculants that are appropriate for the soils being exposed during construction, selecting from the <i>NC DWR List of Approved PAMS/Flocculants</i>. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures. Apply flocculants at the concentrations specified in the <i>NC DWR List of Approved PAMS/Flocculants</i> and in accordance with the manufacturer's instructions. Provide ponding area for containment of treated Stormwater before discharging offsite. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures. 		

<p>IPMENT AND VEHICLE MAINTENANCE</p> <p>Maintain vehicles and equipment to prevent discharge of fluids.</p> <p>Provide drip pans under any stored equipment.</p> <p>Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.</p> <p>Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).</p> <p>Remove leaking vehicles and construction equipment from service until the problem has been corrected.</p> <p>Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.</p>
<p>R, BUILDING MATERIAL AND LAND CLEARING WASTE</p> <p>Never bury or burn waste. Place litter and debris in approved waste containers.</p> <p>Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.</p> <p>Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.</p> <p>Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.</p> <p>Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.</p> <p>Anchor all lightweight items in waste containers during times of high winds.</p> <p>Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.</p> <p>Dispose waste off-site at an approved disposal facility.</p> <p>On business days, clean up and dispose of waste in designated waste containers.</p>
<p>T AND OTHER LIQUID WASTE</p> <p>Do not dump paint and other liquid waste into storm drains, streams or wetlands.</p> <p>Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.</p> <p>Contain liquid wastes in a controlled area.</p> <p>Containment must be labeled, sized and placed appropriately for the needs of site.</p> <p>Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.</p>
<p>ABLE TOILETS</p> <p>Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.</p> <p>Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.</p> <p>Monitor portable toilets for leaking and properly dispose of any leaked material.</p> <p>Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.</p>
<p>HEN STOCKPILE MANAGEMENT</p> <p>Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.</p> <p>Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.</p> <p>Provide stable stone access point when feasible.</p> <p>Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.</p>

CONCRETE WASHOUTS

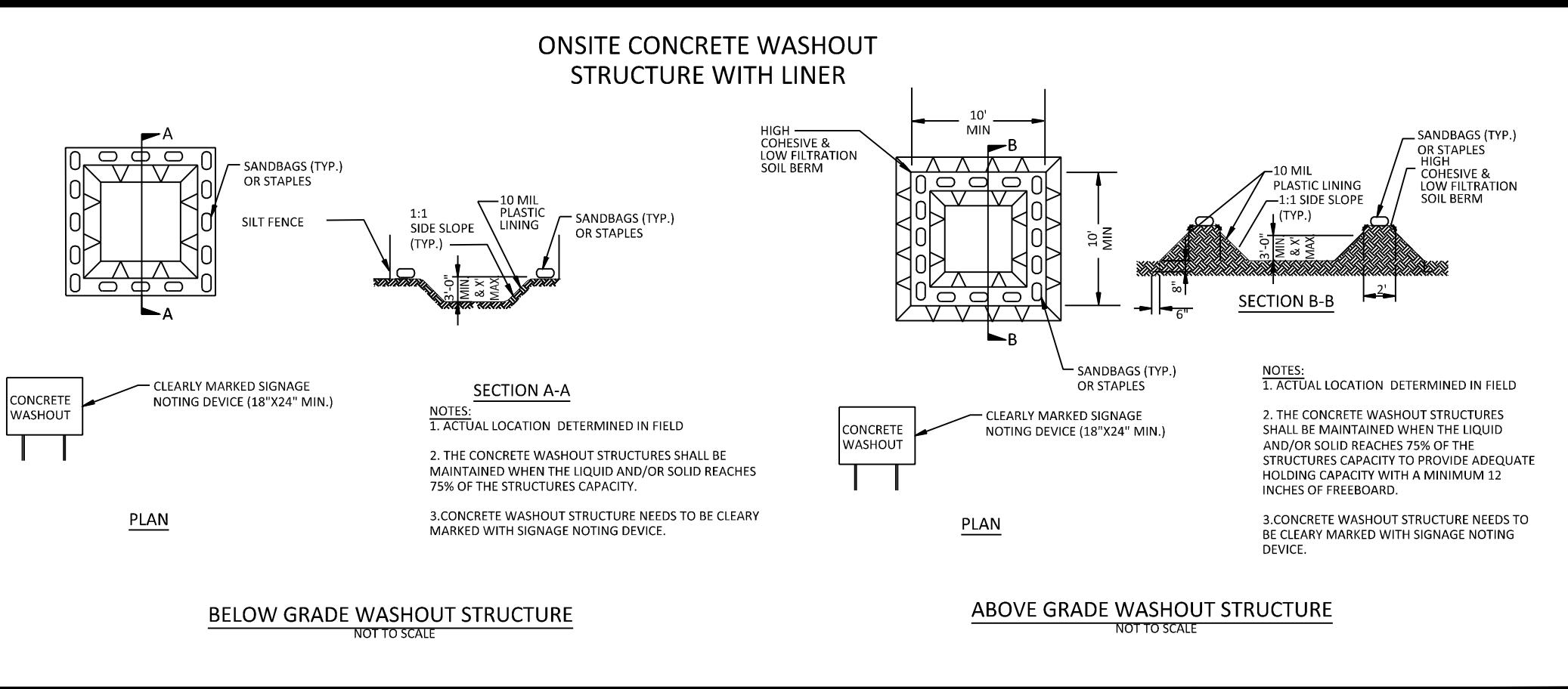
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
5. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
6. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
7. Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
8. Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
9. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
3. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
4. Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.
3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.



NCG01 GROUND STA

<h1 style="text-align: center;">BILIZATION AND MATERIALS H</h1> <h2 style="text-align: center;">PART III</h2> <h3 style="text-align: center;">SELF-INSPECTION, RECORDKEEPING AND REPORTING</h3>	
<p>B: RECORDKEEPING</p> <p>Plan Documentation</p> <p>Approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.</p>	
Item to Document	Documentation Requirements
Each E&SC measure has been installed and does not significantly deviate from the dimensions, dimensions and relative elevations on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
Phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
Ground cover is located and installed in accordance with the approved E&SC	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
Pre-maintenance and repair treatments for all E&SC measures have been performed.	Complete, date and sign an inspection report.
Corrective actions have been taken for E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.
<p>Additional Documentation to be Kept on Site</p> <p>In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the permittee can provide a site-specific exemption based on unique site conditions that make the requirement not practical:</p> <p>This General Permit as well as the Certificate of Coverage, after it is received.</p> <p>Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the state division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if it is shown to provide equal access and utility as the hard-copy records.</p> <p>Documentation to be Retained for Three Years</p> <p>Documentation used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]</p>	

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EFFECTIVE: 04/01/19

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.• If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)].• Division staff may waive the requirement for a written report on a case-by-case basis.

PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and

122.41(m)(3)]	effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.

 <p>PRELIMINARY 10/31/2025</p> <p>DESIGN REVIEW</p> <p>PERMIT SUBMITTAL</p> <p>CONSTRUCTION DOCUMENTS</p>	<p>DRAWN BY STH</p> <p>DESIGNED BY NDG</p> <p>CHECKED BY NDG</p> <p>PROJECT NO.</p>	 <p>Sambatek www.sambatek.com</p> <p>Engineering Surveying Planning Environmental</p>
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UTILITY CONSTRUCTION NOTES

- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
- THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
- NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
- ALL LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
- ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
- MINIMUM COVER FOR CABLES SHALL BE 18" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
- ALL EXCAVATION AND MOVEMENT OF TRENCHES SHALL BE SET TO GRADE AFTER PAVING.
- THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
- THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4" FT FOR 4" LINES AND 2) 1/8" FT FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
- ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
- 100% WATER SERVICE ROUTING IS NOT PART OF THIS PLAN. CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
- EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
- ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
- THE CONTRACTOR SHALL NOTIFY THE LOCAL OWNER/PROPERTY OWNER/DEVELOPER OF THE EXACT LOCATION OF ALL PIPING METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
- EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- THE CONTRACTOR MAY USE EQUIPMENT OTHER THAN THOSE SPECIFIED IF USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO TRANSFERRING OWNERSHIP TO THE OWNER.
- ONE SEWAGE LINE CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
- ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE "WELDED" JOINTS, UNLESS SPECIFIED OTHERWISE OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4" FT, 6" - 1/8" FT.
- BELLOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDERING LEAD SHALL NOT BE USED FOR ANY JOINTS ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE CONNECTED TO THE PIPING BELOW SLAB.
- WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
- WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE.
- CONTRACTOR SHALL NOTIFY THE LOCAL LOCAL SERVICE BY CALLING 811 AT LEAST 12 FULL WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF _____ PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
- SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING.
- SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING.
- SITE UTILITY CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
- SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
- CONNECT TO EXISTING SANITARY SEWER SERVICE: AN EXISTING MANHOLE SHALL COMPLY WITH THE TOWN OF _____ STANDARDS, INCLUDING CONCRETE OPEN-END MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" I-8" ABC OR BETTER.
- RELATION OF WATER MAINS TO SEWERS:
 - LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAIN SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION. INVERTS SHALL BE EQUAL.
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH AND ABOVE THE TOP OF THE SEWER.
 - CROSSING A WATER LINE OVER A SEWER LINE: WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER LINE, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN. UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - CROSSING A SEWER LINE OVER OR UNDER A SEWER MAIN: WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A WATER LINE, THE SEWER LINE SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER LINE IS AT LEAST 18 INCHES ABOVE THE TOP OF THE WATER MAIN. UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN: WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN, THE SEWER LINE SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER LINE IS AT LEAST 18 INCHES ABOVE THE TOP OF THE STORM DRAIN. UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE DETERMINED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSINGS UNDER PAVED AREAS.
 - SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICES.

NOTE TO CONTRACTOR:
CONTRACTOR TO FIELD VERIFY ELECTRIC AND TELCOM CONNECTION AND COORDINATE WITH UTILITY COMPANY

NOTE TO CONTRACTOR:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

NOTE:
CONTRACTOR SHALL VERIFY EXISTING SANITARY SEWER SERVICE TIE-IN INVERT ELEVATION PRIOR TO THE START OF CONSTRUCTION. IF INVERT ELEVATION IS HIGHER THAN 2067.70', CONTRACTOR SHALL COORDINATE WITH ENGINEER.

UTILITY KEY NOTES

- 2" DOMESTIC WATER METER, CONTRACTOR SHALL COORDINATE WITH CITY.
- 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GROUND HEATED, INSULATED ENCLOSURE.
- 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
- 6" PVC SANITARY SEWER LINE @ 1/8" PER LINEAR FOOT SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
- CONNECT TO 2" PLUGGED PEX WATER SERVICE PER MASTER DEVELOPER.
- TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
- 1500 GALLON GREASE TRAP.
- GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
- CONNECT TO EXISTING SANITARY SEWER SERVICE PER CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO ANY CONSTRUCTION TO ENSURE REQUIRED PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE WITH CITY.
- 4.5' X 8' UNDERGROUND GAS TANK
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- WALL MOUNTED AREA LIGHT, SEE LIGHTING PLAN

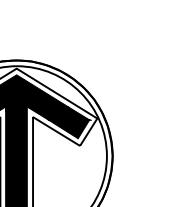
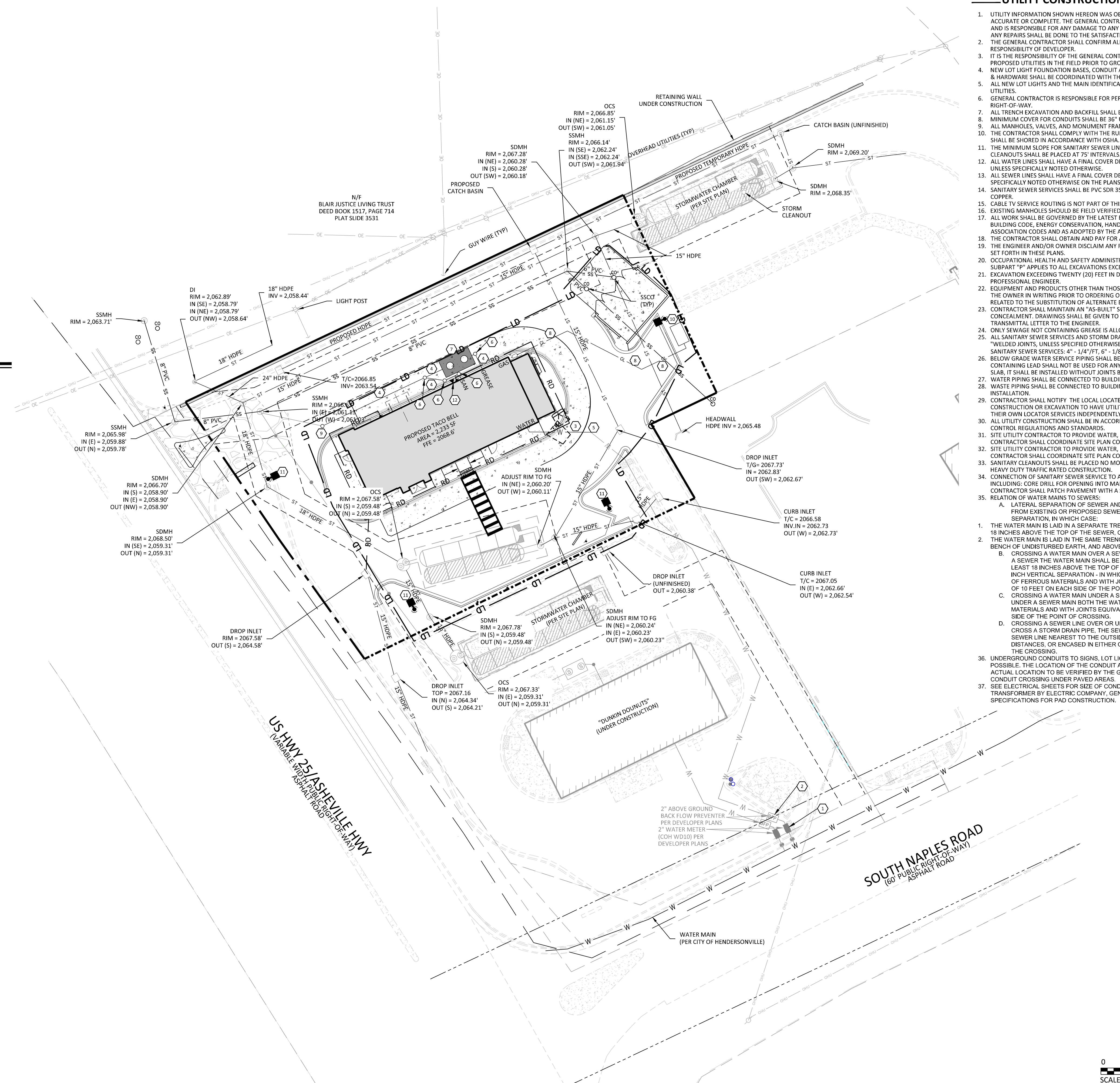
THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE STANDARDS ASCE/CI 38-02, TITLED "STANDARD PRACTICES FOR THE FIELD DETERMINATION AND PREDICTION OF EXISTING SUBSURFACE UTILITY LOCATIONS". THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CALLING 811 FOR THE LOCAL NOTIFICATION CENTER. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE BACKFILLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

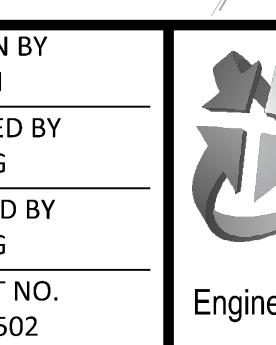
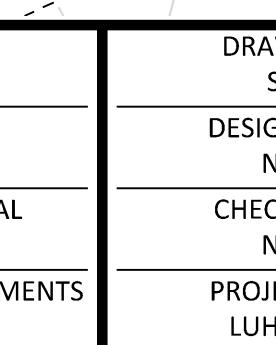
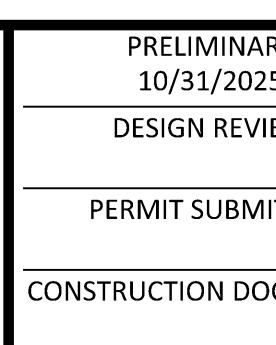
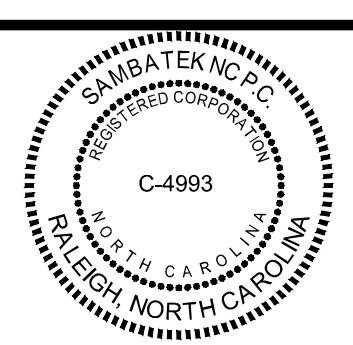
LEGEND

- PROPOSED EXISTING
- SANITARY SEWER
- FM EXISTING FORCEMAIN (SAN.)
- STORM SEWER
- DRAINTILE
- WATERMAIN
- UNDERGROUND GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- CONCRETE CURB
- EASEMENT LINE
- PROPOSED ROOF DRAIN
- IRRIGATION SLEEVE (2) 4" PVC, COORDINATE WITH IRRIGATION CONTRACTOR
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED LIGHT POLE



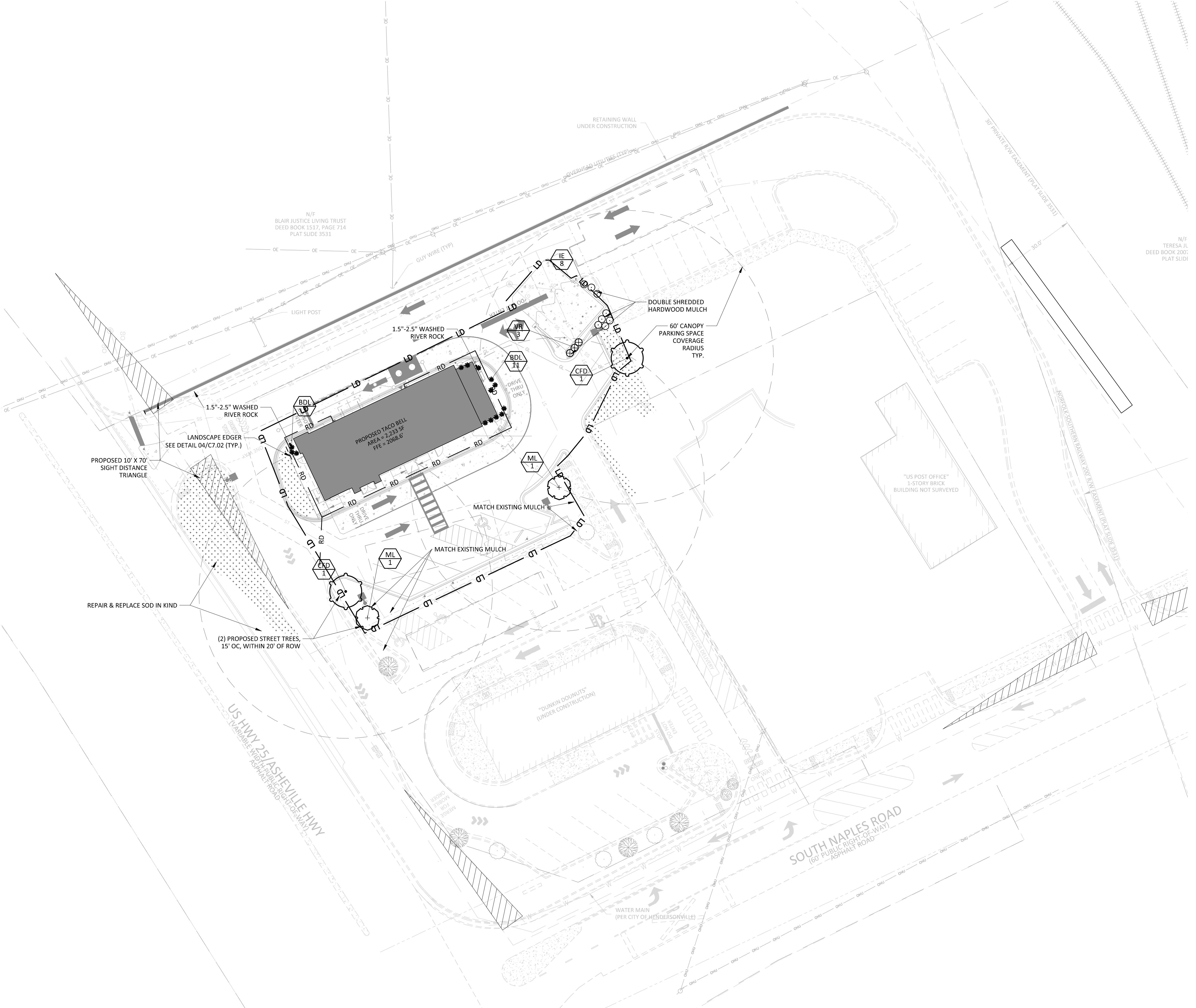
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nc811.org or 1-800-632-4949

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



UTILITY PLAN
TACO BELL
(027) #042426
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

SHEET
C-6.01
REV.

**LEGEND**

PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
=====	=====	=====
CURB & GUTTER	=====	CONCRETE PAVING
EASEMENT	-----	CONCRETE SIDEWALK
BUILDING	=====	
RETAINING WALL	=====	
WETLAND LIMITS	=====	
TREELINE	=====	
LANDSCAPE EDGING	-----	
STORM SEWER	=====	
SANITARY SEWER	=====	
FORCEMAIN (SAN.)	=====	
WATERMAIN	=====	
YARDRAIN	=====	
LIMITS OF DISTURBANCE	=====	
SIGN	=====	
PIPE BOLLARD	=====	
RIPRAP	=====	

HENDERSON COUNTY, NC LANDSCAPE CODE

VUA
1 TREE / 5 PARKING SPACES
ALL PARKING SPACES WITHIN 60' TREE TRUNK
10 PARKING SPACES / 5 SPACES = 2 TREES REQUIRED, 2 TREES PROPOSED

STREET TREES
1 TREE/50 LF
PLACED WITHIN R.O.W. OR WITHIN 20' OF EDGE. MIN SPACING 15'. MAX 65'.
PLACEMENT - PLANT MATERIAL SHALL BE PERMITTED IN THE SIGHT VISIBILITY TRIANGLE PROVIDED THE AREA WITHIN THE SIGHT VISIBILITY TRIANGLE REMAIN PERMANENTLY UNOBSTRUCTED BETWEEN THREE (3) AND TEN (10) FEET ABOVE GRADE.

**US HWY 25 : 120 LF - 26 LF (DRIVE ISLE) = 92 LF
2 TREES/100 LF (94 LF) = 2 TREES REQUIRED, 2 TREES PROPOSED**

DUMPSTER SCREENING
SCREEN CLASS 1. CONTINUOUS HEDGE OF EVERGREENS SHRUBS (8' MATURE HEIGHT) PLANTED IN 5' STRIP, MAX OF 8' O.C.

PROVIDED : ILEX CRENATA 'PIIC-1' (STRAIGHT & NARROW JAPANESE HOLLY) PLANTED 5' OC.

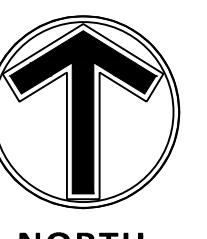
OPEN SPACE
PREVIOUSLY PROVIDED AS PART OF OVERALL DEVELOPMENT OF MOUNTAIN HOME DUNKIN' DONUTS CONSTRUCTION PLANS, DATED 09-04-2025, PREPARED BY FEI CONSULTING.

PLANT SCHEDULE

PLANT SCHEDULE		CONT	CAL	SIZE	QTY
SYMBOL	CODE				
UNDERSTORY					
•	CFD	Cornus florida / Flowering Dogwood	B & B	2" CAL	10' 2
+	ML	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	B & B	2" CAL	10' 2
SUBTOTAL:					
MEDIUM EVERGREEN SHRUB					
○	IE	Ilex crenata 'PIIC-1' / Straight and Narrow® Japanese Holly	#5	24"	8
○	VR	Viburnum obovatum 'Raulston Hardy' / Raulston Hardy Walter's Viburnum	#3	18"	3
SUBTOTAL:					
PERENNIALS					
✿	BDL	Hemerocallis x 'Baja' / Baja Daylily	#1		14
SUBTOTAL:					
GROUND COVERS					
····	CDT	Kentucky 31 Tall Fescue / Kentucky Fescue	sod		

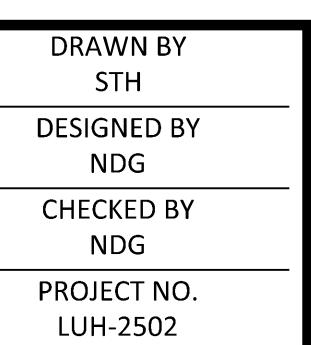
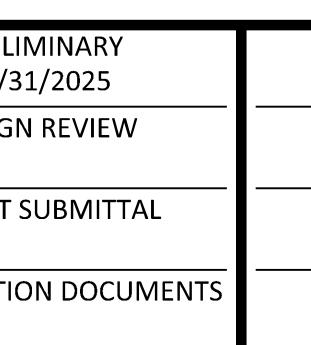
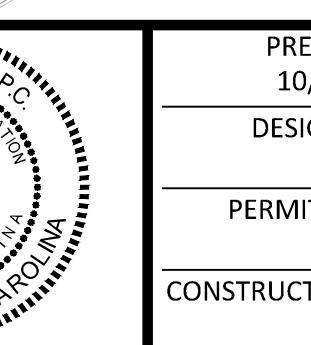
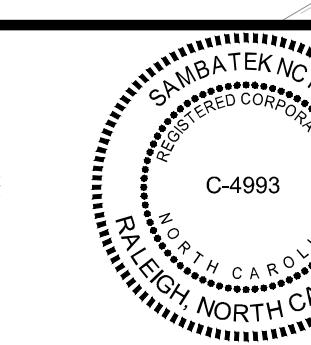
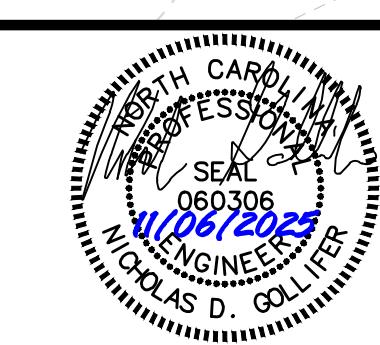


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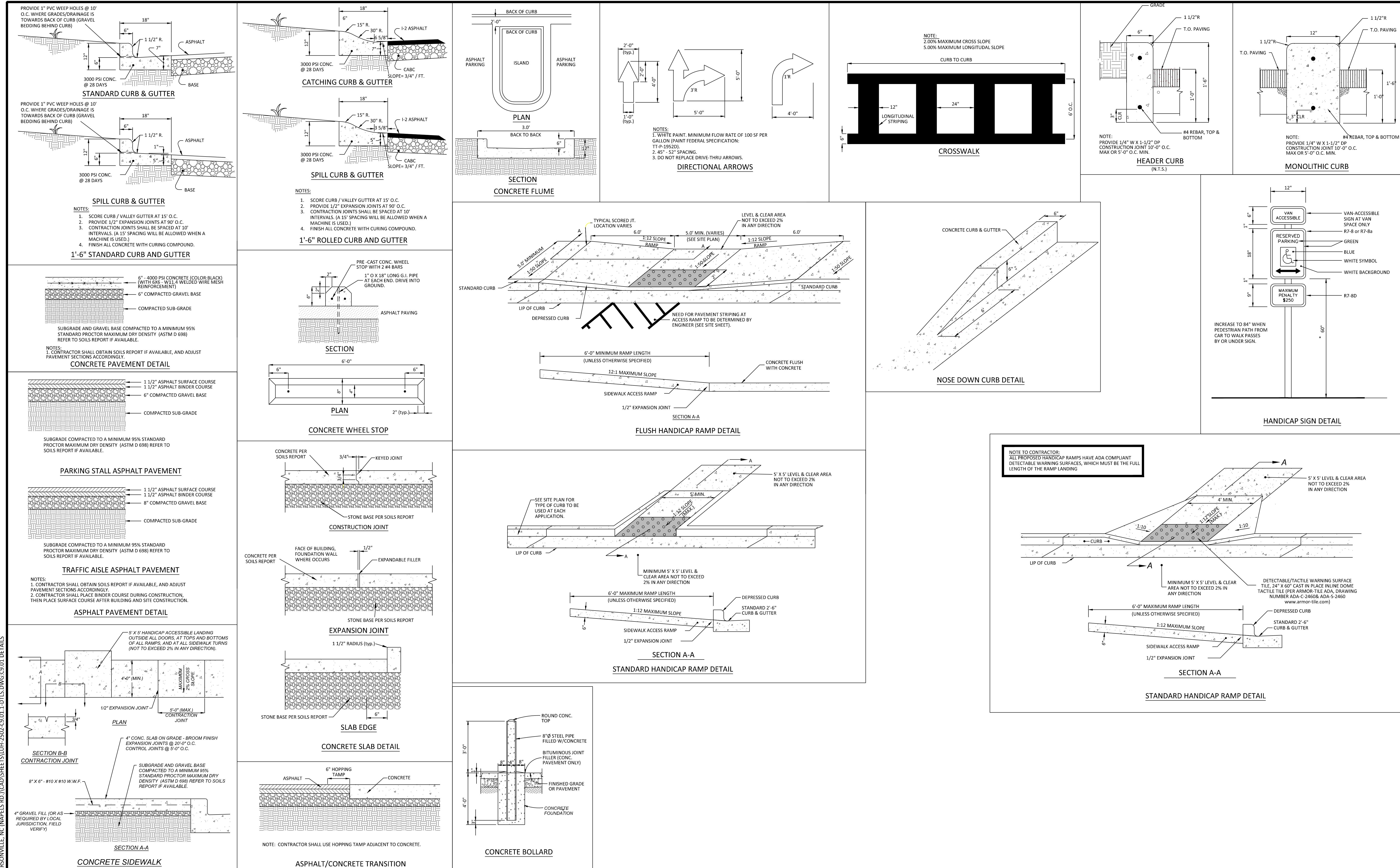
0 20 40
SCALE IN FEET

NO	DATE	BY	CKD	APPR	COMMENT
1	11/06/2025	STH	NDG		1ST SUBMITTAL SET

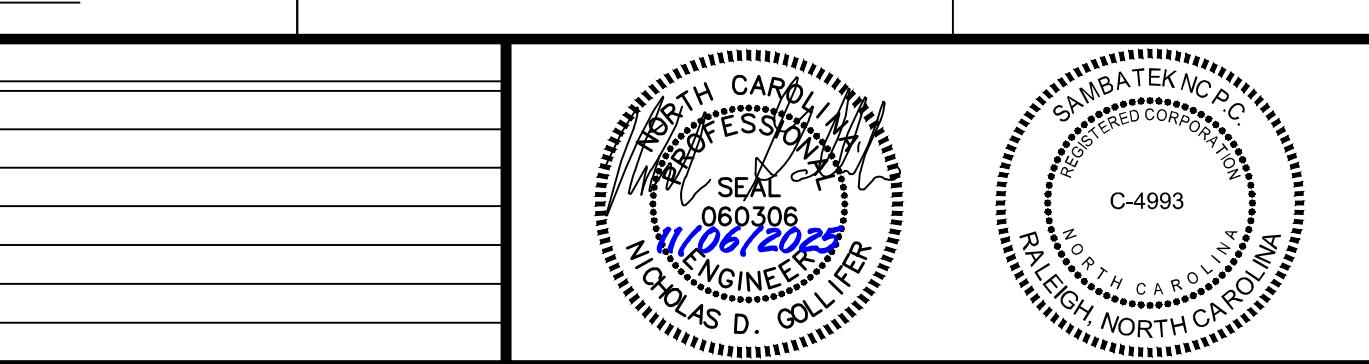
**LANDSCAPE PLAN**

TACO BELL
(027) #042426
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

SHEET
C-7.01
REV.



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1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



PRELIMINARY
10/31/2025
DESIGN REVIEW
PERMIT SUBMITTAL
CONSTRUCTION DOCUMENTS

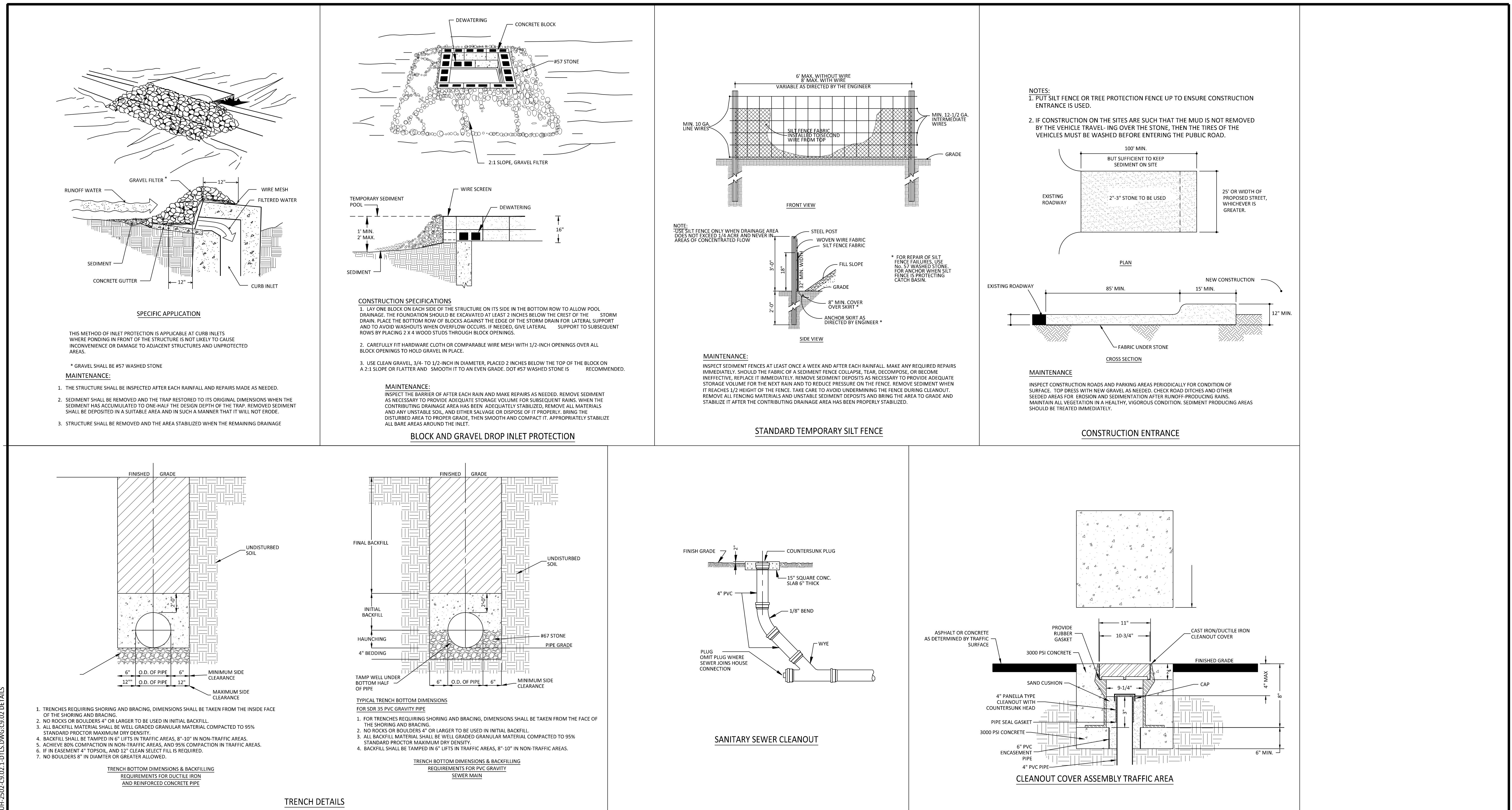
DRAWN BY
STH
DESIGNED BY
NDG
CHECKED BY
NDG
PROJECT NO.
LUH-2502

Sambatek
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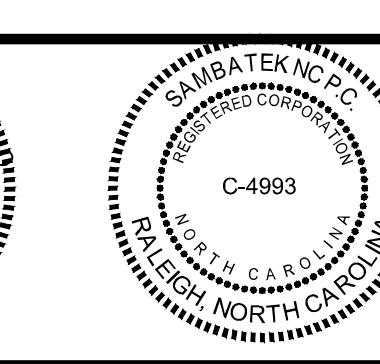
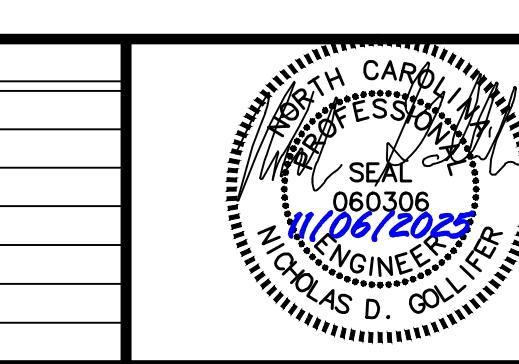
DETAILS

TACO BELL
(027) #042426
5420 ASHEVILLE HWY.
HENDERSON, NORTH CAROLINA

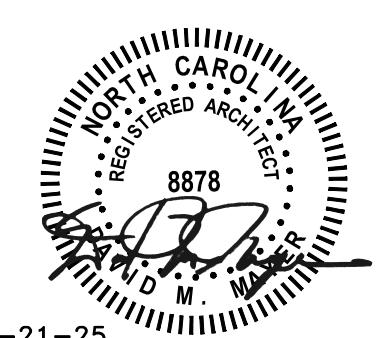
SHEET
C-9.01
REV.



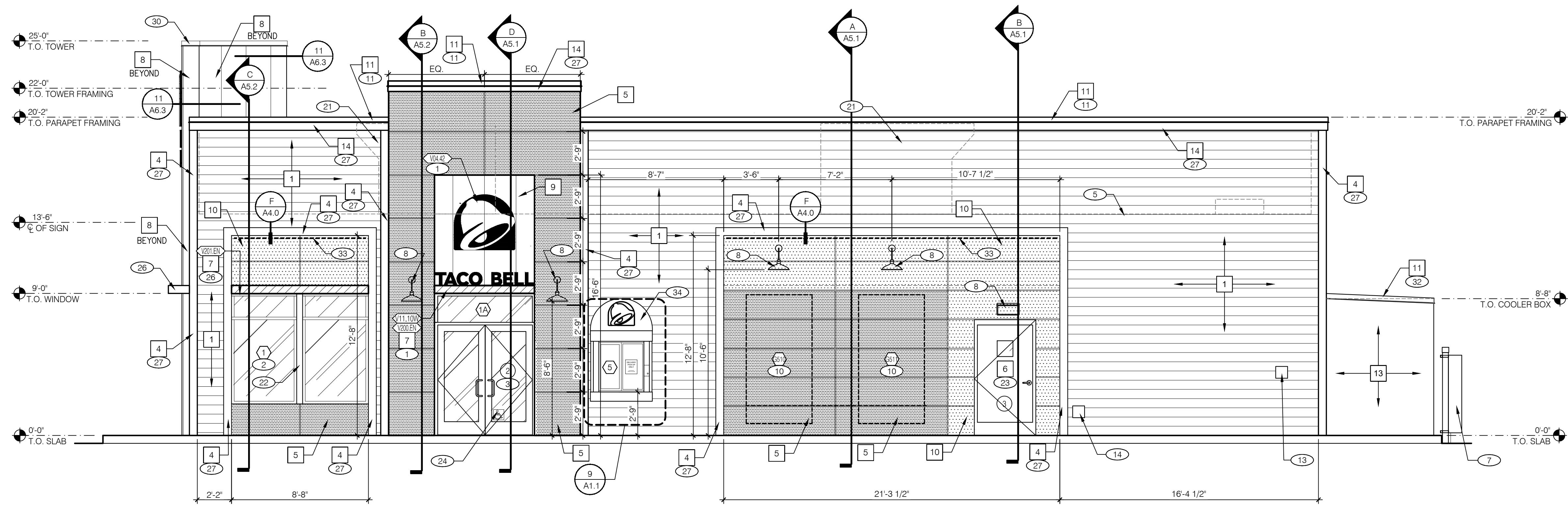
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1	11/06/2025	STH	NDG		1ST SUBMITTAL SET



PRELIMINARY 10/31/2025	DRAWN BY STH
DESIGN REVIEW	DESIGNED BY NDG
PERMIT SUBMITTAL	CHECKED BY NDG
CONSTRUCTION DOCUMENTS	PROJECT NO. LUH-2502



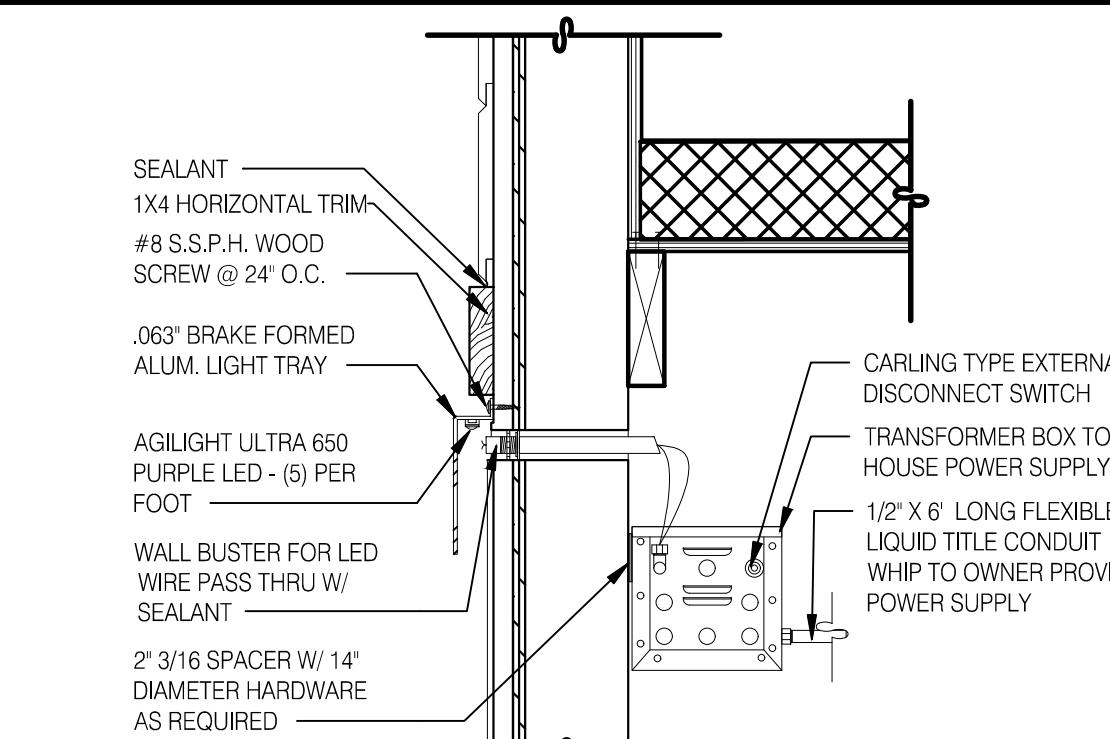
A



WINDOW TYPE. SEE DRAWING A1.1

RIGHT SIDE ELEVATION 1/4"=1'-0"

QTY.	NAME	FAMILY	FRAME OR MURAL	SIZE	LOCATION
2	CAMO PATTERN - PURPLE	B	M02	CUSTOM	SEE A4.0 & A4.1 FOR LOCATION
2	CAMO PATTERN - PURPLE	B	M02	CUSTOM	SEE A4.0 & A4.1 FOR LOCATION
1	CAMO PATTERN - PURPLE	B	M02	CUSTOM	SEE A4.1 FOR LOCATION



ARTWORK SCHEDULE N.T.S. H

LED WALL WASHER & TRIM DETAIL N.T.S. F

MISCELLANEOUS
A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.

SEALERS (REFER TO SPECS)

A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS.
C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

CRITICAL DIMENSIONS

A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

PAINTING

APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
PRIMER: 1 COAT SW A24W8300
FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE: A-100 EXTERIOR LATEX SATIN.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

TYPE MARK	QTY	ITEM DESCRIPTION	LOC
FRONT TOWER			
109.4D	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
104.4D	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
SIDE ENTRY TOWER			
104.4D	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
1200.4D	1	SIDE ENTRY AWNING 6' 4" X 3' 0" BLACK	A4.0
111.0D	1	10' WHITE CHANNEL LETTERS MTD. ON AWNING	A4.0
DRIVE THRU			
101.0D	1	DT AWNING (OVER DT) 9' 4" X 4' 0" BLACK	A4.1
REAR			
EYEBROW AWNINGS OVER WINDOWS			
203.4D	1	DT SIDE EYEBROW (WINDOW) 5' 11" L X 6' H X 1' 4" D BLACK	A4.1
201.4D	1	SIDE EYEBROW (WINDOW) 8' 4" L X 6' H X 1' 4" D BLACK	A4.0

* NOTE: FIELD VERIFY ALL LENGTH PRIOR TO FABRICATION

CONTRACT DATE: 07.25.2025

BUILDING TYPE: MED 40

PLAN VERSION: -

BRAND DESIGNER: -

SITE NUMBER: -

STORE NUMBER: 042423

TACO BELL
5420 ASHEVILLE HWY
HENDERSONVILLE, NC 28791

ENDEAVOR 2.0

EXTERIOR
ELEVATIONS

A4.0

SYMBOL	ITEM/MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
1	SIDING	JAMES HARDIE	ARTISAN V-GROOVE 144'L X 8.25W, 7' EXPOSURE COMES PRIMED FOR PAINT	WORLDLY GRAY (SW7043), SEMI-GLOSS	SEE C / A 7.2
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
4	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4x6 SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS	SEE C / A 7.2
5	HARDIE PANEL VERTICAL SIDING W/ ALUMINUM TRIM FROM FRY REGLET AND/OR TAMLIN	JAMES HARDIE	HARDIE PANEL VERTICAL SIDING - SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS	SEE C / A 7.2
6	HOLLOW METAL DOOR & FRAME	-	-	SW PURPLE TB2603C, SEMI-GLOSS	
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR	
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24GA PAINTED 18" PANEL	WEATHERED RUSTIC	SEE C / A 7.2
9	RECESS OF SIDE ENTRY PORTAL	WESTERN STATE	T-GROOVE 24GA PAINTED 18" PANEL	WEATHERED RUSTIC	SEE C / A 7.2
10	HARDIE REVEAL PANEL	JAMES HARDIE	REVEAL PANEL SYSTEM	SW PURPLE TB2603C, SEMI-GLOSS	SEE C / A 7.2
11	METAL PARAPET CAP	-	24GA GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING	
12	BOLLARD	STREET SMART	-	YELLOW - 1/4" THICK PLASTIC COVER (U.S. POSTMAN.COM) OR EQUAL - PRIME PRIOR TO COVER INSTALLATION	
13	FREEZER / COOLER	-	-	CYBERSPACE (SW7076), SEMI-GLOSS	
14	HARDIE TRIM	JAMES HARDIE	HARDIE TRIM 5/4x12 SMOOTH	CYBERSPACE (SW7076), SEMI-GLOSS	SEE C / A 7.2

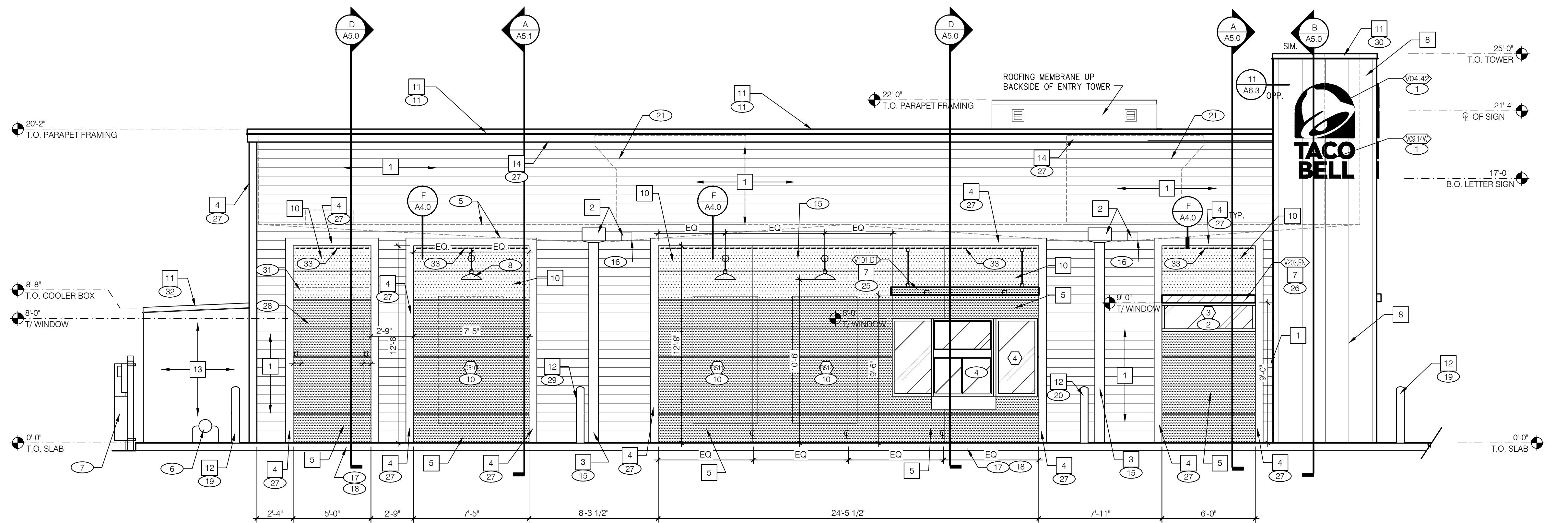
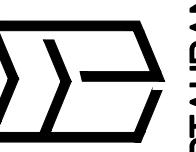
EXTERIOR FINISH SCHEDULE

G

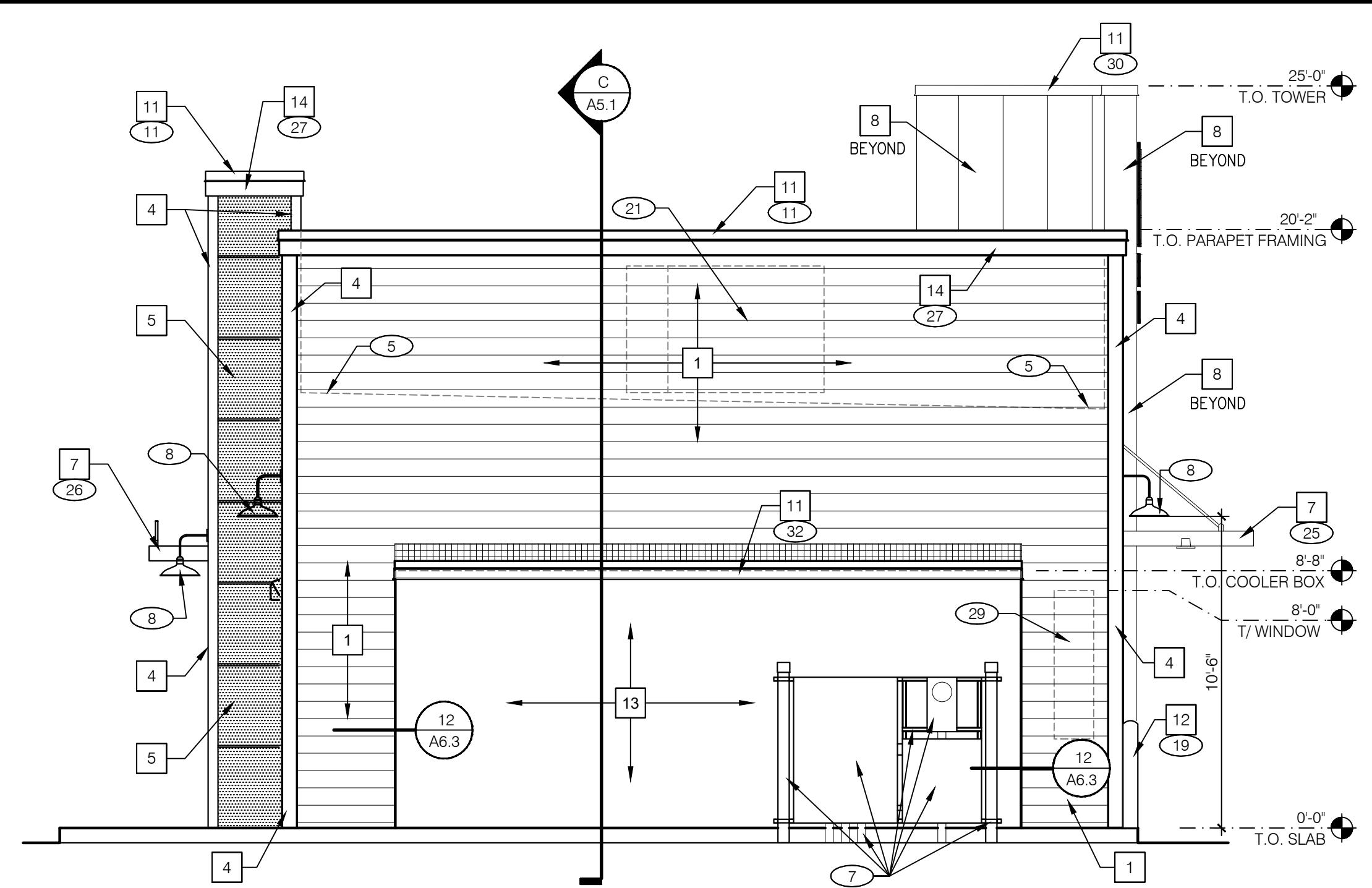
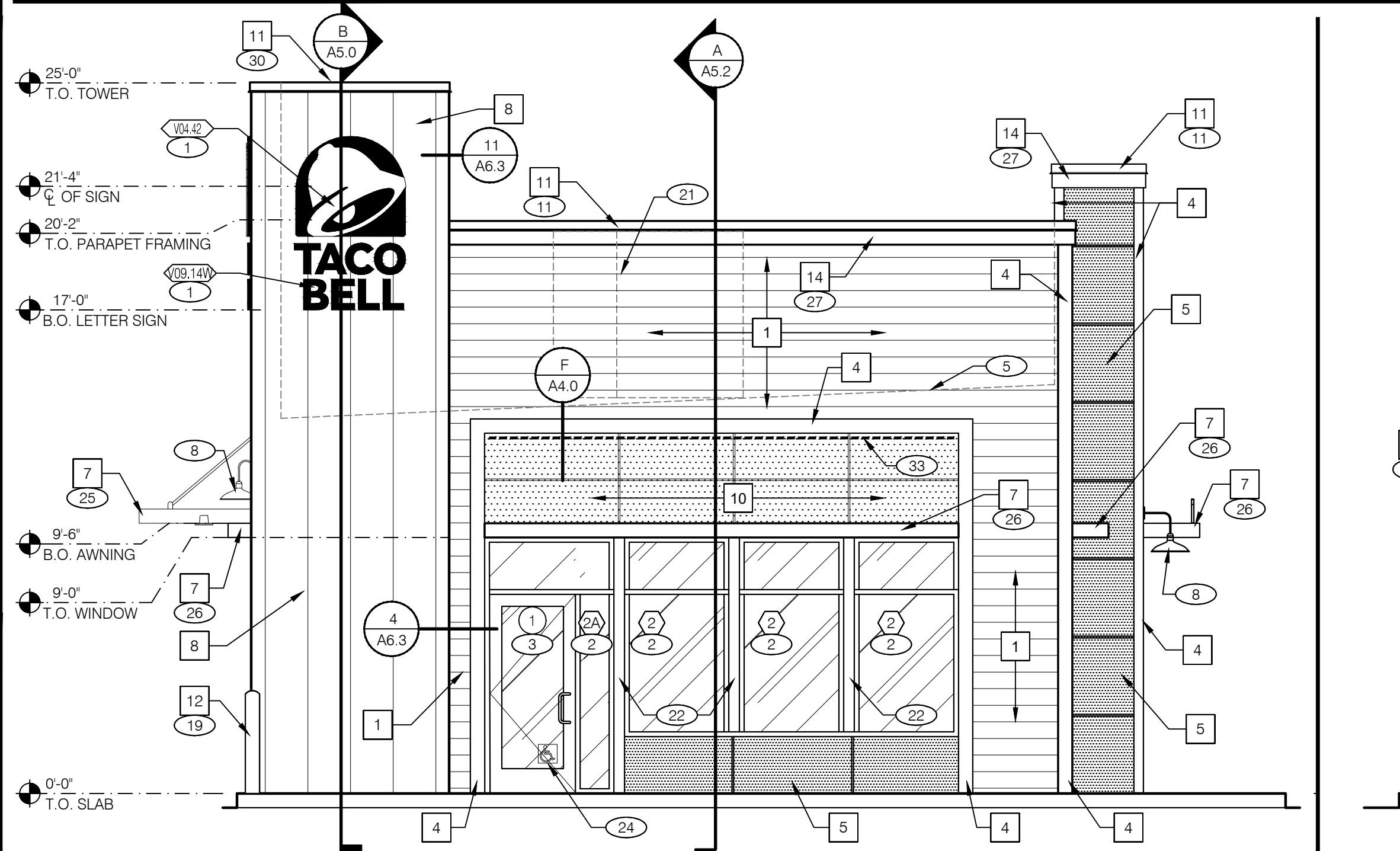
- 1 SIGNAGE TO BE PROVIDED & INSTALLED BY SIGN VENDOR UNDER SEPARATE PERMIT - SEE STRUCTURAL BLOCKING ELEVATIONS - SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
- 17 CONCRETE CURB.
- 18 ASSUME D/T LANE SURFACE IS 6' BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 2 STOREFRONT & GLASS - TYP.
- 3 STOREFRONT DOOR - SEE SHEET A1.1.
- 4 DRIVE-THRU WINDOW - SEE SHEET A1.0 & A1.1.
- 5 DASHED LINE REPRESENTS ROOF LINE BEYOND.
- 6 GAS SERVICE - PAINT TO MATCH ADJACENT SIDING.
- 7 ELECTRICAL METERS INCLUDING EQUIPMENT ENCLOSURES - PAINT TO MATCH ADJACENT.
- 8 EXTERIOR LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- 9 WALL PACK LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS.
- 10 EXTERIOR MURAL SEE SHEET A2.0 FOR ARTWORK SCHEDULE.
- 11 PARAPET CAP ROOF - SEE DETAIL 2/A6.0 AND 16/A6.2 - PAINT.
- 12 SINGLE-PLY MEMBRANE ROOFING.
- 13 CO2 FILLER VALVE & COVER - SEE DETAIL 7/A6.2 SIM.
- 14 HOSE BIB BOX @ 18" A.F.F. - SEE DETAIL 11/A6.2.
- 15 SCUPPER, COLLECTOR, & 6" MIN. VERTICAL DOWNSPOUT - PAINT.
- 16 OVERFLOW SCUPPER.
- 33 L.E.D. PURPLE LIGHT WALL WASHER TO BE PROVIDED & INSTALLED BY G.C. - SEE I/A4.0. EC SHALL PROVIDE (2) CIRCUITS RUN TO A WP J-BOX MOUNTED TO THE BACK SIDE OF THE PARAPET WALL.
- 34 INSTALL WALK UP WINDOW SURROUND - PROVIDED AND INSTALLED BY SIGN VENDOR UNDER A SEPARATE PERMIT - MATCH ADJACENT FINISHES.
- 35 H.M. DOOR & FRAME - PAINT.
- 36 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- 37 HANGER ROD CANOPY BY VENDOR W/ LIGHTS - SEE ELECTRICAL DRAWINGS.
- 38 EYEBROW CANOPY BY VENDOR.
- 39 TRIM - PAINT.
- 40 FRAME STUDS & HEADER FOR OPTIONAL FUTURE WINDOW.
- 41 FRAME STUDS & HEADER FOR FUTURE WINDOW.
- 42 PARAPET CAP @ TOWER - SEE DET. 1/A6.3.
- 43 INSTALL BLOCKING FOR FUTURE HANGING ROD CANOPY.
- 44 GALV. METAL CAP FLASHING - PREFINISH

KEY NOTES

C



LEFT SIDE ELEVATION 1/4" = 1'-0" A



TYPE MARK	QTY	ITEM DESCRIPTION	LOC
FRONT TOWER			
101.14	2	14" WHITE CHANNEL LETTERS VERTICAL	A4.1
101.42	2	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.1
SIDE ENTRY TOWER			
104.42	1	42" SWINGING BELL PURPLE LOGO FACE LIT	A4.0
111.00	1	10" WHITE CHANNEL LETTERS MTD. ON AWNING	A4.0
DRIVE THRU			
101.10	1	DT AWNING (OVER DT) 9' 4" X 4' 0" BLACK	A4.1
REAR			
EYEBROW AWNINGS OVER WINDOWS			
203.15	1	DT SIDE EYEBROW (WINDOW) 5' 11" L X 6' H X 1' 4" D BLACK	A4.1
201.15	1	SIDE EYEBROW (WINDOW) 8' 4" L X 6' H X 1' 4" D BLACK	A4.0

* NOTE: FIELD VERIFY ALL LENGTH PRIOR TO FABRICATION

SIGNAGE B

1. FOR EXTERIOR FINISH SCHEDULE SEE SHT. A4.0
2. FOR KEY NOTES SEE SHT. A4.0
3. FOR PAINT NOTES SEE SHT. A4.0

ENDEAVOR 2.0

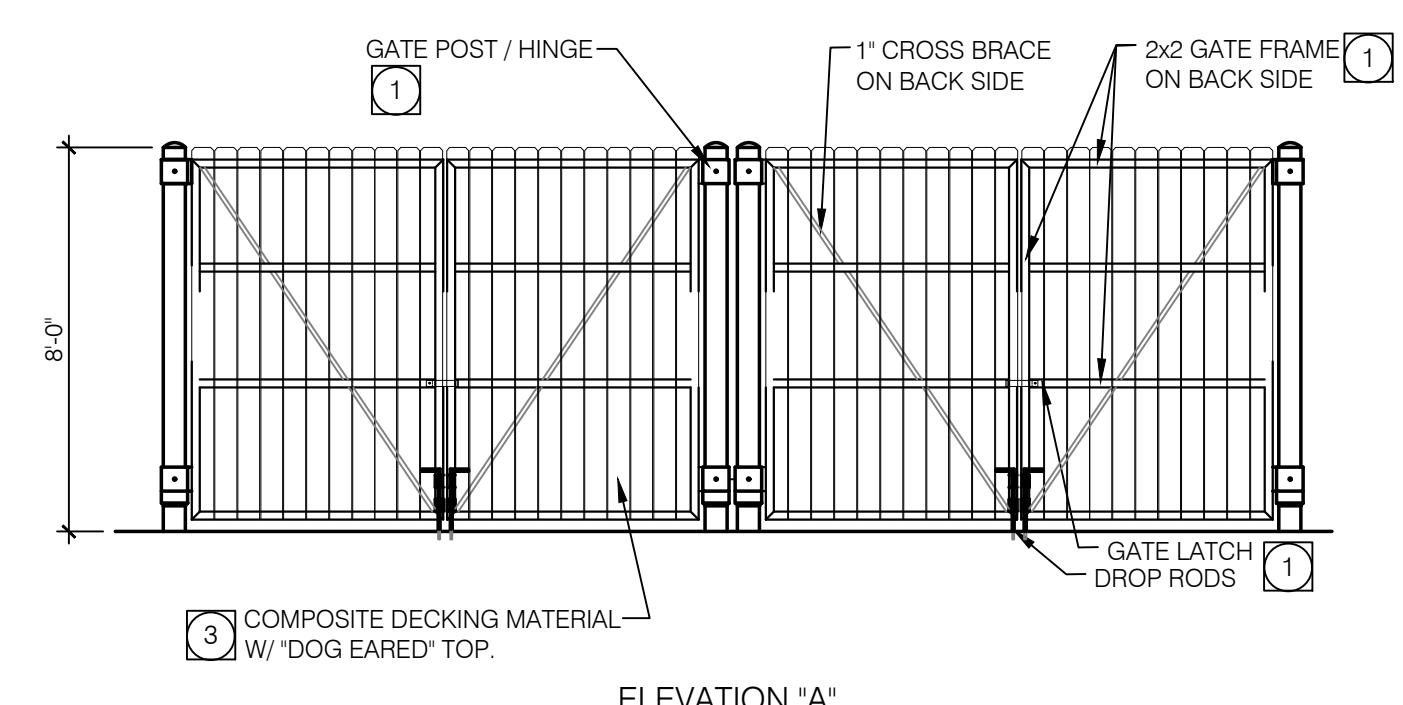
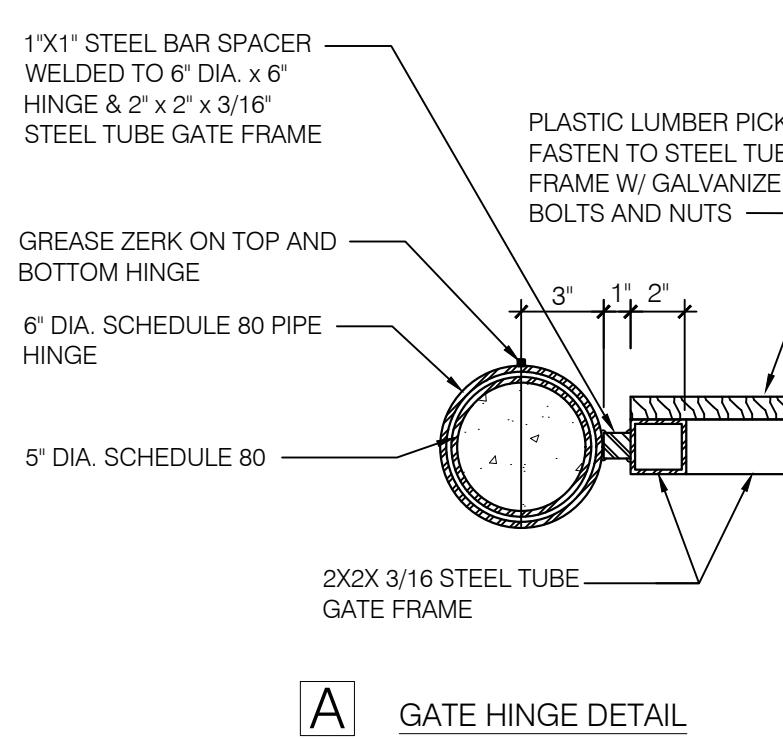
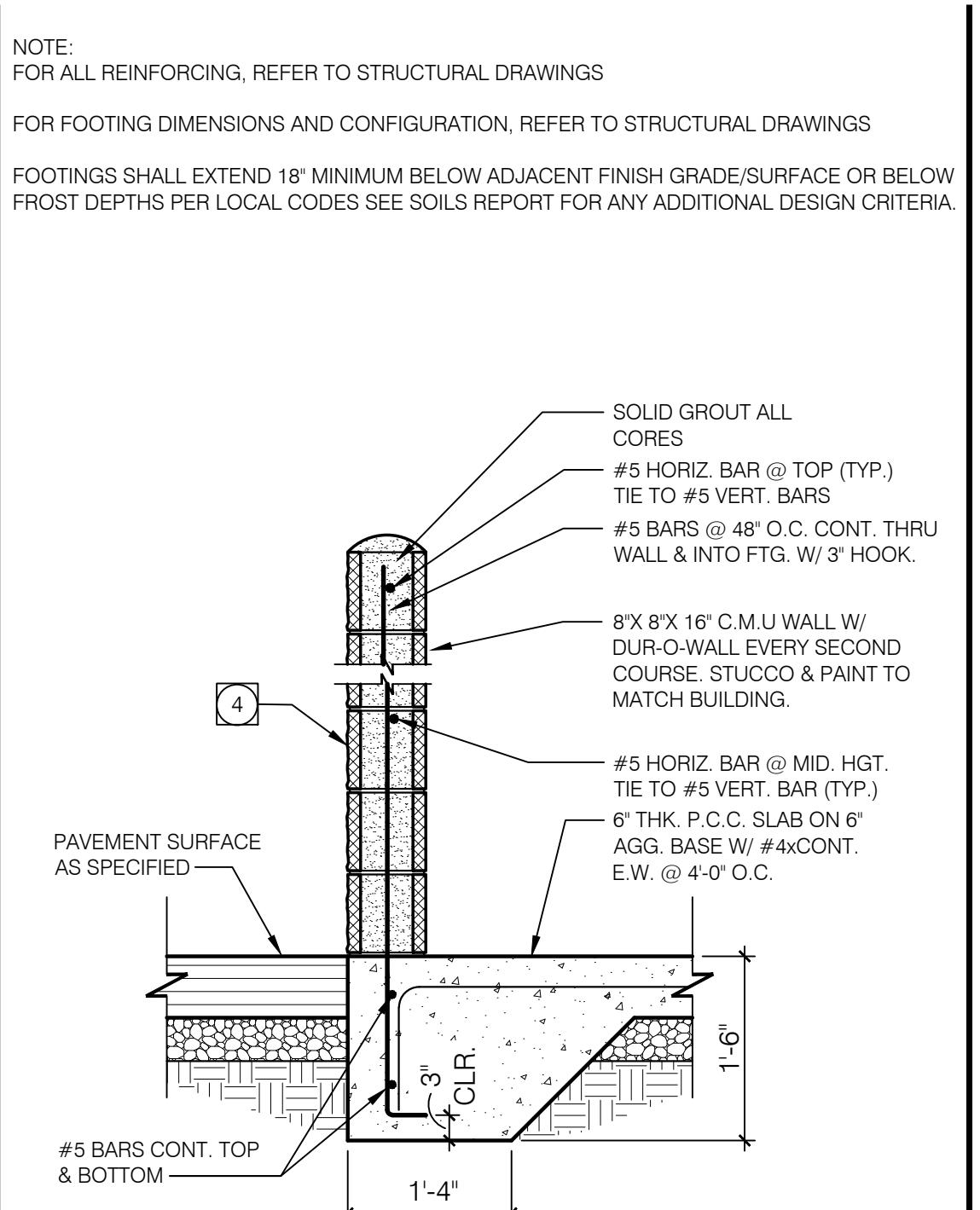
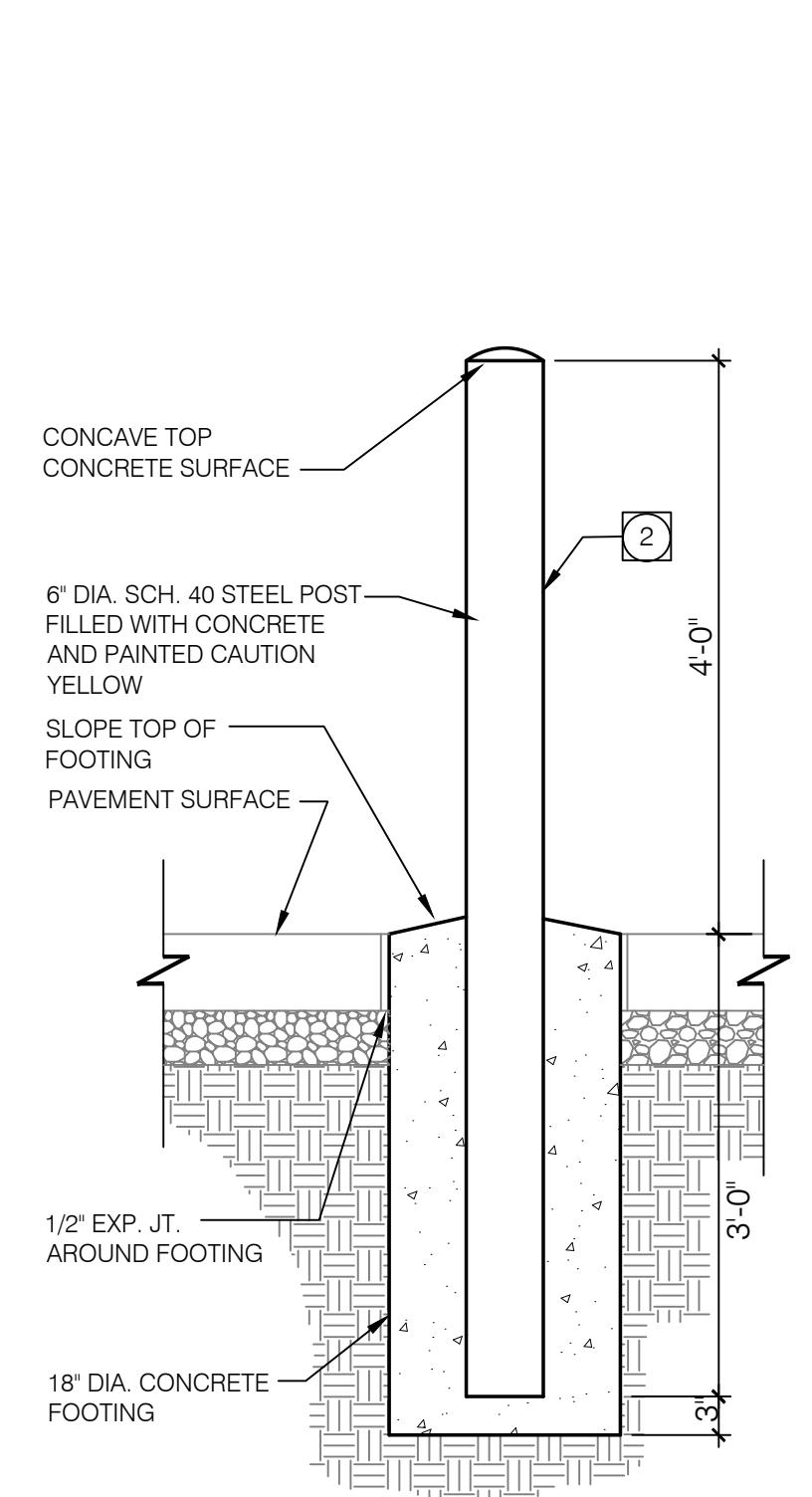
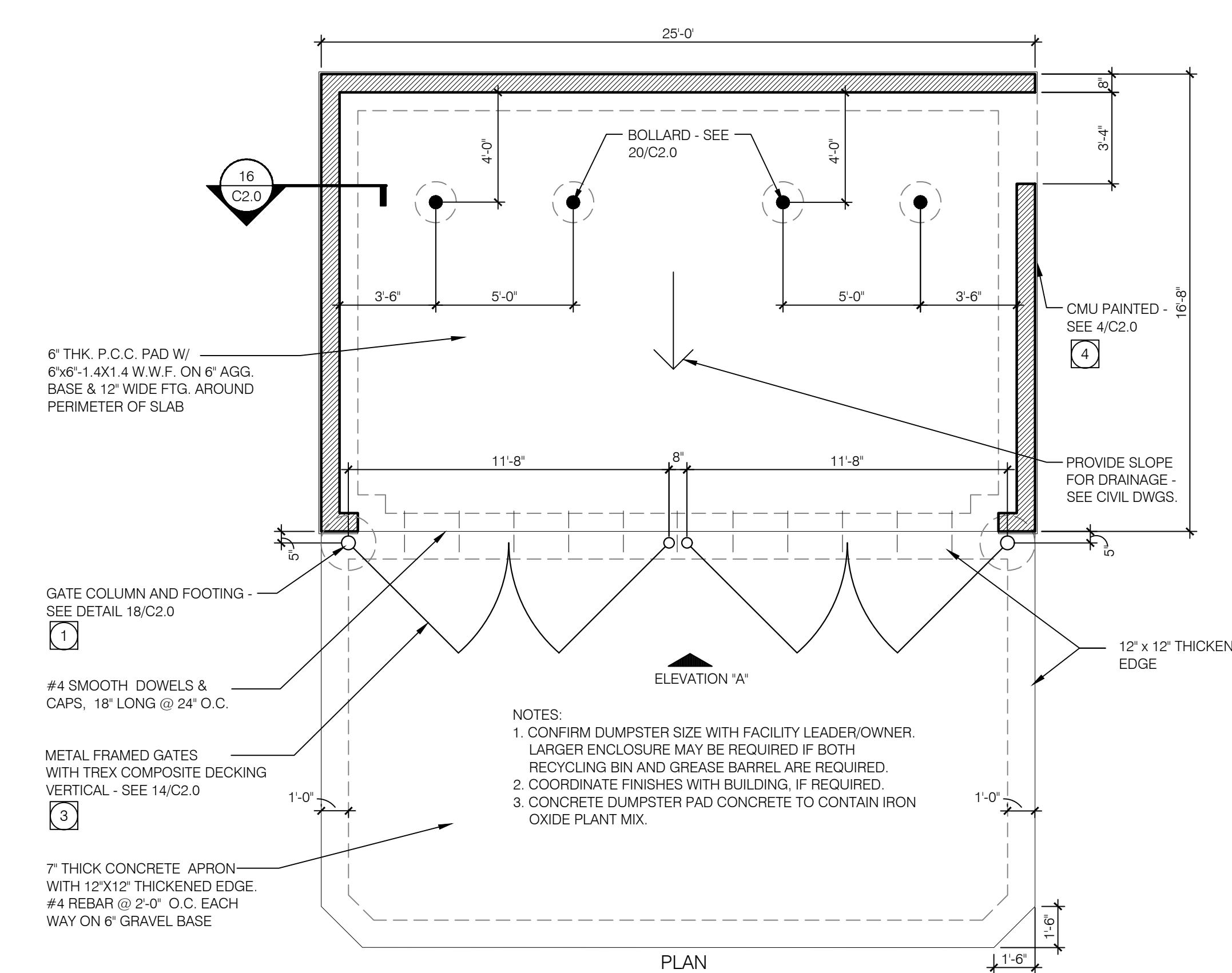
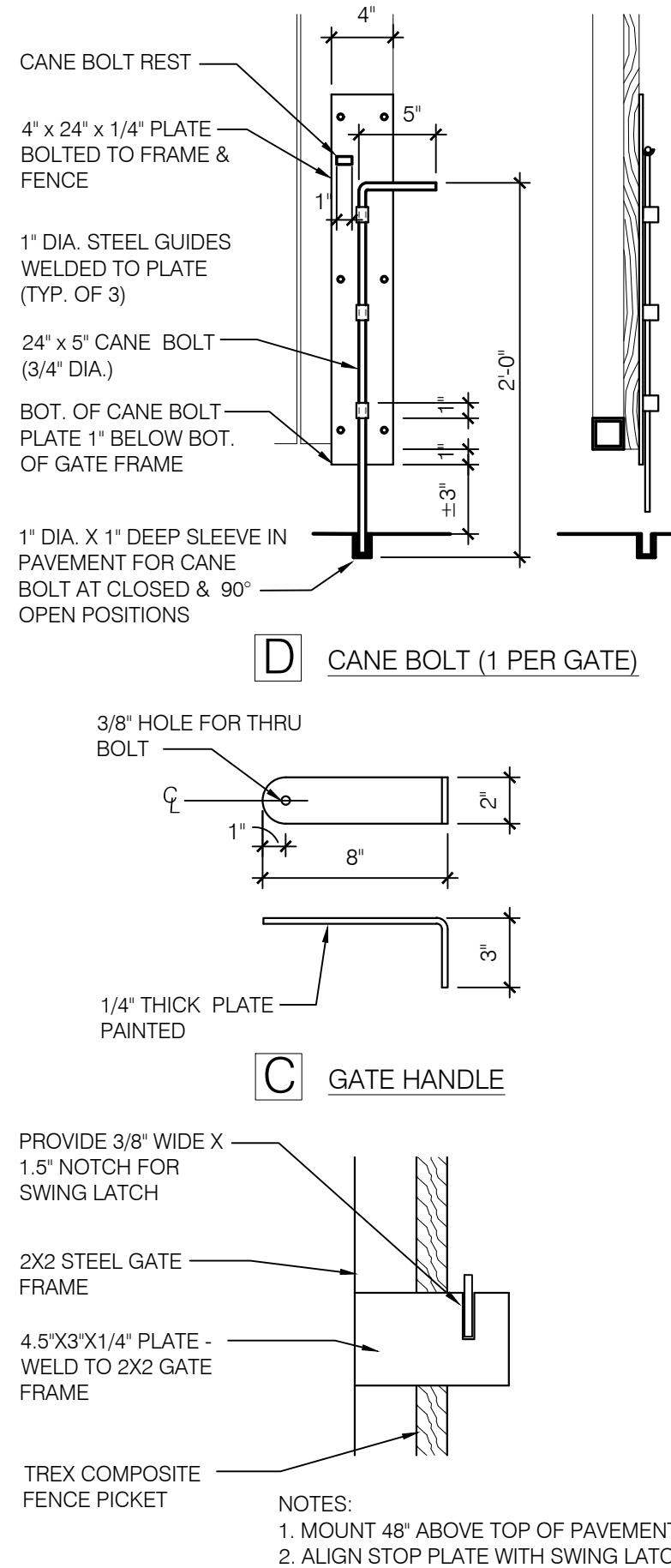
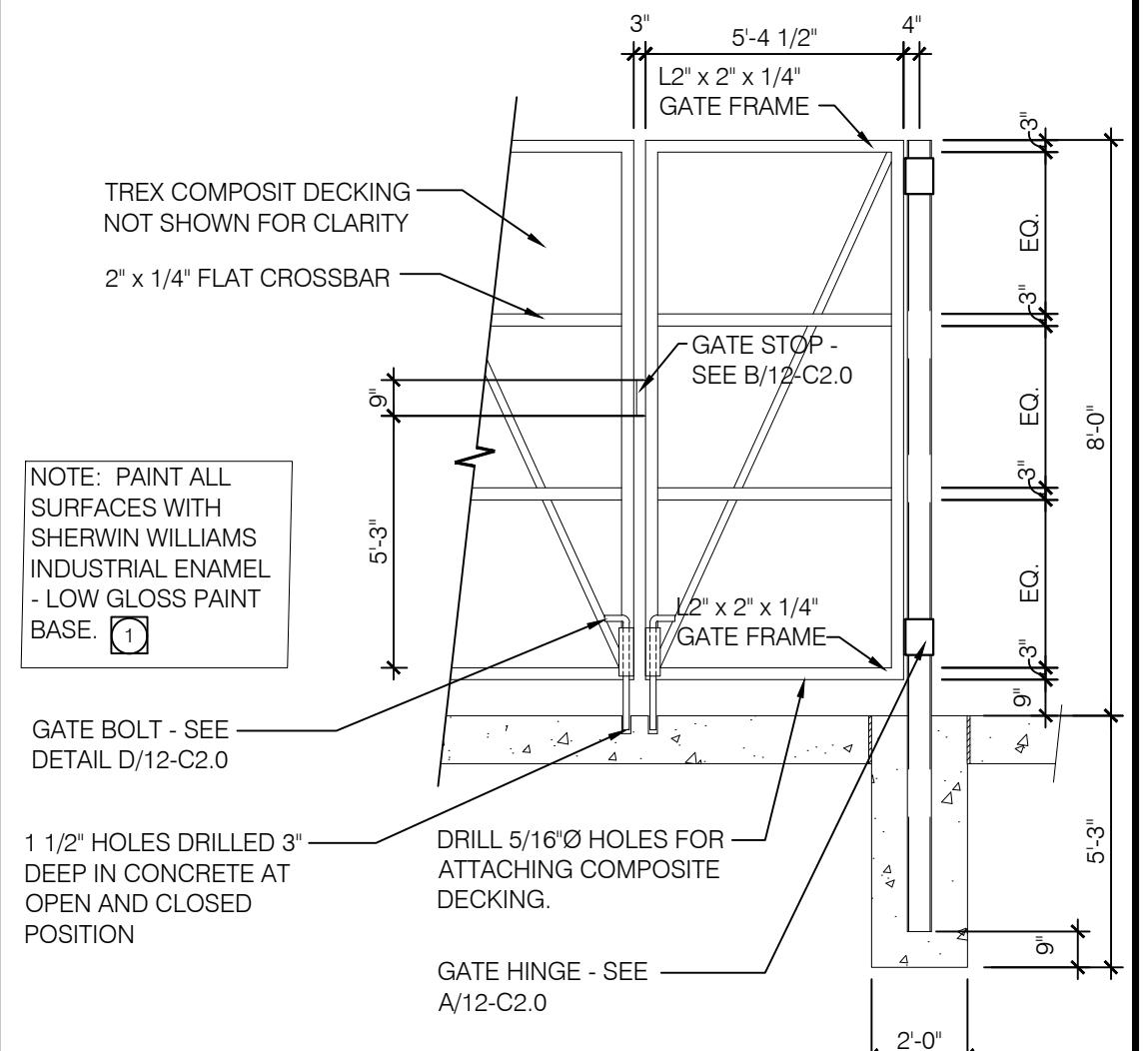
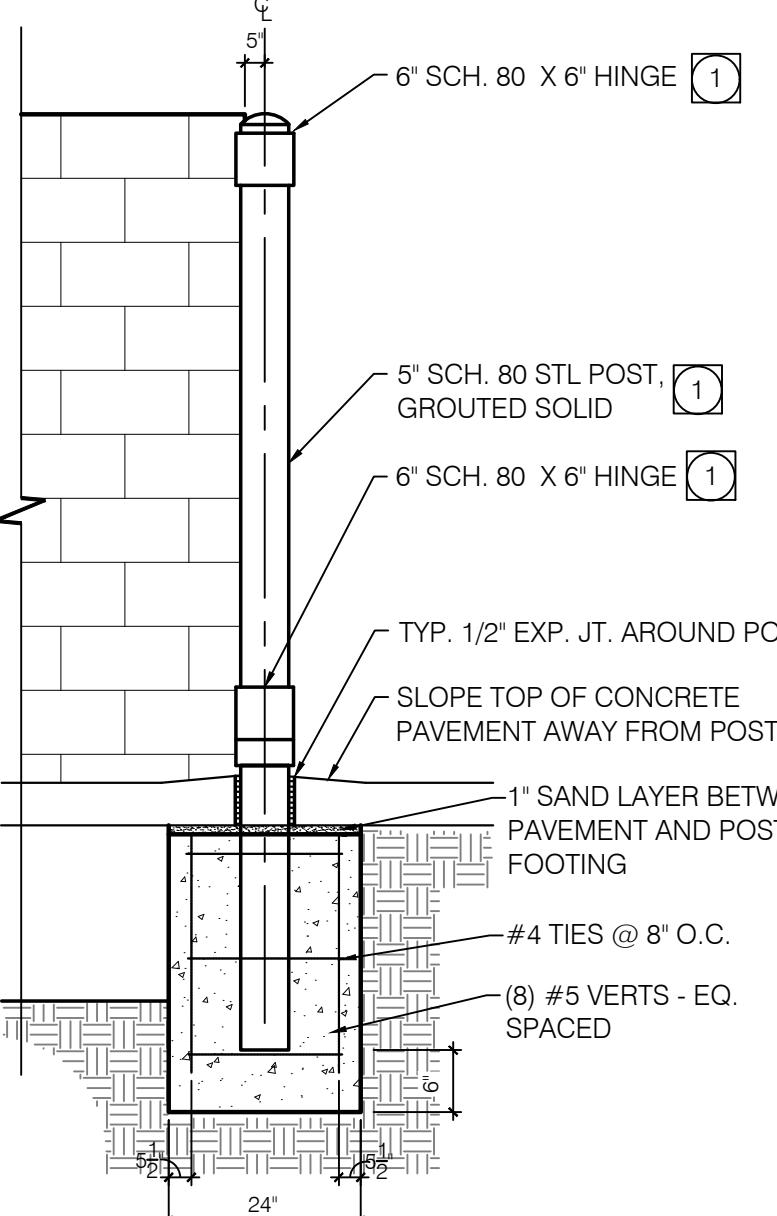
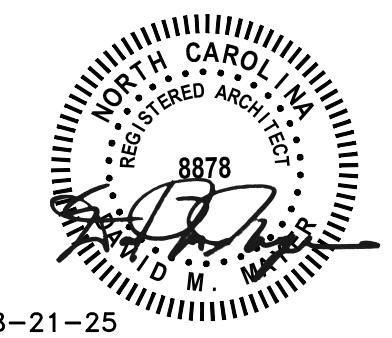
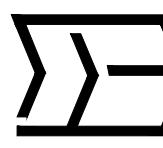
EXTERIOR ELEVATIONS

A4.1

FRONT ELEVATION 1/4" = 1'-0" D

REAR ELEVATION 1/4" = 1'-0" C

GENERAL NOTES



FRONT ELEVATION 1/4" = 1'-0" 3

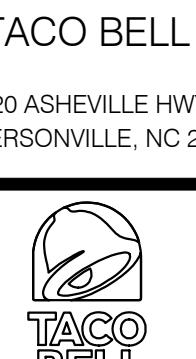
SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE FRAME COLOR	SHERWIN WILLIAMS	CYBERSPACE (SW7076)
2	PIPE BOLLARDS	SHERWIN WILLIAMS	CAUTION YELLOW
3	GATE FENCING	TREX SELECT	WINCHESTER GREY
4	DUMPSTER WALL	SHERWIN WILLIAMS	WORLDLY GRAY (SW7043)

GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.
GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.
GATE NOTES: (4) EQUAL WIDE x 8'-0" HIGH MTL. GATES, TREX SELECT COMPOSITE - SQUARE PROFILE DECKING BOARDS W/ 1 X .1875 STEEL BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL COMPONENTS.

ENCLOSURE NOTES N.T.S. 8

SCHEDULE N.T.S. 4

CONTRACT DATE: 07.25.2025
BUILDING TYPE: MED 40
PLAN VERSION: -
BRAND DESIGNER: -
SITE NUMBER: -
STORE NUMBER: 042423



ENDEAVOR 2.0

DUMPSTER
PLAN/DETAIL

C2.0

PLOT DATE: 05.20.2025