

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: August 15, 2023

SUBJECT: Revised Major Site Plan Review Ingles #140

PRESENTER: Matt Champion, Zoning Administrator

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Retail Sales & Service SR 7.16, Convenience Store SR 7.4, Fuel Pumps SR 2.5, Car Wash SR 6.5

Suggested Motion: I move that the TRC approve/deny the revised major site plan for Ingles #140



Henderson County, North Carolina Code Enforcement Services

1. **Committee Request**

- 1.1. **Applicant:** Preston Kendall with Ingles Markets, Inc.
- 1.2. **Request:** Revised Major Site Plan Approval
- 1.3. **PINs:** 9652-31-4347, 9652-31-6641, & 9652-31-6277
- 1.4. **Size:** 11.2 acres +/-
- 1.5. **Location:** The subject area is located off Hendersonville Road (US 25) across from the Butler Bridge/Hendersonville Rd intersection.
- 1.6. **Supplemental Requirements:**

SR 7.16. Retail Sales and Services Greater than 100,000 Square Feet but Less than or Equal to 150,000 Square Feet (of Gross Floor Area)

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Separation. *Structures* shall not be placed within 75 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*).
- (4) Road Frontage. One hundred (100) or more feet.
- (5) Sign Areas. A minimum of 100 square feet of planted area (minimum five (5) foot width) shall be provided around the base of any freestanding *sign*.
- (6) Pedestrian Facilities. Sidewalks shall be a minimum of five (5) feet wide, excluding curb width.

SR 7.4. Convenience Store

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

SR 2.5. Fuel Pumps

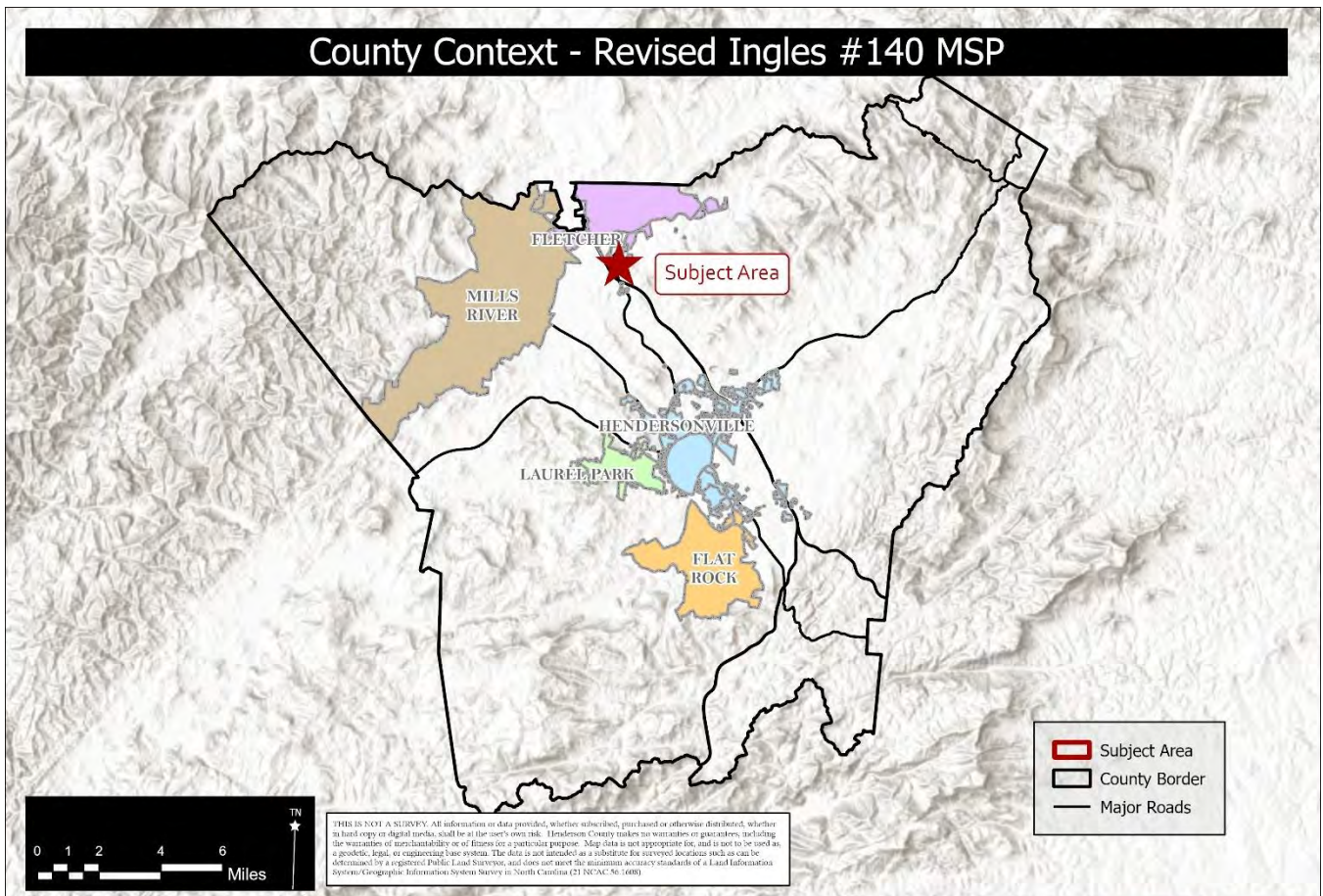
- (1) Structure Requirements. Fuel pumps may be covered by a canopy which shall not exceed 25 feet in height.
- (2) Separation Requirements. Fuel pumps shall not be placed within 100 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*), *school*, *library*, day care facility, healthcare facility, *park*, and/or *religious institution*.
- (3) Location of Drives. *Driveways* shall not be located closer than 50 feet to one another and no more than two (2) on a single *road*.

SR 6.5. Car Wash (Automatic and Self Service)

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).

- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Structure. All associated lanes and *driveways* shall be covered with an all-weather surface.
- (4) Parking/Drive. Parking areas/stacking facilities shall be designed to ensure parked/waiting *vehicles* do not block sidewalks, *driveways* or *roads*.
- (5) On-Site Drainage System. Provisions shall be made for an on-site drainage system to capture water used to wash *vehicles*. The drainage plan shall be evaluated by the *Zoning Administrator* to determine that the water from the facility will not have a detrimental effect on adjacent property, *roads* and/or surface waters.
- (6) Operations. Storage or repair of *vehicles* shall not be permitted within the car washing facility.
- (7) Screening. Screen Class Two (2) shall be provided consistent with the requirements of §42-181 (Screen Classification)).

Map A: County Context



Property Owner: Ingles Markets, Inc. Applicant: Preston Kendall
Assessed Acreage: 11.2 Acres PINs: 9652-31-6641, 9652-31-4347, & 9652-31-6277
Current Zoning: Regional Commercial (RC)



Map B: Aerial Map



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2. Current Conditions

2.1 Current Use: One of the subject area’s parcels contains an approximately 9,000SQFT warehouse structure. The rest of the subject is vacant with minimal improvements such as concrete.

2.2 Adjacent Area Uses: The surrounding properties consist of commercial and industrial uses. Smiley’s Market is located to the north of the subject area.

3. Current Zoning

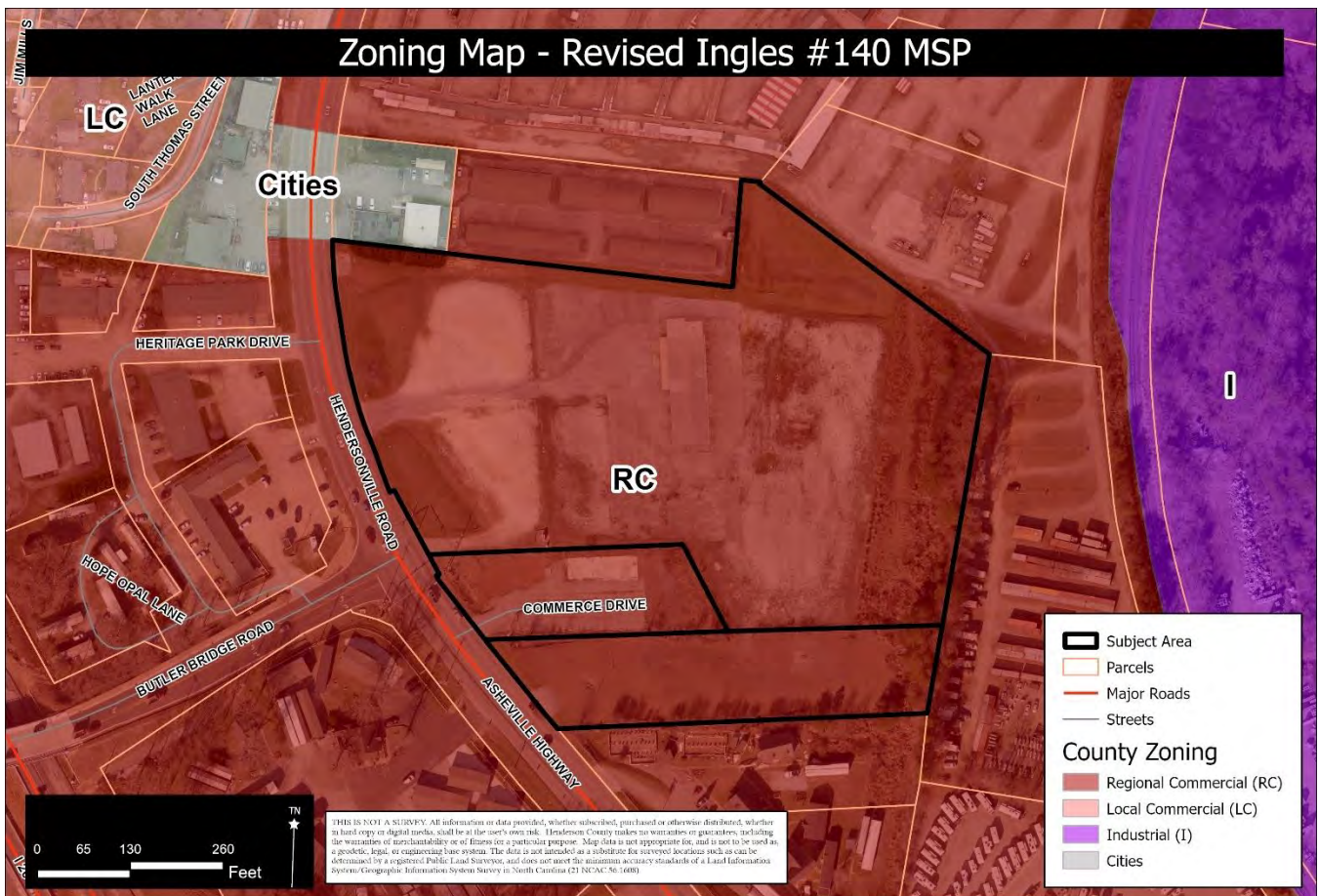
3.1. **Subject Area Zoning:** The subject area is currently zoned Regional Commercial (RC) by Henderson County.

3.2. **Adjacent Area Zoning:** The surrounding properties are zoned Regional Commercial (RC) to the north, east, south, and west. The Town of Fletcher’s C-1 and C-2 zoning district is found to the northwest of the subject area. Industrial (I) zoning is found to the east of the subject area across the railroad tracts.

3.2.1. Regional Commercial (RC): “The purpose of the Regional Commercial (RC) zoning district is to foster orderly growth where the principal use of land is commercial. The intent of this district is to allow for commercial development consistent with the

recommendations of the Comprehensive Plan. In accordance with the Comprehensive Plan, the district will allow for and provide commercial development that: (1) includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on the local, community, and regional level; (2) is directed largely to Community Service Centers as defined in the Comprehensive Plan; (3) is compatible with adjacent development and the surrounding community; and (4) will minimize congestion and sprawl. This general use district is meant to be utilized in areas designated as Urban (USA) in the Comprehensive Plan.” Residential density in Regional Commercial is sixteen (16) units per acre with a maximum impervious surface allowance of 80% (LDC §42-28).

Map C: Current Zoning

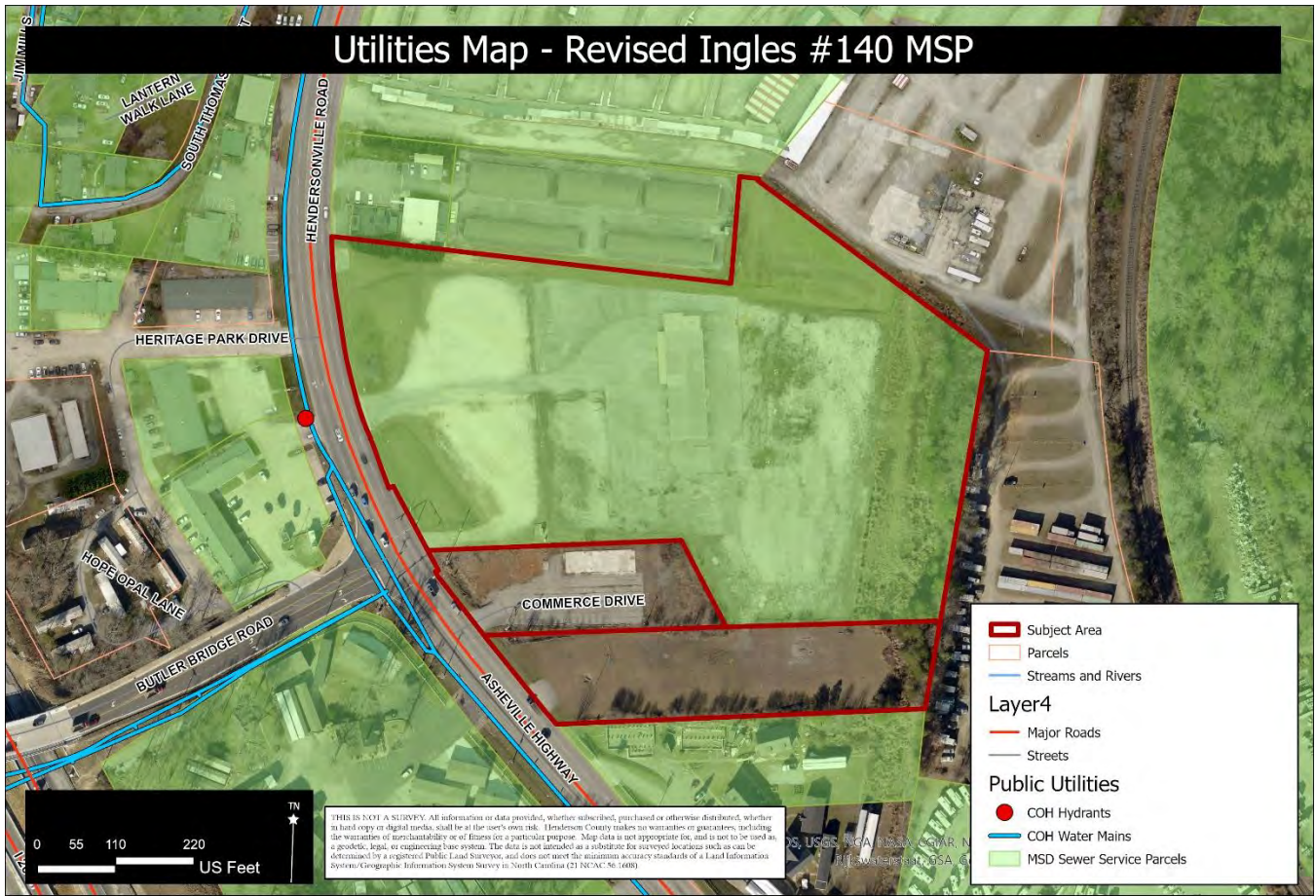


Property Owner: Ingles Markets, Inc. Applicant: Preston Kendall
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- Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

Map D: Utilities Map



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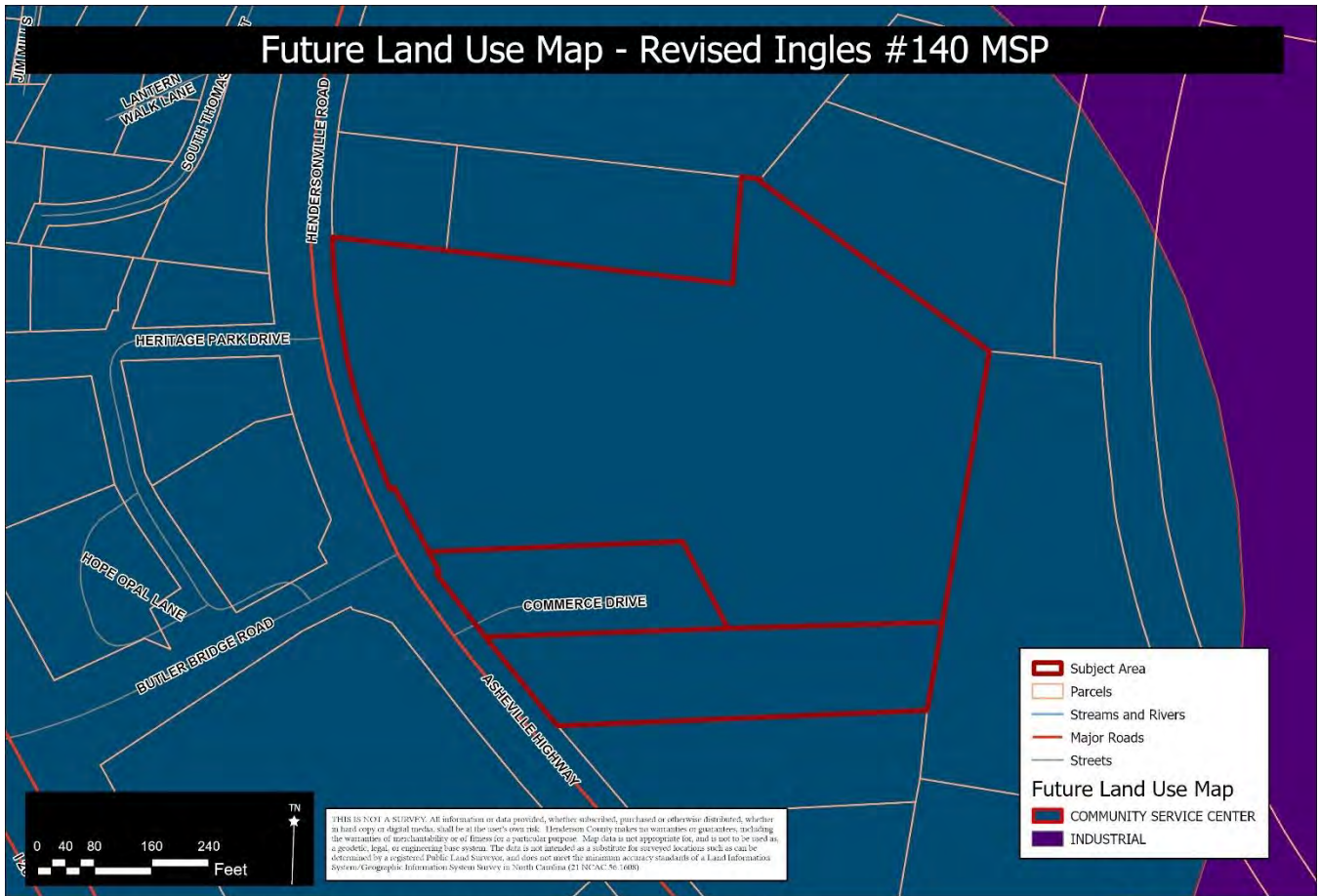


5. **Water and Sewer** The applicant is proposing connection to the City of Hendersonville public water and MSD public sewer to serve this property. The applicant has submitted a water availability request to the City of Hendersonville.

Public Water: Yes

Public Sewer: Yes

Map E: CCP Future Land Use Map



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 Current Zoning: Regional Commercial (RC)



6. Staff Comments

Henderson County Comprehensive Plan (CCP): The CCP Future Land Use Map places the Subject Area in the Urban Services Area classification and within a Community Service Center.

- a. **Urban Services Area:** “The USA will contain virtually all existing and future industrial development and will be the focus of future economic development activities. Industrial development will exist within predefined zoning districts whose standards and configuration are in keeping with the surrounding community.” (CCP, Pg. 133)
- b. **Community Service Centers:** “Community Service Centers are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. Community Service Centers are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and Community Facilities such as schools, parks, community centers, and other similar Community Facilities. The mixture and intensity of land uses contained within Community Service Centers are intended to be appropriate within the context of the surrounding community and intended service area. Community Service Centers should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.”

7. **Proposal** The applicant is proposing to construct a total of 114,166SQFT of retail sales and service space within 2 separate structures, a convenience store with gas/diesel pumps, and automatic carwash. The major site plan also shows a 9,600SQFT retail space that will be located on a outparcel. The major site plan also shows a total of 280 parking spaces to serve the entire property, with ADA accessible parking spaces throughout the subject area serving each structure. The major site plan also includes the following:
 - 7.1. 94,296SQFT grocery store
 - 7.2. 19,870SQFT retail space adjacent to the grocery store
 - 7.3. An unspecified 9,600SQFT retail store
 - 7.4. 6,125SQFT convenience store with gas and diesel pumps
 - 7.5. A drive through automatic carwash with vacuums
 - 7.6. Total of 8.9 acres of impervious surface area (79.5%)
 - 7.7. Total of 2.3 acres of pervious surface area (20.5%)
 - 7.8. Enclosed dumpster area
 - 7.9. Landscaped parking islands and grassed areas surrounding the site
 - 7.10. EV charging stations in the parking lots

8. **TIA** As part of this project, the applicant was required to submit a TIA to NCDOT. The revised major site plan shows 2 right-in and right-out access points into the property. The primary entrance to the property will be a signalized intersection directly across from where Butler Bridge Rd (SR1345) runs into US Hwy 25.

9. **Variance** The applicant has submitted a variance application, V-23-02, to reduce the front yard setback requirements from 30' to 25'. The Zoning Board of Adjustment will hold a quasi-judicial hearing on the request during their August 30th meeting. The variance request was due to additional right-of-way NCDOT requirement for improvements pertaining to ingress and egress.

10. **Landscaping & Buffering Requirements** The subject area is not required to buffer the permitter of the property since the surrounding properties all fall within the Regional Commercial (RC) zoning district. The subject area will have to provide a landscaping plan for the following elements:
 - 10.1. **Parking area landscaping** is required for new parking areas with 10 or more dedicated parking spaces. The parking area standards requires 1 small or large deciduous tree for every 5 parking spaces. Additionally, when no buffer is required along the property lines and parking is proposed within 20' of a property line, a planting strip is required. The planting strip is a minimum of 10' in width and shall contain 2 small or large deciduous or evergreen trees per 100 linear feet.
 - 10.2. **Car wash buffer/screening** requires a Screen Class Two (2) that consists of a row of conical evergreen plants (minimum of 8' in height at maturity) planted in the 15' area around that use and structure which is to be screened and spaced a maximum of 15' apart.
 - 10.3. **Dumpster screening** is required for a proposed solid waste collection facility. The dumpster will require a Screen Class One (1) Two (2) or Three (3) that are outlined in Section 42-181 Screen Classifications.

11. Oblique Aerial Photos

View from East



01/07/2022

View from North



01/06/2022

View from South



01/07/2022

View from West



01/07/2022

**HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION**

CONTACT INFORMATION

Property Owner:

Name: Ingles Markets, Inc. Phone: 828.669.2941
Complete Address: P.O. Box 6676, Asheville, NC 28816

Applicant:

Name: Ingles Markets, Inc. - Preston Kendall Phone: 828.669.2941
Complete Address: P.O. Box 6676, Asheville, NC 28816

Agent:

Name: _____ Phone: _____
Complete Address: _____
Agent Form (Circle One): Yes No

Plan Preparer:

Name: Land Planning Associates of NC, Inc - John Cox Phone: 864.242.6072
Complete Address: 110 West 1st Avenue, Easley, SC 29640

GENERAL INFORMATION

Date of Application: _____

Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: <u>9652316641</u>	Tract Size (Acres): <u>11.20</u>
Zoning District: <u>RC</u>	Fire District: _____
Supplemental Requirement# _____	Watershed: _____
Permitted by Right _____	Floodplain: _____
Special Use Permit _____	

Location / Property to be developed: 5620 Hendersonville Road, Fletcher, NC 28732

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No.	Date of Application	
County: Henderson		
Development Name: Ingles #140		

LOCATION OF PROPERTY:

Route/Road: Hendersonville Road

Exact Distance 1021 Miles Feet N S E W

From the Intersection of Route No. Hendersonville Road and Route No. US Hwy 26 Toward Fletcher

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other

Property: is is not within City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

SIGNATURES OF APPLICANT

PROPERTY OWNER (APPLICANT)		WITNESS	
COMPANY	X Ingles Markets, Inc. - Preston Kendall	NAME	X Tracy Caminiti
SIGNATURE	<i>Preston Kendall</i>	SIGNATURE	<i>Tracy Caminiti</i>
ADDRESS	X P.O. Box 6676, Asheville, NC 28816	ADDRESS	X PO Box 6676
	X Phone No. x828.669.2941		X Asheville NC 28816

AUTHORIZED AGENT		WITNESS	
COMPANY	_____	NAME	_____
SIGNATURE	_____	SIGNATURE	_____
ADDRESS	_____	ADDRESS	_____
	_____ Phone No. _____		_____

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

SIGNATURE DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE TITLE DATE

APPLICATION APPROVED BY DISTRICT ENGINEER

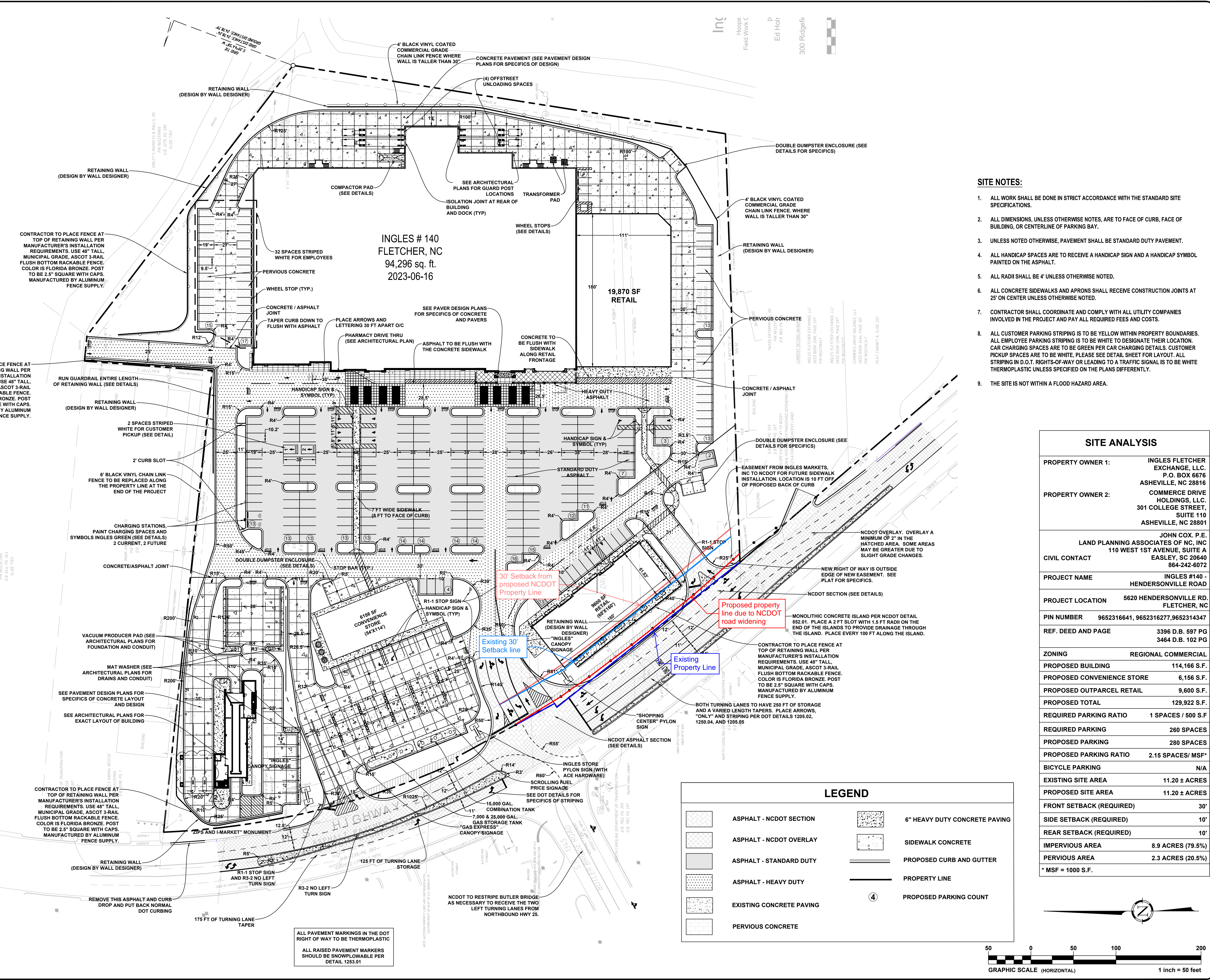
SIGNATURE DATE

INSPECTION BY NCDOT

SIGNATURE TITLE DATE

COMMENTS:

P:\01_18_2023\1845_Fletcher, NC - King Auto\DWG\Civil Drawings\C-104 SITE PLAN.dwg | Layout: C-104 SITE PLAN
 Jul 27, 2023 at 7:20 by asmm



- SITE NOTES:**
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STANDARD SITE SPECIFICATIONS.
 - ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY.
 - UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY PAVEMENT.
 - ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND A HANDICAP SYMBOL PAINTED ON THE ASPHALT.
 - ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
 - ALL CONCRETE SIDEWALKS AND APRONS SHALL RECEIVE CONSTRUCTION JOINTS AT 25' ON CENTER UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN THE PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
 - ALL CUSTOMER PARKING STRIPING IS TO BE YELLOW WITHIN PROPERTY BOUNDARIES. ALL EMPLOYEE PARKING STRIPING IS TO BE WHITE TO DESIGNATE THEIR LOCATION. CAR CHARGING SPACES ARE TO BE GREEN PER CAR CHARGING DETAILS. CUSTOMER PICKUP SPACES ARE TO BE WHITE. PLEASE SEE DETAIL SHEET FOR LAYOUT. ALL STRIPING IN D.O.T. RIGHTS-OF-WAY OR LEADING TO A TRAFFIC SIGNAL IS TO BE WHITE THERMOPLASTIC UNLESS SPECIFIED ON THE PLANS DIFFERENTLY.
 - THE SITE IS NOT WITHIN A FLOOD HAZARD AREA.

SITE ANALYSIS

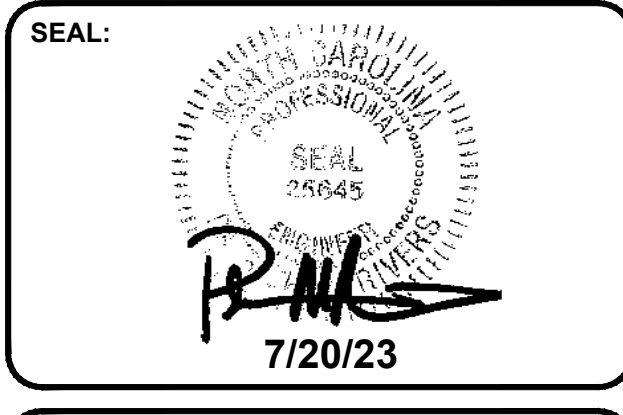
PROPERTY OWNER 1:	INGLES FLETCHER EXCHANGE, LLC. P.O. BOX 6676 ASHEVILLE, NC 28816
PROPERTY OWNER 2:	COMMERCE DRIVE HOLDINGS, LLC. 301 COLLEGE STREET, SUITE 110 ASHEVILLE, NC 28801
CIVIL CONTACT:	JOHN COX, P.E. LAND PLANNING ASSOCIATES OF NC, INC 110 WEST 1ST AVENUE, SUITE A EASLEY, SC 20640 864-242-6072
PROJECT NAME:	INGLES #140 - HENDERSONVILLE ROAD
PROJECT LOCATION:	5620 HENDERSONVILLE RD. FLETCHER, NC
PIN NUMBER:	9652316641, 9652316277, 9652314347
REF. DEED AND PAGE:	3396 D.B. 597 PG 3464 D.B. 102 PG
ZONING:	REGIONAL COMMERCIAL
PROPOSED BUILDING:	114,166 S.F.
PROPOSED CONVENIENCE STORE:	6,156 S.F.
PROPOSED OUTPARCEL RETAIL:	9,600 S.F.
PROPOSED TOTAL:	129,922 S.F.
REQUIRED PARKING RATIO:	1 SPACES / 500 S.F.
REQUIRED PARKING:	260 SPACES
PROPOSED PARKING:	280 SPACES
PROPOSED PARKING RATIO:	2.15 SPACES/ MSF*
BICYCLE PARKING:	N/A
EXISTING SITE AREA:	11.20 ± ACRES
PROPOSED SITE AREA:	11.20 ± ACRES
FRONT SETBACK (REQUIRED):	30'
SIDE SETBACK (REQUIRED):	10'
REAR SETBACK (REQUIRED):	10'
IMPERVIOUS AREA:	8.9 ACRES (79.5%)
PERVIOUS AREA:	2.3 ACRES (20.5%)
* MSF = 1000 S.F.	

LEGEND

	ASPHALT - NCDOT SECTION		6" HEAVY DUTY CONCRETE PAVING
	ASPHALT - NCDOT OVERLAY		SIDEWALK CONCRETE
	ASPHALT - STANDARD DUTY		PROPOSED CURB AND GUTTER
	ASPHALT - HEAVY DUTY		PROPERTY LINE
	EXISTING CONCRETE PAVING		PROPOSED PARKING COUNT
	PERVIOUS CONCRETE		

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED SITE ANALYSIS BLOCK	SCW
2	9/1/22	REVISED ZIPS PAY BOOTHS	SCW
3	6/28/23	REVISED PER DOT COMMENTS AND BUILDING CHANGE	JDC
4	7/20/23	REVISED JOINTS IN SIDEWALK AND RELOCATED CUSTOMER PICKUP	JDC



CORPORATE SEAL:



DBA
 LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@lpa-inc.net

ingles
 Markets Incorporated
STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

PROPERTY INFORMATION:

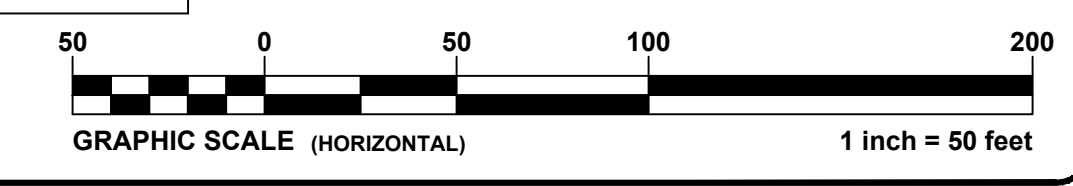
TAX MAP NUMBER:	9652316641, 9652316277
REFERENCE D.B. & PG:	DB 3396 PG 597
ADDITIONAL INFO:	9652314347 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:

PERMIT DATE:	
BID DATE:	
DRAWN BY:	PCB
DESIGN BY:	JDC
CHECKED BY:	PMR
DATE:	4/11/22
SCALE:	HORIZ. 1" = 50' VERT.
JOB NUMBER:	21.018

SITE PLAN

C-104
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC



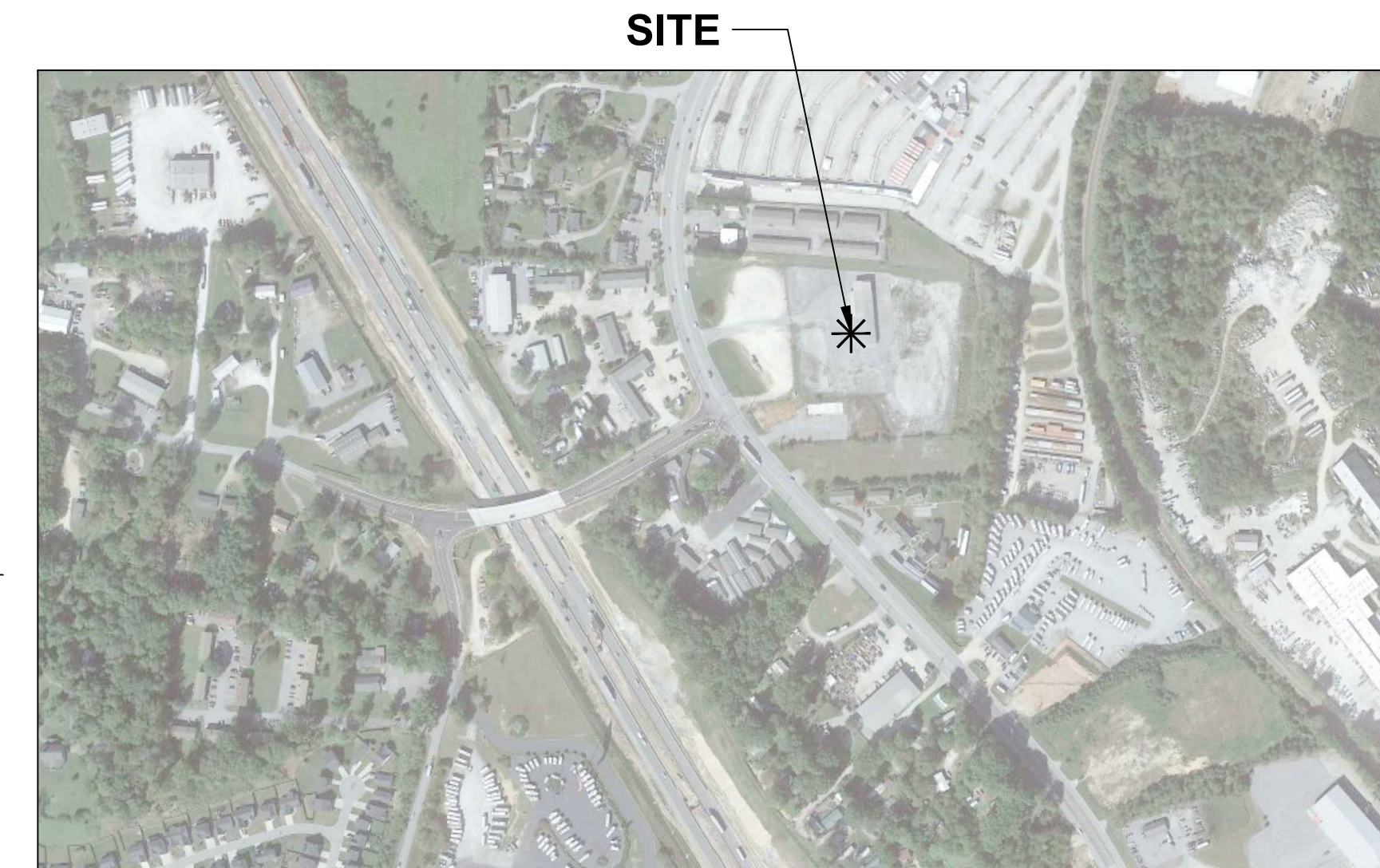
SITE DEVELOPMENT PLANS FOR

ingles

Markets Incorporated

STORE NO. 140

5620 HENDERSONVILLE ROAD FLETCHER, NC 28732



OWNER / DEVELOPER

OWNER 1

INGLES FLETCHER EXCHANGE, LLC
P.O. BOX 6676
ASHEVILLE, NC 28816
ATTN: RANDY JAMESON
(VP OF REAL ESTATE)

OWNER 2

COMMERCE DRIVE HOLDINGS, LLC
301 COLLEGE STREET, SUITE 110
ASHEVILLE, NC 28801
ATTN: ROBERT P INGLE II

CIVIL ENGINEER

LAND PLANNING ASSOCIATES OF NC, INC.
110 WEST 1ST AVENUE SUITE A
EASLEY, SC 29640
864.242.6072
ATTN: JOHN D. COX, PE

ARCHITECT

ROBERTSON LOIA ROOF, P.C.
3460 PRESTON RIDGE RD. SUITE 275
ALPHARETTA, GA 30005
770.674.2600
FAX: 678.319.0745
ATTN: SAMIA COKER

LANDSCAPE ARCHITECT

DESIGN ASSOCIATES
1293 HENDERSONVILLE RD. SUITE 21
ASHEVILLE, NC 28803
828.277.7410
ATTN: CLAY MOONEY

GOVERNING AGENCIES

WATER
CITY OF HENDERSONVILLE WATER
160 6TH AVE. EAST
HENDERSONVILLE, NC 28792
828.243.3740
ATTN: ADAM STUERER

NCDOT
4142 HAYWOOD ROAD
MILLS RIVER, NC 28742
828.891.7911
ATTN: TROY WILSON

SANITARY SEWER
METROPOLITAN SEWER DISTRICT
2028 RIVERSIDE DRIVE
ASHEVILLE, NC 28804
828.225.8289
ATTN: KEVIN JOHNSON

TELEPHONE
AT&T
24 O'HENRY AVENUE
ASHEVILLE, NC 28801
828.279.3114
ATTN: MATT STRICKLAND

STORMWATER & EROSION CONTROL
HENDERSON COUNTY
240 SECOND AVENUE EAST
HENDERSONVILLE, NC 28792
828.694.6553
ATTN: NATALIE BERRY

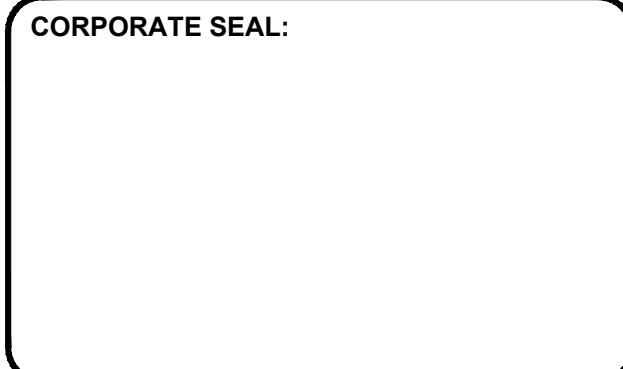
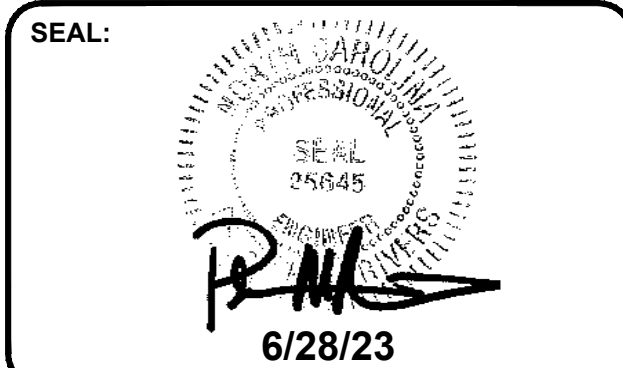
PLANNING DEPARTMENT
HENDERSON COUNTY
100 NORTH KING STREET
HENDERSONVILLE, NC 28792
828.694.6555
ATTN: MATT CHAMPION

CIVIL DRAWING LIST

SHEET	TITLE
C-100	COVER SHEET
C-101	EXISTING CONDITIONS
C-102	DEMOLITION PLAN
C-103	EROSION CONTROL PHASE I
C-103B	EROSION CONTROL PHASE II
C-104	SITE PLAN
C-105	GRADING AND STORMWATER PLAN
C-106	UTILITY PLAN
C-107	OVERLAY PLAN
C-108	STORMWATER PLAN AND PROFILE
C-109	STORMWATER PLAN AND PROFILE
C-110	STORMWATER PLAN AND PROFILE
C-111	SEWER PLAN AND PROFILE
C-112	SEWER PLAN AND PROFILE
C-113	SITE DETAILS
C-114	SITE AND UTILITY DETAILS
C-115	UTILITY DETAILS
C-116	EROSION CONTROL DETAILS
C-117	EROSION CONTROL DETAILS
C-118	SEEDING NOTES
C-119	SEEDING NOTES
C-120	DUMPSTER ENCLOSURE DETAILS
C-121	NCDOT DETAILS
C-121A	NCDOT DETAILS
C-121B	NCDOT DETAILS
C-122	TOPSOIL PLAN
C-123	CAR CHARGING DETAILS
C-124	UNDERGROUND DETENTION DETAILS
C-125	UNDERGROUND DETENTION DETAILS

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED CONTACTS	SCW
2	6/28/23	ADDED NCDOT DETAIL SHEETS REVISED NCDOT CONTACT	JDC



DBA
LAND PLANNING ASSOCIATES OF NC, INC.
110 WEST 1ST AVENUE - SUITE A
EASLEY, SC 29640
864.242.6072
design@lpa-inc.net



STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER NC

PROPERTY INFORMATION:

TAX MAP NUMBER: 9652316641, 9652316277
REFERENCE D.B. & PG: DB 3396 PG 597
ADDITIONAL INFO: 9652314347
DB 3464 PG 102

ISSUE FOR CONSTRUCTION:

PERMIT DATE:
BID DATE:

DRAWN BY:	PCB
DESIGN BY:	JDC
CHECKED BY:	PMR
DATE:	4/19/22
SCALE:	HORIZ. VERT.
JOB NUMBER:	21.018

COVER SHEET

C-100

STORE #140
HENDERSONVILLE ROAD
FLETCHER NC

P:\19\18\ingles\140_Fletcher_NC - King\AutoDWG\Civil Drawings\C-100 COVER.dwg | Layout: C-100 COVER | Jul 03, 2023 at 10:10 by jpbm

LINE TYPE LEGEND	
---	PROPERTY LINE (SURVEYED)
---	DEED / PLAT LINE (NOT SURVEYED UNLESS CONTAINS BEARING AND DISTANCE)
---	UNDERGROUND WATER LINE
---	UNDERGROUND SANITARY SEWER LINE
---	OVERHEAD UTILITY LINE
---	EXISTING UNDERGROUND STORMWATER LINE
---	EDGE OF CONCRETE
---	CONCRETE CURB
---	ROAD RIGHT-OF-WAY LINE
---	FENCE (AS DESCRIBED)
---	BUILDING SETBACK LINE
---	UNDERGROUND COMMUNICATIONS LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND GAS LINE
---	GUARD RAIL
---	EDGE OF GRAVEL

ABBREVIATION LEGEND	
NC DOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE
N	NORTHING
E	EASTING
EL	ELEVATION
GNSS	GLOBAL NAVIGATION SATELLITE SYSTEM
INV.	INVERT
AT	CONCRETE CURB
PI	PARCEL IDENTIFIER NUMBER
S.R.	STATE ROAD
EB	ELECTRICAL BOX
TSB	TRAFFIC SIGNAL BOX
EB	ELECTRICAL BOX
AG	ABOVE GRADE
BG	BELOW GRADE
TTL	TOTAL
TDP	TRUNCATED DOME PLATE
D.B.	DEED BOOK
P.C.	PLAT BOOK
SL	SLIDE

The following information applies to the GNSS portion of the survey:

Horizontal Positional Accuracy: 0.002 Meters
 Vertical Positional Accuracy: 0.005 Meters
 Type of GNSS Field Procedure: Static
 Date of Survey: 9/16/19
 Vertical Datum/EPOCH: NAD 83 (2011)
 Horizontal/Vertical Control: NGS Monument "Cranston Az Mk"
 Geoid 18
 Combined Grid Factor: 0.9997804
 Units: U.S. Survey Feet

To: Ingles Markets, Inc., Chicago Title Insurance Company, and their respective successors and assigns, as their interests may appear.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 8, 13, 16-19 of Table A thereof. The fieldwork was completed on 6-8-2021.

Date of Plat or Map: 6-9-2021

Phillip B. White
 (Surveyor's signature)

Print name: Phillip B. White, PLS
 Professional Land Surveyor No. L-4994

Chicago Title Insurance Company
 Commitment Number: 19-17441CH
 Commitment Date: September 13, 2019 at 5:00 PM

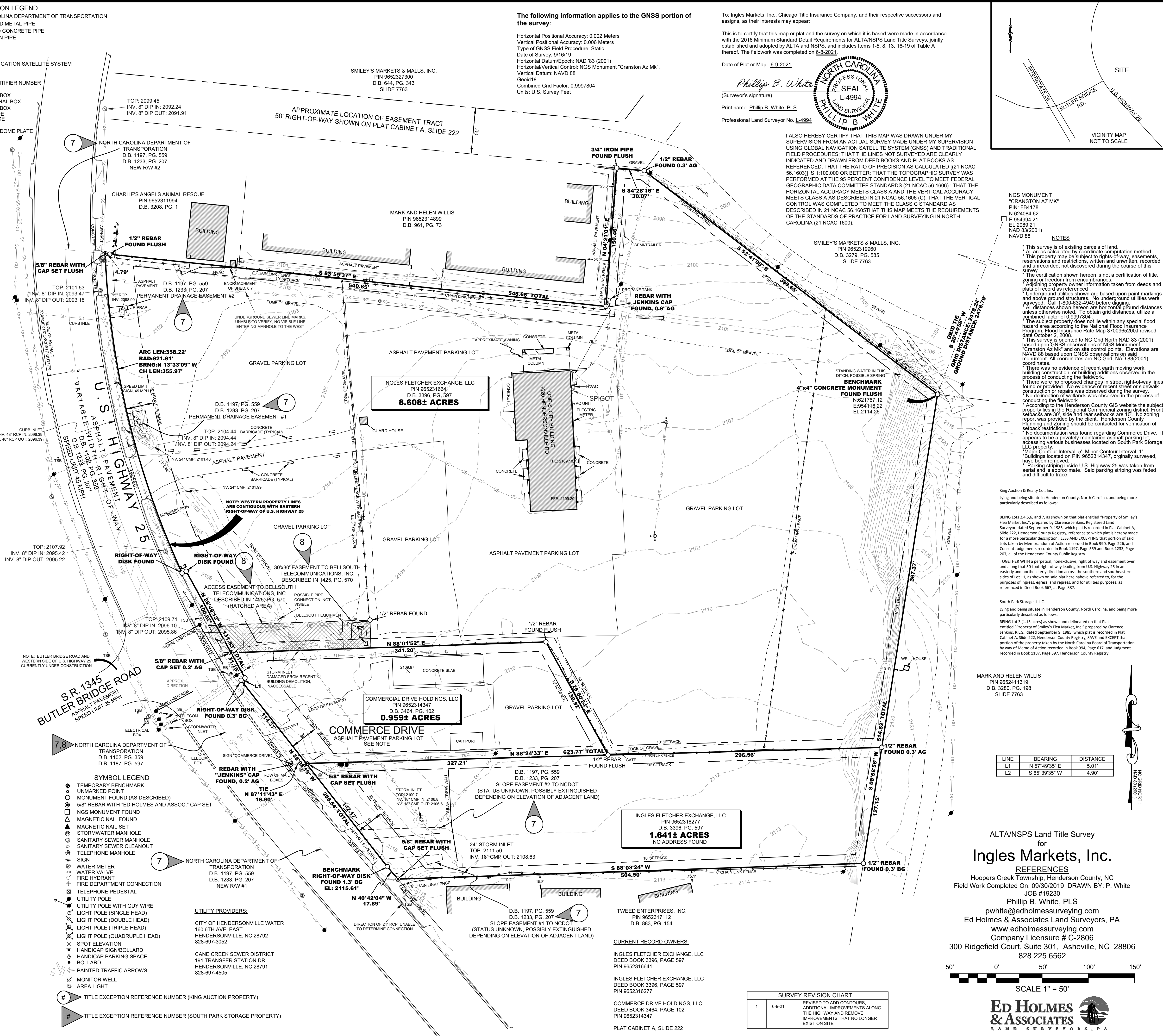
SCHEDULE B, PART II - EXCEPTIONS FOR SOUTH PARK STORAGE, L.L.C. PROPERTY

1	Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.	Not survey related
2	Taxes or assessments for the year 2020, and subsequent years, not yet due or payable.	Not survey related
3	Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the boundary of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land.	Title is not survey related
4	The correctness of the square footage/acreage computation contained in the description of the Land is not insured.	Not survey related, area, as calculated from survey, is shown hereon
5	Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Cabinet A, Slide 222.	Any items shown on Plat Cabinet A, Slide 222, affecting the subject property, observed during the course of the survey, are shown hereon
6	Covenants, conditions, restrictions, easements, and liens provided for in instrument(s) filed for record in Book 700, page 569, and any related maps, plans, bylaws and other document(s) and amendment(s), but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.	restriction regarding business type allowed, not survey related, blanket easement for billboard, shown on Plat Cabinet A, Slide 222 (billboard and billboard easement was purchased and extinguished per D.B. 1197, PG. 597)
7	Memorandum of Action recorded in Book 994, Page 617, and Consent Judgment recorded in Book 1102, Page 359	Fee simple title to property acquired by North Carolina Department of Transportation, inside the right-of-way of U.S. Highway 25, shown hereon
8	Consent Judgment recorded in Book 1187, Page 597.	Fee simple title to property acquired by North Carolina Department of Transportation, inside the right-of-way of U.S. Highway 25, shown hereon

Chicago Title Insurance Company
 Commitment Number: 19-17441CH
 Commitment Date: September 13, 2019 at 5:00 PM

SCHEDULE B, PART II - EXCEPTIONS FOR KING AUCTION & REALTY CO., INC. PROPERTY

1	Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met.	Not survey related
2	Taxes or assessments for the year 2020, and subsequent years, not yet due or payable.	Not survey related
3	Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachment, encumbrance, violation, variation, overlap, setback, easement or claims of easement, riparian right, and title to land within roads, ways, railroads, watercourses, burial grounds, marshes, dredged or filled areas or land below the mean highwater mark or within the boundary of any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the Land.	Title is not survey related
4	Covenants, conditions, restrictions, easements, and liens provided for in instrument(s) filed for record in Book 607, page 231, Book 667, page 397, and any related maps, plans, bylaws and other document(s) and amendment(s), but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.	Affects the subject property, no plottable descriptions
5	Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Plat Cabinet A, Slide 222.	Any items shown on Plat Cabinet A, Slide 222, affecting the subject property, observed during the course of the survey, are shown hereon
6	Any right, easement, setback, interest, claim, encroachment, encumbrance, violation, variations or other adverse circumstance affecting the Title disclosed by plat(s) recorded in Slide 7763 and Slide 7763. (As to the Easement Tract Only)	Any items shown on said plats, affecting the subject property, observed during the course of the survey, are shown hereon
7	Memorandum of Action recorded in Book 990, Page 226, and related Consent Judgments recorded in Book 1197, Page 559, and Book 1233, Page 207.	Fee simple title to property acquired by North Carolina Department of Transportation, inside the right-of-way of U.S. Highway 25, shown hereon
8	Consent Judgment in favor of Bellsouth Telecommunications, Inc. recorded in Book 1425, Page 267, and re-recorded in Book 1425, Page 570.	Affects the subject property, shown hereon
9	Reciprocal conveyance of easements recorded in Book 669, Page 335. (As to the Easement Tract Only)	Reciprocal easements for utility and sewer lines lying in the portion of the property inside the right-of-way of U.S. Highway 25. Said portion of property was acquired fee simple by the North Carolina Department of Transportation in Deed Book 1233, Page 207.
10	Memorandum of Action recorded in Book 972, Page 470 and corresponding Consent Judgment recorded in Book 1089, Page 184. (As to the Easement Tract Only)	Area acquired by the North Carolina Department of Transportation, affect western portion of the Easement Tract.
11	Right of Way Agreement recorded in Book 1493, Page 9. (As to the Easement Tract Only)	Blanket Easement to Duke Energy Carolina, L.L.C. Appears to affect the Easement Tract, no plottable description.



NGS MONUMENT "CRANSTON AZ MK"
 PIN: FB478
 N 52°04'42" E
 E 954994.21
 EL: 2068.91
 NAD 83(2011)
 NAVD 88

NOTES

* This survey is of existing parcels of land.
 * All areas calculated by coordinate computation method.
 * This property may be subject to rights-of-way, easements, reservations and restrictions, written and unwritten, recorded and unrecorded, as discovered during the course of this survey.
 * This certification shown hereon is not a certification of title, zoning or freedom from encumbrances.
 * Adjoining property owner information taken from deeds and plats of record as referenced.
 * Underground utilities shown are based upon paint markings and above ground structures. No underground utilities were surveyed. Call 1-800-332-4949 before digging.
 * Distances shown between monuments are horizontal ground distances unless otherwise noted. To obtain grid distances, utilize a combined factor of 0.9997804.
 * The subject property does not lie within any special flood hazard area according to the National Flood Insurance Program, Flood Insurance Rate Map 3700955200J revised dated October 2, 2009.
 * This survey is oriented to NC Grid North NAD 83 (2011) based upon GNSS observations of NGS Monument "Cranston Az Mk" and on site control points. Elevations are NAVD 88 based upon GNSS observations on same monument. All coordinates are NC Grid, NAD 83(2011) coordinates.
 * There was no evidence of recent earth moving, building construction, or building additions observed in the process of conducting the fieldwork.
 * There were no proposed changes in street right-of-way lines found or provided. No evidence of recent street or sidewalk construction or repairs was observed during the survey.
 * The delineation of wetlands was observed in the process of conducting the fieldwork.
 * According to the Henderson County GIS website the subject property lies in the Regional Commercial zoning district. Front setbacks are 30' side and rear setbacks are 10'. No zoning report was provided by the client. Henderson County Planning and Zoning should be contacted for verification of setback restrictions.
 * No documentation was found regarding Commerce Drive. It appears to be a privately maintained asphalt parking lot, accessing various businesses located on South Park Storage, LLC property.
 * Major Contour Interval: 5' Minor Contour Interval: 1'
 * Buildings located on PIN 9652314347, originally surveyed, have been removed.
 * * Parking striping inside U.S. Highway 25 was taken from aerial and is approximate. Said parking striping was faded and difficult to trace.

King Auction & Realty Co., Inc.
 Lying and being situate in Henderson County, North Carolina, and being more particularly described as follows:

BEING Lots 2,4,5,6, and 7, shown on that plat entitled "Property of Smiley's Flea Market Inc.", prepared by Clarence Jenkins, Registered Land Surveyor, dated September 9, 1985, which plat is recorded in Plat Cabinet A, Slide 222, Henderson County Registry, referred to which plat is hereby made for a more particular description. LESS AND EXCEPTING that portion of said lots taken by Memorandum of Action recorded in Book 990, Page 226, and Consent Judgments recorded in Book 1197, Page 559 and Book 1233, Page 207, all of the Henderson County Public Registry.

TOGETHER with a perpetual, non-exclusive, right of way and easement over and along that 50-foot right of way leading from U.S. Highway 25 in an easterly and northeasterly direction across the southern and southeastern sides of Lot 1, as shown on said plat and hereby referred to, for the purposes of ingress, egress, and regress, and for utilities purposes, as referenced in Deed Book 667, at Page 387.

South Park Storage, L.L.C.
 Lying and being situate in Henderson County, North Carolina, and being more particularly described as follows:

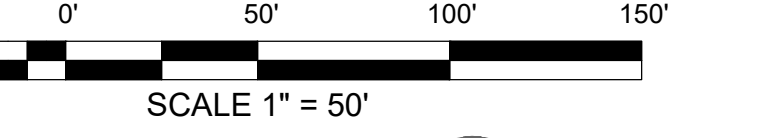
BEING Lot 11.55 acres shown and delineated on that Plat entitled "Property of Smiley's Flea Market, Inc." prepared by Clarence Jenkins, R.L.S., dated September 9, 1985, which plat is recorded in Plat Cabinet A, Slide 222, Henderson County Registry, and except that portion of the property taken by the North Carolina Board of Transportation by way of Memorandum of Action recorded in Book 994, Page 617, and Judgment recorded in Book 1187, Page 597, Henderson County Registry.

MARK AND HELEN WILLIS
 PIN 9652411319
 D.B. 3280, PG. 198
 SLIDE 7763

LINE	BEARING	DISTANCE
L1	N 57°49'35" E	5.01'
L2	S 65°39'35" W	4.90'

ALTA/NSPS Land Title Survey
 for
Ingles Markets, Inc.

REFERENCES
 Hoopers Creek Township, Henderson County, NC
 Field Work Completed On: 09/30/2019 DRAWN BY: P. White
 JOB #19230
 Phillip B. White, PLS
 pwhite@edholmessurveying.com
 Ed Holmes & Associates Land Surveyors, PA
 www.edholmessurveying.com
 Company Licensure # C-2806
 300 Ridgefield Court, Suite 301, Asheville, NC 28806
 828.225.6562



ED HOLMES & ASSOCIATES
 LAND SURVEYORS, P.A.

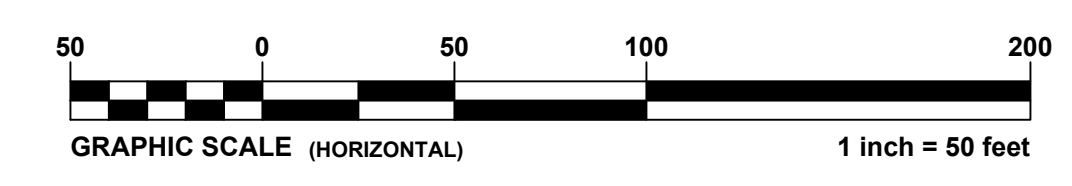
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 Jul 03, 2023 at 10:18 by jahn



- CIVIL DEMOLITION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE DEMOLITION AND REMOVAL OF THE STRUCTURES LOCATED ON THIS SITE.
 2. CONTRACTOR TO SAW-CUT EXISTING PAVEMENT AS REQUIRED TO REMOVE PAVEMENT AS REQUIRED.
 3. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE. BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR TWELVE INCHES (12"), WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER AND THE OWNER PRIOR TO PROCEEDING WITH CONSTRUCTION.
 4. THE CONTRACTOR SHALL REMOVE EXISTING STORM DRAIN LINES, ASPHALT PAVEMENT, CONCRETE CURB, AND ANY OTHER EXISTING CONDITION WHICH WILL INTERFERE WITH THE WORK AS PROPOSED ON THESE PLANS.
 5. DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 6. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DELIVERED TO A LICENSED TRANSFER STATION OR LANDFILL.
 7. THE TRENCHES WHERE EXISTING UTILITIES HAVE BEEN REMOVED OR RELOCATED SHALL BE RECOMPACTED TO 95% STANDARD PROCTOR.
 8. THE CONTRACTOR SHALL NOTIFY ALL PERTINENT UTILITY COMPANIES 48 HOURS PRIOR TO ANY DEMOLITION WORK. ALL DEMOLITION WORK SHALL BE COORDINATED WITH LOCAL UTILITY COMPANIES TO MINIMIZE IMPACTS ON UTILITY DOWN TIME.
 9. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BEFORE ANY DEMOLITION BEGINS (INCLUDES SEDIMENT BASIN SEEN ON EROSION CONTROL PHASE 1 PLAN)
 10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH SITE SPECIFICATIONS.

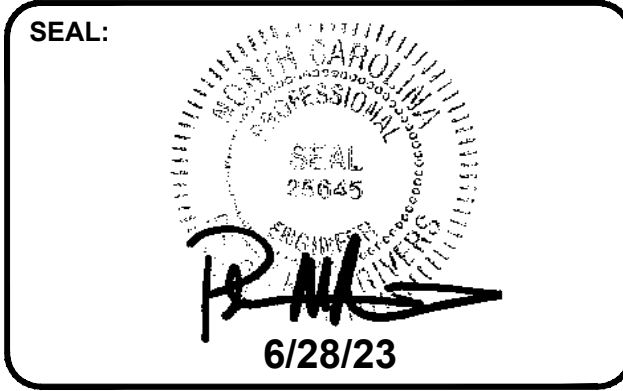
LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAIN STRUCTURE
		STORM DRAIN LINE
		CONTOURS
		EX. STORM DRAIN STRUCTURE TO BE REMOVED
		EX. STORM DRAIN PIPE TO BE REMOVED
		EX. SANITARY SEWER STRUCTURE TO BE REMOVED
		EX. SANITARY SEWER PIPE TO BE REMOVED
		EX. WATER LINE STRUCTURE TO BE REMOVED
		EX. WATER LINE TO BE REMOVED
		EX. GAS LINE TO BE REMOVED
		EX. POWER LINE TO BE REMOVED
		EX. CURB TO BE REMOVED
		EX. ASPHALT TO BE REMOVED
		EX. TREE TO BE REMOVED
		FLOODPLAIN
		FLOODWAY
		CREEK
		SILT FENCE
		DIVERSION BERM
		LIMITS OF DISTURBANCE
		INLET PROTECTION



REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED CIVIL DEMOLITION NOTES	SCW
2	6/28/23	REVISED TO INCLUDE NCDOT ROAD WORK	SCW



CORPORATE SEAL:



DBA
 LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@lpa-inc.net

ingles
 Markets Incorporated
 STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

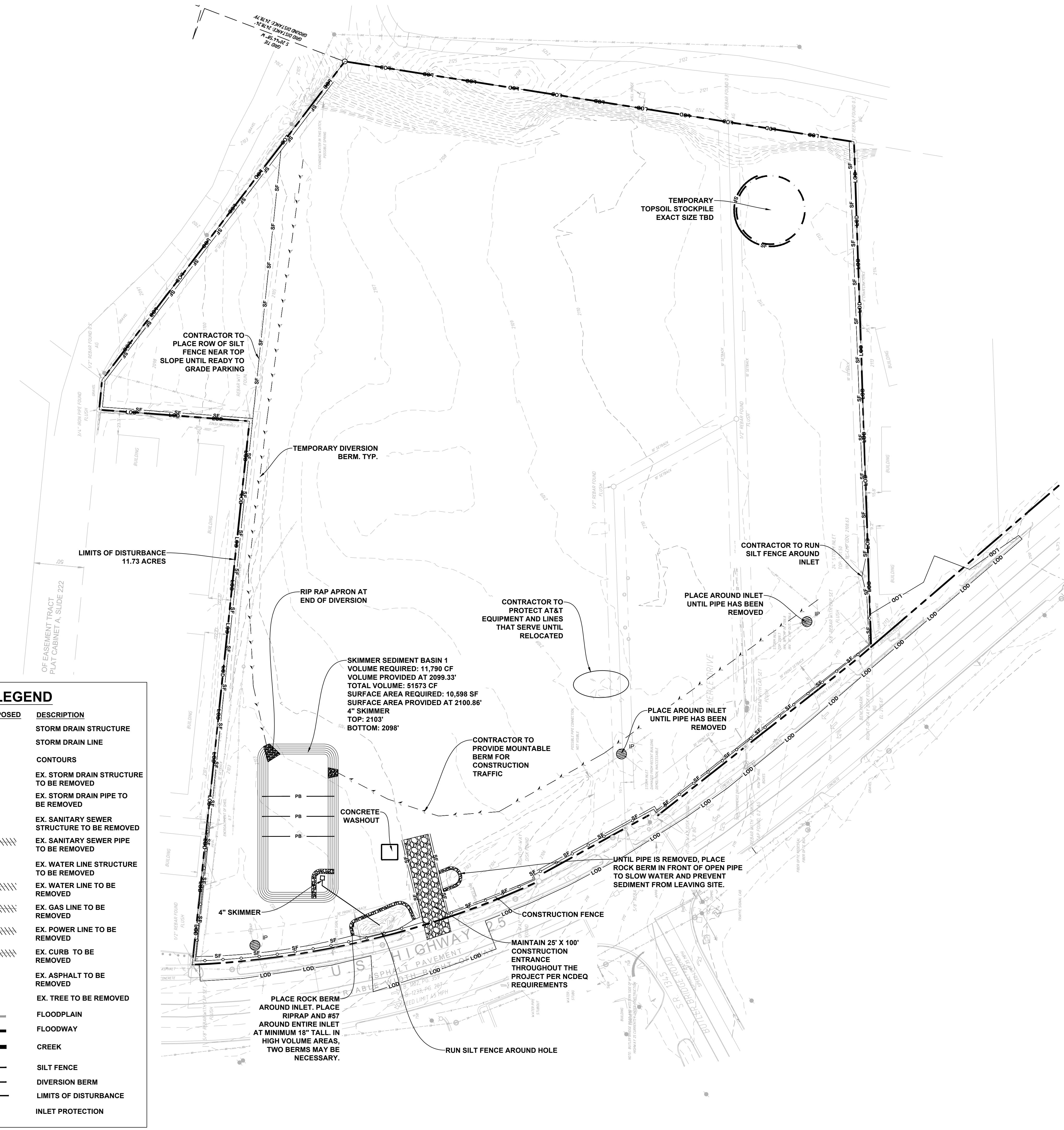
PROPERTY INFORMATION:
 TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:
 PERMIT DATE:
 BID DATE:

DRAWN BY: PCB
 DESIGN BY: JDC
 CHECKED BY: PMR
 DATE: 4/19/22
 SCALE: HORIZ. 1" = 50' VERT.
 JOB NUMBER: 21.018

DEMOLITION PLAN
C-102
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

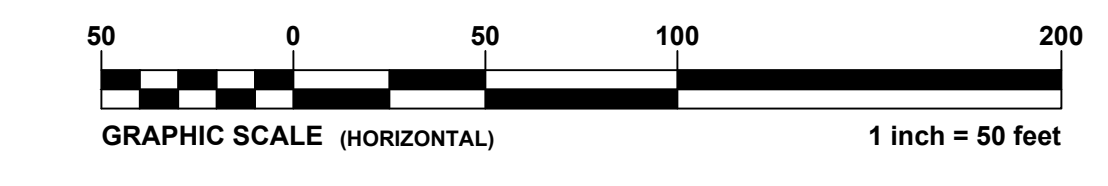
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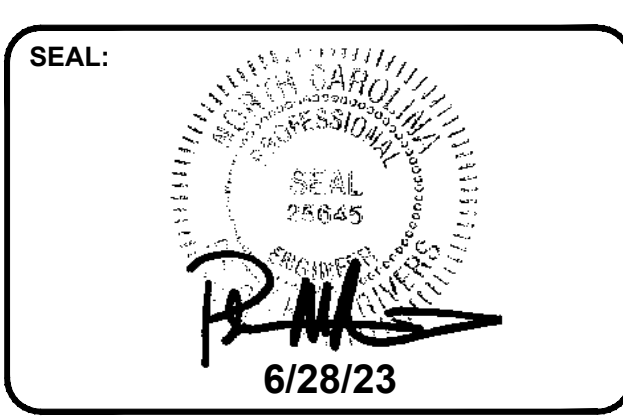
EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	STORM DRAIN STRUCTURE
[Symbol]	[Symbol]	STORM DRAIN LINE
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	EX. STORM DRAIN STRUCTURE TO BE REMOVED
[Symbol]	[Symbol]	EX. STORM DRAIN PIPE TO BE REMOVED
[Symbol]	[Symbol]	EX. SANITARY SEWER STRUCTURE TO BE REMOVED
[Symbol]	[Symbol]	EX. SANITARY SEWER PIPE TO BE REMOVED
[Symbol]	[Symbol]	EX. WATER LINE STRUCTURE TO BE REMOVED
[Symbol]	[Symbol]	EX. WATER LINE TO BE REMOVED
[Symbol]	[Symbol]	EX. GAS LINE TO BE REMOVED
[Symbol]	[Symbol]	EX. POWER LINE TO BE REMOVED
[Symbol]	[Symbol]	EX. CURB TO BE REMOVED
[Symbol]	[Symbol]	EX. ASPHALT TO BE REMOVED
[Symbol]	[Symbol]	EX. TREE TO BE REMOVED
[Symbol]	[Symbol]	FLOODPLAIN
[Symbol]	[Symbol]	FLOODWAY
[Symbol]	[Symbol]	CREEK
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	DIVERSION BERM
[Symbol]	[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	[Symbol]	INLET PROTECTION

- EROSION CONTROL NOTES**
- OWNERS: Ingles Fletcher Exchange, LLC. P.O. Box 6676 Asheville, NC 28816
Commerce Drive Holdings, LLC. 301 College Street, Suite 110 Asheville, NC 28801
 - DEED BOOK 3396 PAGE 597.
DEED BOOK 3464 PAGE 102.
 - 24 HOUR CONTACT - Preston Kendall - Ingles Markets Inc. 828-768-3992
 - LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES AND A PRECONSTRUCTION MEETING HAS BEEN COMMENCED.
 - NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - ALL EXPOSED AREAS SHALL BE SEEDDED AS SPECIFIED BY THE NPDES NCG01 GROUND STABILIZATION AND MATERIALS HANDLING NOTES AS SEEN ON SHEET C-117.
 - SHOULD CONSTRUCTION STOP FOR LONGER THAN 7 DAYS, SEE NPDES NCG01 GROUND STABILIZATION AND MATERIALS HANDLING NOTES REQUIRED GROUND STABILIZATION TIMEFRAMES CHART SEEN ON SHEET C-117.
 - MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN ACCORDING TO THE NPDES NCG01 SELF-INSPECTION, RECORD KEEPING, AND REPORTING NOTES AS SEEN ON SHEET C-117.
 - THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
 - GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
 - THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ON THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENTS, AS MAY BE REQUIRED. THE CONTRACTOR SHALL INSPECT, REPAIR, AND ADD STONE TO THE STONE CONSTRUCTION ENTRANCE WHEN IT BECOMES SATURATED WITH MUD TO INSURE THAT IT WORKS AS INTENDED.
 - TEMPORARY SEDIMENT CONTROL MEASURES (SILT FENCE, DIVERSIONS, CONSTRUCTION ENTRANCE, ETC.) SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
 - TOTAL DISTURBED AREA DURING CONSTRUCTION OF THE PROJECT IS 11.73 ACRES.
 - PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
 - ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY SEVEN (7) DAYS AND AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (1/2) INCH. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
 - GRADING CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES UNTIL GRASSING IS ESTABLISHED. OWNER WILL BE RESPONSIBLE FOR EROSION CONTROL MAINTENANCE THEREAFTER. HENDERSON COUNTY SITE DEVELOPMENT MUST APPROVE FINAL GROUND COVER.
 - ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION.
 - CONTRACTOR TO REFER TO THE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR THE STATE OF NORTH CAROLINA, FOR DETAILS AND SPECIFICATIONS FOR THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN.
 - IMMEDIATE RECEIVING WATER COURSE IS CANE CREEK. ULTIMATE RECEIVING WATER BODY IS FRENCH BROAD RIVER.
 - SOILS ON SITE ARE COMPOSED OF BRADSON GRAVELLY LOAM AND DELANCO LOAM.
 - SITE COORDINATES - LONGITUDE 82° 30' 37" LATITUDE 35° 24' 14"

- CONSTRUCTION SEQUENCE PHASE 1**
- OBTAIN LAND DISTURBANCE AND STORMWATER PERMITS FROM HENDERSON COUNTY
 - A PRE-DISTURBANCE NOTICE SHALL BE PROVIDED TO THE HENDERSON COUNTY INSPECTOR PRIOR TO BEGINNING WORK.
 - SUBMIT PDF COPIES OF STORMWATER COMPONENT SHOP DRAWINGS ONTO INGLES WEB PORTAL AND RECEIVE APPROVAL BY THE PROJECT ENGINEER PRIOR TO BEGINNING AND ORDERING MATERIALS.
 - INSTALL PERIMETER SILT FENCE, CONSTRUCTION ENTRANCE AND CONSTRUCTION FENCING (1 WEEK)
 - INSTALL INLET PROTECTION ON EXISTING PIPE ENTRANCES AND GRATE INLETS. (1 DAY)
 - ONSITE INSPECTION BY INSPECTOR TO APPROVE PERIMETER CONTROL DEVICES
 - INSTALL SEDIMENT BASIN AND DIVERSION DITCHES (3 DAYS)
 - DEMOLISH STORMWATER PIPING, UTILITIES, FENCING, BUILDING, ETC. (2 WEEKS)
 - PROTECT AT&T CABINET AND LINES UNTIL IT CAN BE RELOCATED.
 - BEGIN CUT AND FILL ONSITE TO ACHIEVE PROPOSED SUBGRADE (3 WEEKS)
 - CONSTRUCT RETAININGS WALLS AS SHOWN ON THE DESIGN PLANS (1 MONTH)
 - BEGIN UTILITY INSTALLATION ONSITE. INSTALL UTILITY STUBS AT BUILDING TO PREPARE FOR FOOTING INSTALLATION. (2 WEEKS)
 - INSTALL BUILDING FOOTINGS AND FOUNDATION WALLS (3 WEEKS)



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE	SCW
2	6/28/23	REVISED TO INCLUDE NCDOT ROAD WORK	SCW



CORPORATE SEAL:



DBA
LAND PLANNING ASSOCIATES OF NC, INC.
110 WEST 1ST AVENUE - SUITE A
EASLEY, SC 29640
864.242.6072
design@lpa-inc.net

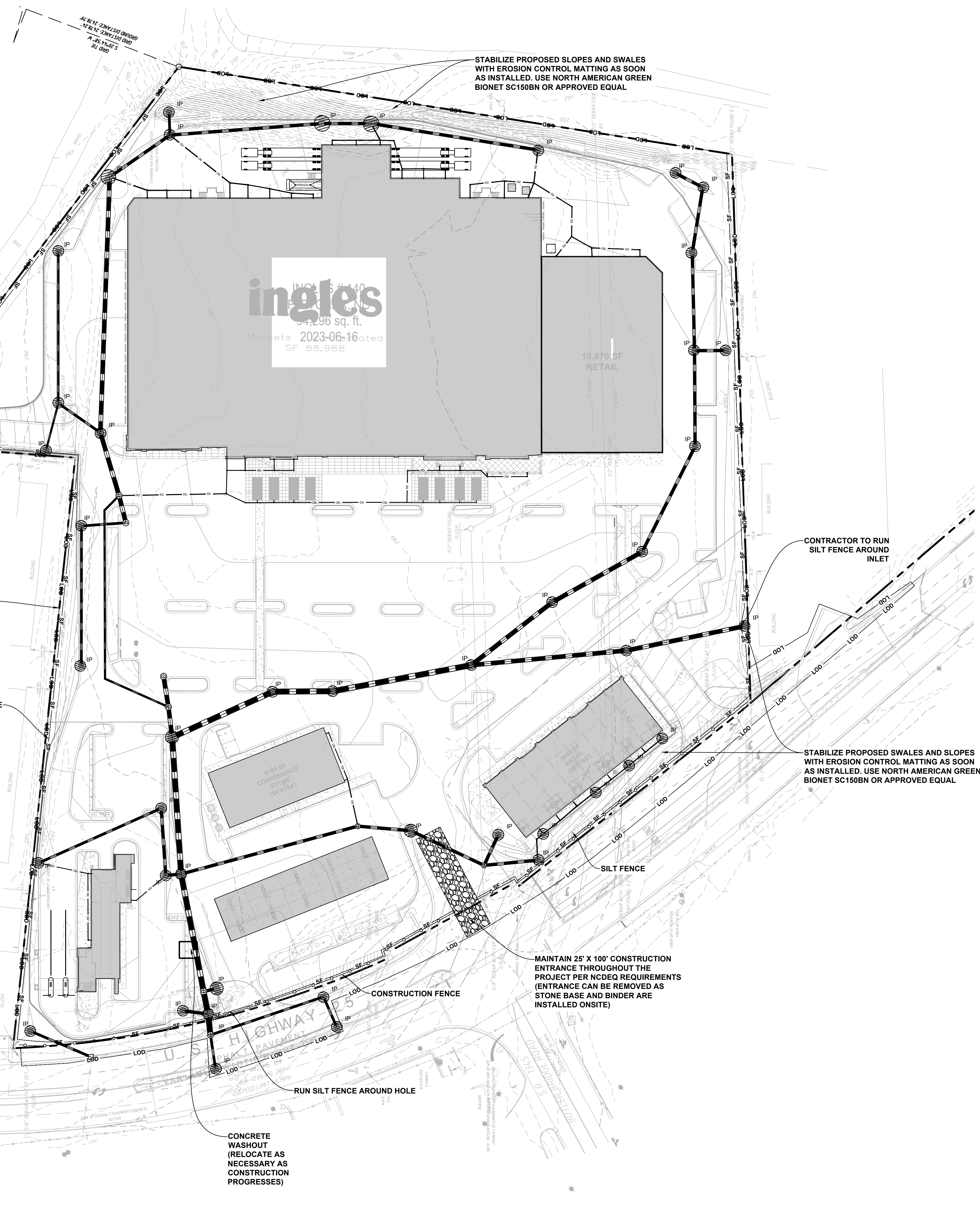
ingles
Markets Incorporated
STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER NC

PROPERTY INFORMATION:	
TAX MAP NUMBER:	9652316641, 9652316277
REFERENCE D.B. & PG:	DB 3396 PG 597
ADDITIONAL INFO:	9652314347 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:	
PERMIT DATE:	
BID DATE:	
DRAWN BY:	PCB
DESIGN BY:	JDC
CHECKED BY:	PMR
DATE:	4/19/22
SCALE:	HORIZ. 1" = 50' VERT.
JOB NUMBER:	21.018

**EROSION CONTROL
PHASE 1
PLAN**

C-103
STORE #140
HENDERSONVILLE ROAD
FLETCHER NC



EROSION CONTROL NOTES

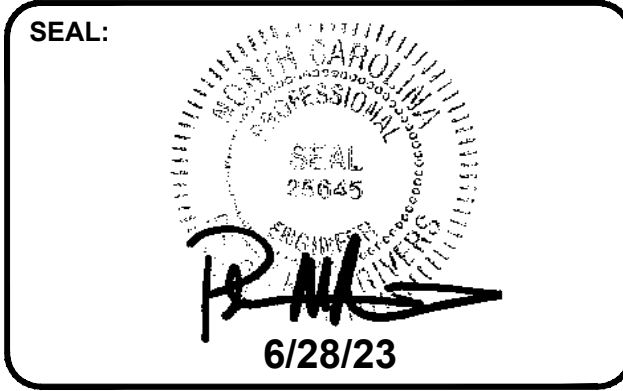
- OWNERS: Ingle's Fletcher Exchange, LLC. P.O. Box 6676 Asheville, NC 28816
Commerce Drive Holdings, LLC. 301 College Street, Suite 110 Asheville, NC 28801
- DEED BOOK 3396 PAGE 597.
DEED BOOK 3464 PAGE 102.
- 24 HOUR CONTACT - Preston Kendall - Ingle's Markets Inc. 828-768-3992
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES AND A PRECONSTRUCTION MEETING HAS BEEN COMMENCED.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDDED AS SPECIFIED BY THE NPDES NCG01 GROUND STABILIZATION AND MATERIALS HANDLING NOTES AS SEEN ON SHEET C-117.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 7 DAYS, SEE NPDES NCG01 GROUND STABILIZATION AND MATERIALS HANDLING NOTES REQUIRED GROUND STABILIZATION TIMEFRAMES CHART SEEN ON SHEET C-117.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN ACCORDING TO THE NPDES NCG01 SELF-INSPECTION, RECORD KEEPING, AND REPORTING NOTES AS SEEN ON SHEET C-117.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- GENERAL CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENTS, AS MAY BE REQUIRED. THE CONTRACTOR SHALL INSPECT, REPAIR, AND ADD STONE TO THE STONE CONSTRUCTION ENTRANCE WHEN IT BECOMES SATURATED WITH MUD TO INSURE THAT IT WORKS AS INTENDED.
- TEMPORARY SEDIMENT CONTROL MEASURES (SILT FENCE, DIVERSIONS, CONSTRUCTION ENTRANCE, ETC.) SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- TOTAL DISTURBED AREA DURING CONSTRUCTION OF THE PROJECT IS 11.73 ACRES.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED EVERY SEVEN (7) DAYS AND AFTER EACH RAINFALL OCCURRENCE THAT EXCEEDS ONE-HALF (1/2) INCH. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
- GRADING CONTRACTOR TO MAINTAIN EROSION CONTROL MEASURES UNTIL GRASSING IS ESTABLISHED. OWNER WILL BE RESPONSIBLE FOR EROSION CONTROL MAINTENANCE THEREAFTER. HENDERSON COUNTY SITE DEVELOPMENT MUST APPROVE FINAL GROUND COVER
- ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION.
- CONTRACTOR TO REFER TO THE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL FOR THE STATE OF NORTH CAROLINA, FOR DETAILS AND SPECIFICATIONS FOR THE EROSION CONTROL MEASURES OUTLINED ON THIS PLAN.
- IMMEDIATE RECEIVING WATER COURSE IS CANE CREEK. ULTIMATE RECEIVING WATER BODY IS FRENCH BROAD RIVER.
- SOILS ONSITE ARE COMPOSED OF BRADSON GRAVELLY LOAM AND DELANCO CLAY.
- SITE COORDINATES - LONGITUDE 82° 30' 37" LATITUDE 35° 24' 14"

CONSTRUCTION SEQUENCE PHASE 2

- INSTALL STORMDRAIN SYSTEM AND PLACE INLET PROTECTION AROUND EACH INLET AFTER COMPLETION (1 MONTH)
 - COMPLETE UNDERGROUND UTILITY INSTALLATION (1 WEEK)
 - INSTALL GAS EXPRESS FOOTINGS AND TANKS. INSTALL FOOTINGS FOR RETAIL BUILDINGS. (2 WEEKS)
 - CONSTRUCT GROCERY STORE, CONVENIENCE STORE, GAS CANOPY AND RETAIL BUILDINGS (7 MONTHS)
 - INSTALL CURB AND GUTTER AND REWORK INLET PROTECTION WITH INLET INSERTS (2 WEEKS)
 - MILL AND REPLACE ALL INCLUDED NCDOT ROADWAY AND INSTALL CONCRETE MEDIANS (2 WEEKS)
 - PLACE SIDEWALKS AND CONCRETE PAVEMENT (2 WEEKS)
 - INSTALL GRAVEL SUBBASE. AFTER A MAJORITY OF THE SUBBASE HAS BEEN INSTALLED TO THE SATISFACTION OF THE HENDERSON COUNTY INSPECTOR, THE SEDIMENT BASIN CAN BE CLOSED OUT, REMOVED, AND AREA FILLED IN (2 WEEKS)
 - AFTER SUBBASE HAS BEEN INSTALLED, PLACE ASPHALT PAVING. (1 WEEK)
 - PLANT LANDSCAPING AND STABILIZE GRASS AREAS TO THE SATISFACTION OF THE HENDERSON COUNTY EROSION CONTROL INSPECTOR. (2 WEEKS)
 - AFTER GRASS HAS REACHED 80% COVER, REMOVE REMAINING SILT FENCE AND INLET INSERTS (2 DAYS)
 - SEED ANY REMAINING AREAS THAT NEED TO BE TOUCHED UP WHERE SILT FENCING WAS REMOVED (1 DAY)
- PHASE 2- CONSTRUCTION TIME- 9 MONTHS
TOTAL CONSTRUCTION TIME- 15 MONTHS

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE	SCW
2	6/28/23	REVISED TO INCLUDE NCDOT ROAD WORK	SCW



CORPORATE SEAL:



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STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER NC

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JOB NUMBER:	21.018

EROSION CONTROL PHASE 2 PLAN

C-103B
STORE #140
HENDERSONVILLE ROAD
FLETCHER NC

LEGEND

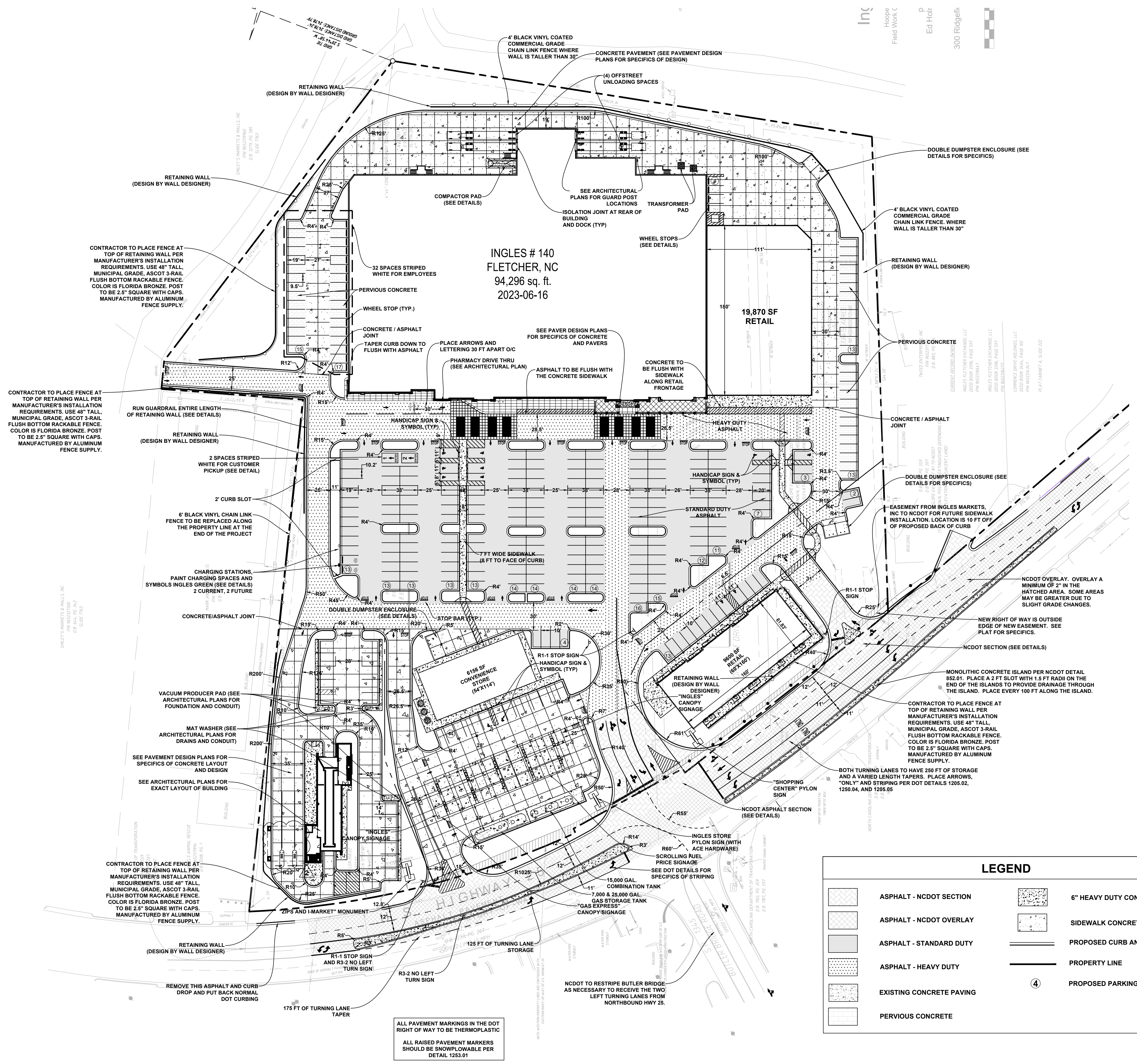
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		STORM DRAIN STRUCTURE
		STORM DRAIN LINE
		CONTOURS
		EX. STORM DRAIN STRUCTURE TO BE REMOVED
		EX. STORM DRAIN PIPE TO BE REMOVED
		EX. SANITARY SEWER STRUCTURE TO BE REMOVED
		EX. SANITARY SEWER PIPE TO BE REMOVED
		EX. WATER LINE STRUCTURE TO BE REMOVED
		EX. WATER LINE TO BE REMOVED
		EX. GAS LINE TO BE REMOVED
		EX. POWER LINE TO BE REMOVED
		EX. CURB TO BE REMOVED
		EX. ASPHALT TO BE REMOVED
		EX. TREE TO BE REMOVED
		FLOODPLAIN
		FLOODWAY
		CREEK
		SILT FENCE
		DIVERSION BERM
		LIMITS OF DISTURBANCE
		INLET PROTECTION

811 Know what's below. Call before you dig.

GRAPHIC SCALE (HORIZONTAL) 1 inch = 50 feet

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 Jul 03, 2023 at 10:53 by jpb



SITE NOTES:

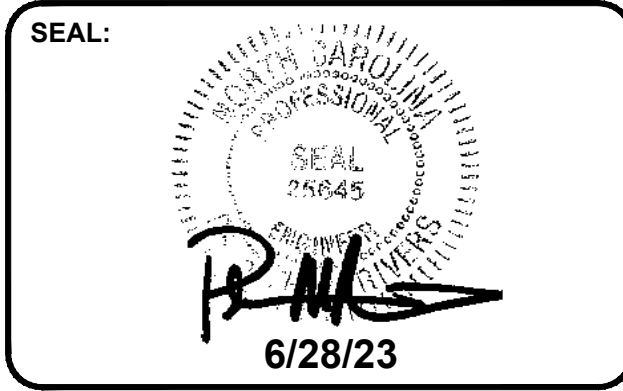
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE STANDARD SITE SPECIFICATIONS.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTES, ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF PARKING BAY.
- UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY PAVEMENT.
- ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND A HANDICAP SYMBOL PAINTED ON THE ASPHALT.
- ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
- ALL CONCRETE SIDEWALKS AND APRONS SHALL RECEIVE CONSTRUCTION JOINTS AT 25' ON CENTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN THE PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- ALL CUSTOMER PARKING STRIPING IS TO BE YELLOW WITHIN PROPERTY BOUNDARIES. ALL EMPLOYEE PARKING STRIPING IS TO BE WHITE TO DESIGNATE THEIR LOCATION. CAR CHARGING SPACES ARE TO BE GREEN PER CAR CHARGING DETAILS. CUSTOMER PICKUP SPACES ARE TO BE WHITE. PLEASE SEE DETAIL SHEET FOR LAYOUT. ALL STRIPING IN D.O.T. RIGHTS-OF-WAY OR LEADING TO A TRAFFIC SIGNAL IS TO BE WHITE THERMOPLASTIC UNLESS SPECIFIED ON THE PLANS DIFFERENTLY.
- THE SITE IS NOT WITHIN A FLOOD HAZARD AREA.

SITE ANALYSIS

PROPERTY OWNER 1:	INGLES FLETCHER EXCHANGE, LLC. P.O. BOX 6676 ASHEVILLE, NC 28816
PROPERTY OWNER 2:	COMMERCE DRIVE HOLDINGS, LLC. 301 COLLEGE STREET, SUITE 110 ASHEVILLE, NC 28801
CIVIL CONTACT:	JOHN COX, P.E. LAND PLANNING ASSOCIATES OF NC, INC 110 WEST 1ST AVENUE, SUITE A EASLEY, SC 20640 864-242-6072
PROJECT NAME:	INGLES #140 - HENDERSONVILLE ROAD
PROJECT LOCATION:	5620 HENDERSONVILLE RD. FLETCHER, NC
PIN NUMBER:	9652316641, 9652316277, 9652314347
REF. DEED AND PAGE:	3396 D.B. 597 PG 3464 D.B. 102 PG
ZONING:	REGIONAL COMMERCIAL
PROPOSED BUILDING:	114,166 S.F.
PROPOSED CONVENIENCE STORE:	6,156 S.F.
PROPOSED OUTPARCEL RETAIL:	9,600 S.F.
PROPOSED TOTAL:	129,922 S.F.
REQUIRED PARKING RATIO:	1 SPACES / 500 S.F.
REQUIRED PARKING:	260 SPACES
PROPOSED PARKING:	280 SPACES
PROPOSED PARKING RATIO:	2.15 SPACES/ MSF*
BICYCLE PARKING:	N/A
EXISTING SITE AREA:	11.20 ± ACRES
PROPOSED SITE AREA:	11.20 ± ACRES
FRONT SETBACK (REQUIRED):	30'
SIDE SETBACK (REQUIRED):	10'
REAR SETBACK (REQUIRED):	10'
IMPERVIOUS AREA:	8.9 ACRES (79.5%)
PERVIOUS AREA:	2.3 ACRES (20.5%)
* MSF = 1000 S.F.	

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED SITE ANALYSIS BLOCK	SCW
2	9/1/22	REVISED ZIPS PAY BOOTHS	SCW
3	6/28/23	REVISED PER DOT COMMENTS AND BUILDING CHANGE	JDC



CORPORATE SEAL:



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STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

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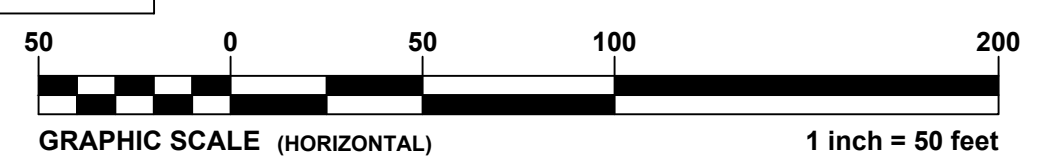
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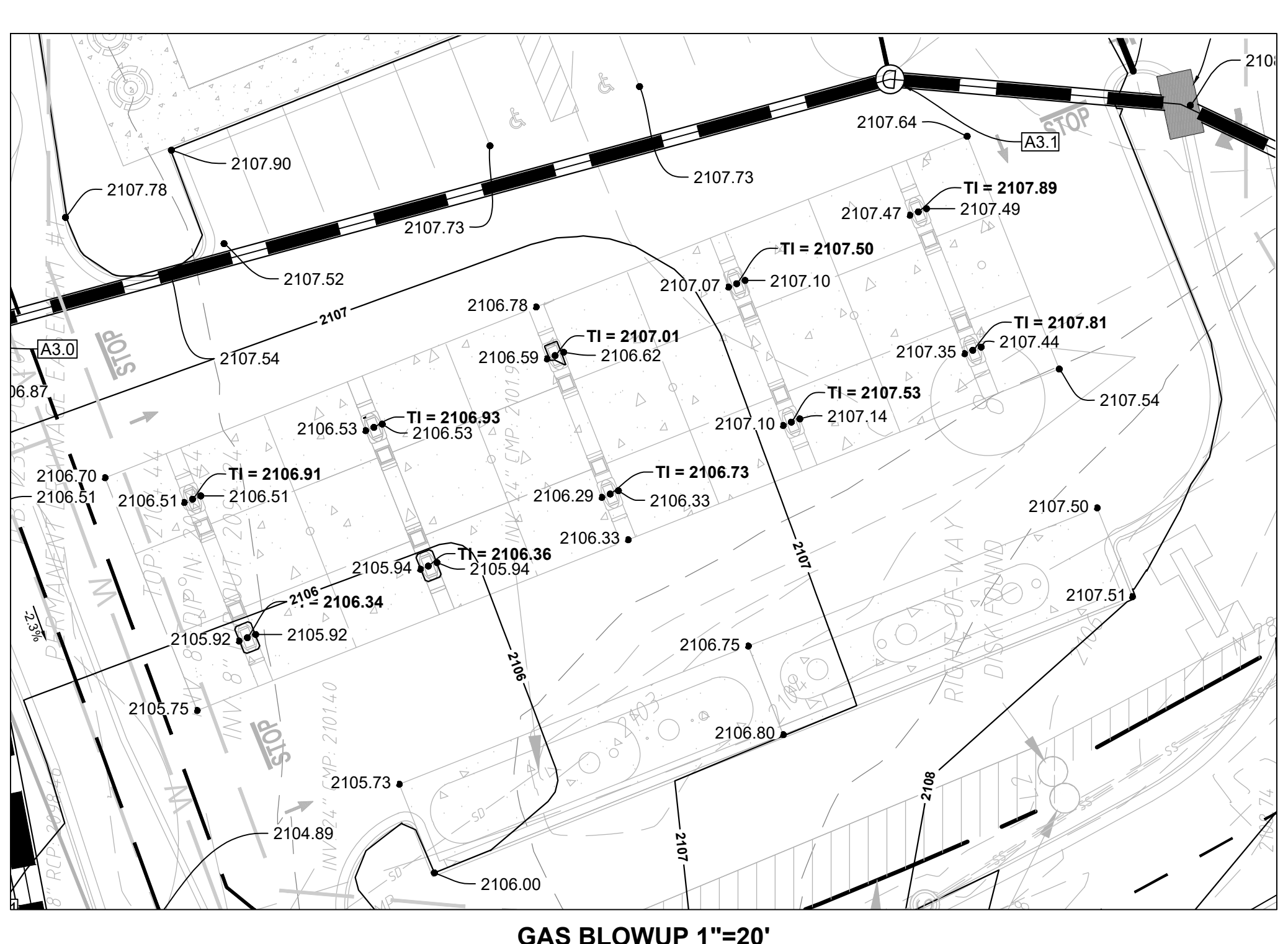
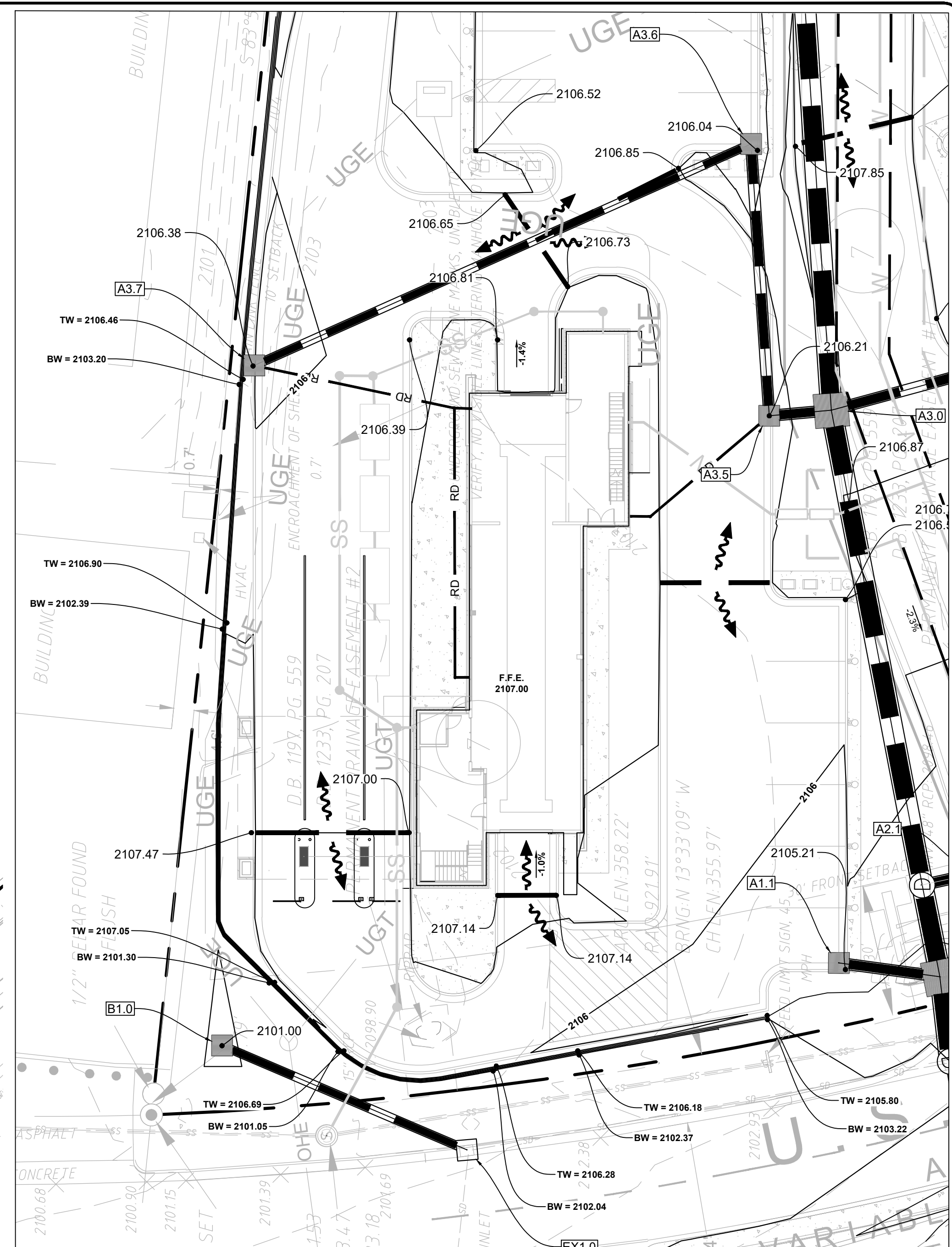
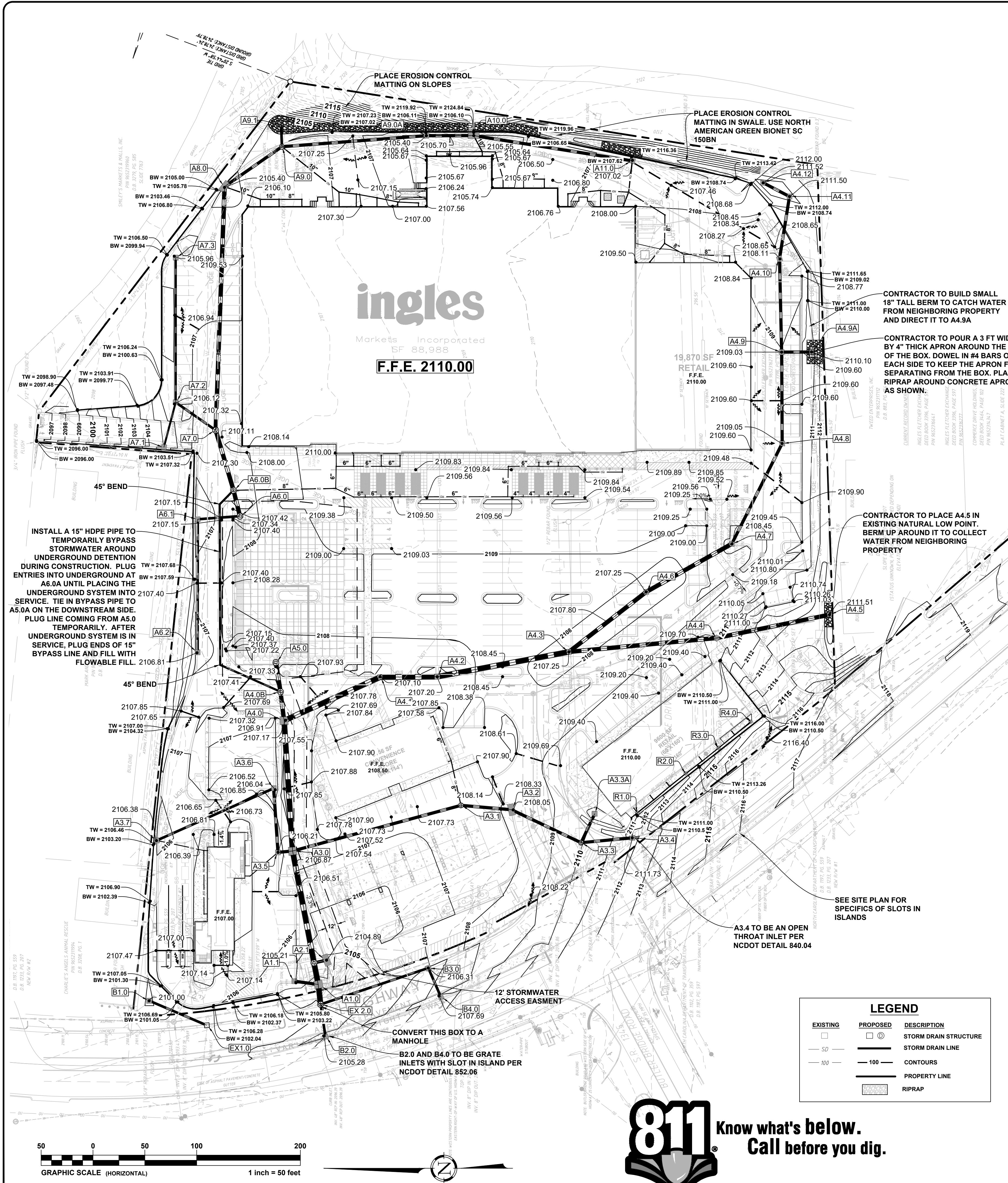
ISSUE FOR CONSTRUCTION:

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DESIGN BY:	JDC
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DATE:	4/11/22
SCALE:	HORIZ. 1" = 50' VERT.
JOB NUMBER:	21.018

SITE PLAN

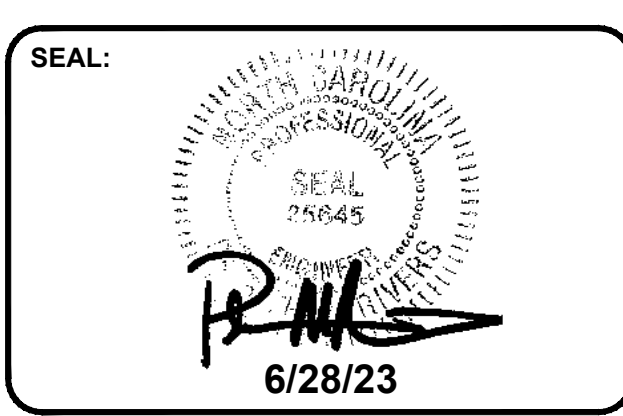
C-104
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC





REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED WATER LAYOUT AND ADDED RESTAURANT GREASE TRAP	SCW
2	9/1/22	REVISED ZIPS PAY BOOTHS	SCW
3	6/28/23	MAJOR REVISION	PCB



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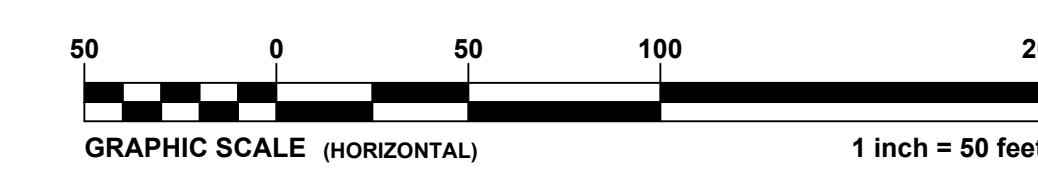
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 DB 3464 PG 102

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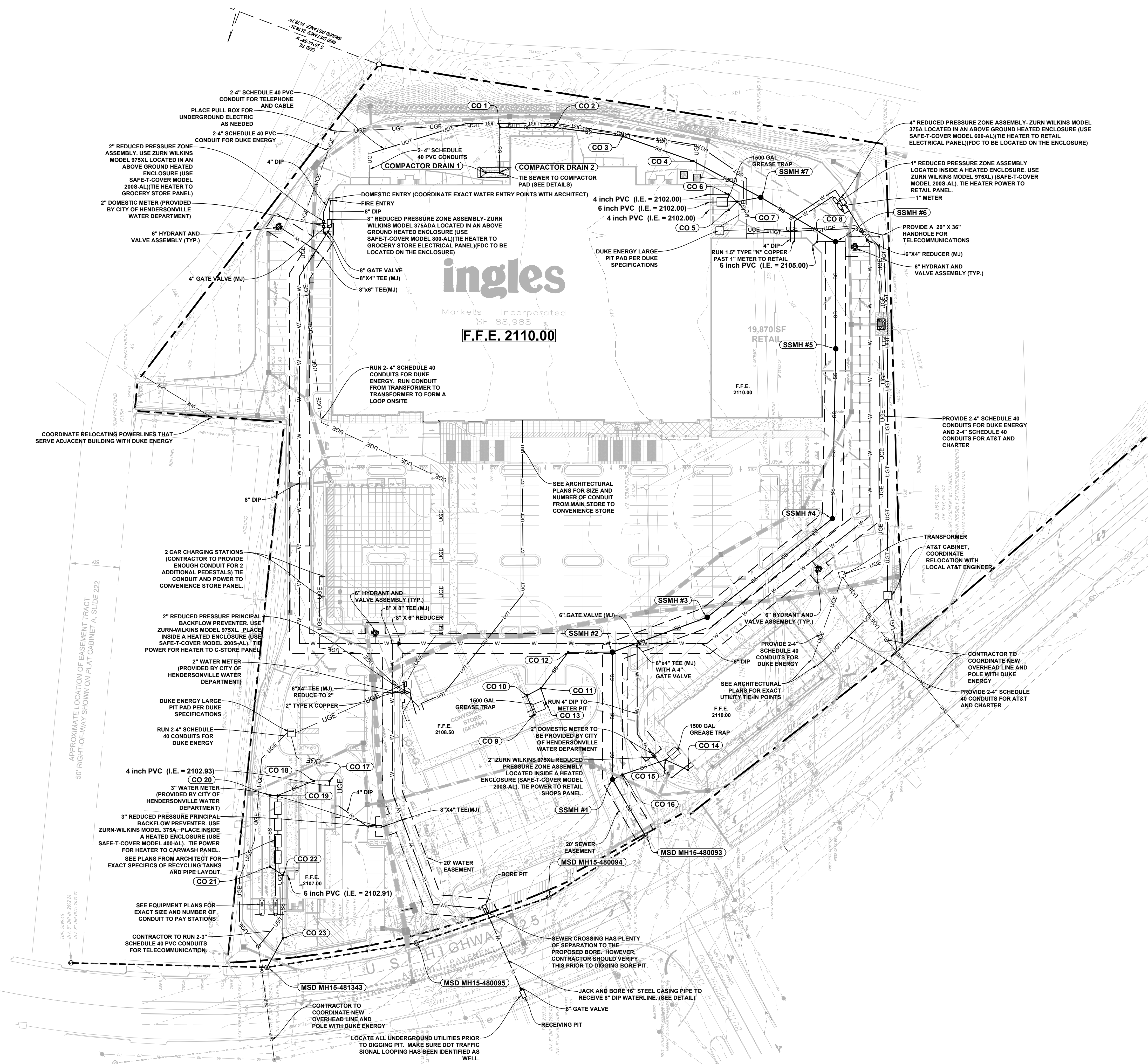
GRADING AND STORMWATER PLAN
C-105
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

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 Jul 03, 2023 at 11:32 by jpb



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAIN STRUCTURE
		STORM DRAIN LINE
		CONTOURS
		PROPERTY LINE
		RIPRAP



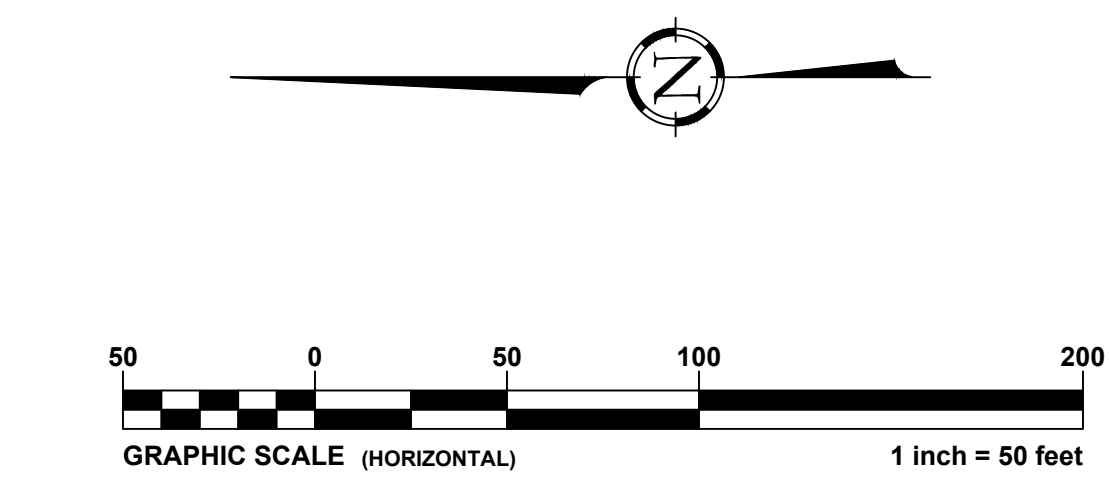
SITE UTILITY NOTES:

- ANCHOR COLLARS SHALL BE PROVIDED ON STORM AND SANITARY SEWER LINES WHOSE SLOPE EXCEED 25%.
- WATER METER AND WATER TAP SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH NEW FINISH GRADES.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH NEW FINISH GRADES.
- CONTRACTOR IS TO COORDINATE INSTALLATION OF GAS LINES WITH LOCAL GAS COMPANY. CONTRACTOR SHALL COORDINATE THE TYING IN OF INDIVIDUAL GAS METERS TO THE MAIN. CONTRACTOR IN CONJUNCTION WITH THE GAS COMPANY SHALL DETERMINE THE AMOUNT OF GAS LINE HE/SHE IS TO PROVIDE OUTSIDE THE GAS COMPANY'S ALLOWANCE.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW PIPE LINES. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- THRUST BLOCKS SHALL BE LOCATED AT ALL WATER PIPE VALVES, VERTICAL BENDS, AND VERTICAL ELBOWS AND TEES, HORIZONTAL ELBOWS AND TEES. FIRE HYDRANTS SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH NFPA BULLETIN NO. 24, SECTION 96, PARAGRAPHS 9605, 9606 AND TABLE 9605.
- SANITARY SEWER LINE SHALL BE OF DUCTILE IRON PIPE AT ALL LOCATIONS WHERE SANITARY LINE CROSSES ABOVE OR BELOW A STORM SEWER LINE.
- WHERE WATER PIPING CROSSES THE SANITARY SEWER LINE, THE WATER SERVICE WITHIN TEN FEET OF THE POINT OF CROSSING SHALL BE AT LEAST 12 INCHES ABOVE THE TOP OF THE SEWER LINE. THE SEWER LINE SHALL BE OF DUCTILE IRON WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF THE CROSSING.
- LINES UNDERGROUND SHALL BE INSTALLED, TESTED AND APPROVED BEFORE BACKFILLING.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY RELOCATION OF EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY RELOCATION OF EXISTING UTILITIES SUCH AS POWER AND TELEPHONE POLES AND THE COORDINATION OF SUCH WITH THE PROPER UTILITY OWNER.
- ALL UTILITIES TO MEET 2018 NC PLUMBING CODE.

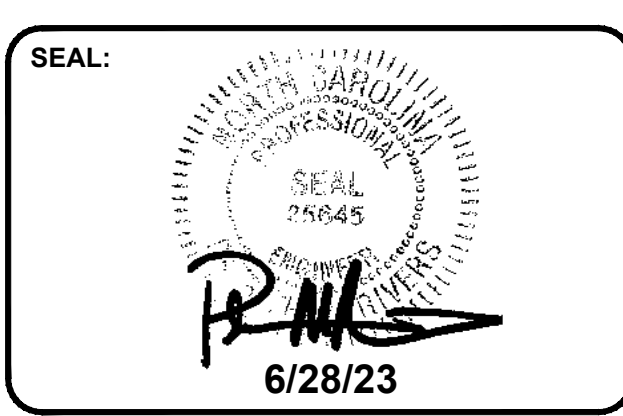
MATERIAL NOTES:

- MATERIALS LISTED BELOW ARE THE APPROVED MATERIALS AS STATED IN THE SITE SPECIFICATIONS BUT THE MATERIALS CALLED OUT ON THE UTILITY PLAN DICTATE THE SPECIFIED MATERIAL TO BE USED.
- SANITARY SEWER SHALL BE AS FOLLOWS:
 PVC- 12 INCHES AND SMALLER- SDR 35 PER ASTM D3034 WITH ELASTOMERIC JOINTS PER ASTM F477
 15 INCHES OR LARGER- SDR 35 PER ASTM F 679 WITH TYPE T-1 ELASTOMERIC JOINTS PER ASTM F477
 DUCTILE IRON- ALL SIZES PER AWWA C150 AND SHALL BE PUSH ON JOINTS
 - WATER LINES SHALL BE AS FOLLOWS:
 DUCTILE IRON- NPS 3 INCHES AND LARGER- CLASS 350 PER AWWA C-151 WITH PUSH ON JOINTS PER AWWA C110
 COPPER- NPS 2.5 INCHES OR SMALLER- TYPE K, ANNEALED TEMPER PER ASTM B88 AND SHALL BE SOLDERED
 PVC- NPS 4 INCHES TO 12 INCHES- CLASS 140, DR 18 PER AWWA C900 WITH ELASTOMERIC JOINTS.
 NPS 2 INCH TO 3 INCH- SDR 21 PER ASTM D2241 WITH ELASTOMERIC JOINTS PER ASTM D3139
 - PRECAST STRUCTURES SHOULD BE USED AND SHALL CONFORM TO ASTM C 478. THEY SHALL HAVE RUBBER GASKETED JOINTS AND PIPE BOOTS. IF A PRECAST STRUCTURE CANNOT BE USED SEE SPECIFICATIONS FOR CAST IN PLACE REQUIREMENTS.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
— W —	— W —	WATER LINE
— SS —	— SS —	SANITARY SEWER LINE
⊙	●	SANITARY SEWER MANHOLE
—	—	STORM DRAIN LINE
— OE —	— OHE —	OVERHEAD ELECTRIC LINE
— T —	— OHT —	OVERHEAD TELEPHONE LINE
— UGT —	— UGT —	UNDERGROUND TELEPHONE
— UGE —	— UGE —	UNDERGROUND TELEPHONE
⊙	⊙	POWER POLE
⊙	⊙	FIRE HYDRANT



REVISIONS:			
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2	9/1/22	REVISED ZIPS PAY BOOTHS	SCW
3	6/28/23	MAJOR REVISION	PCB



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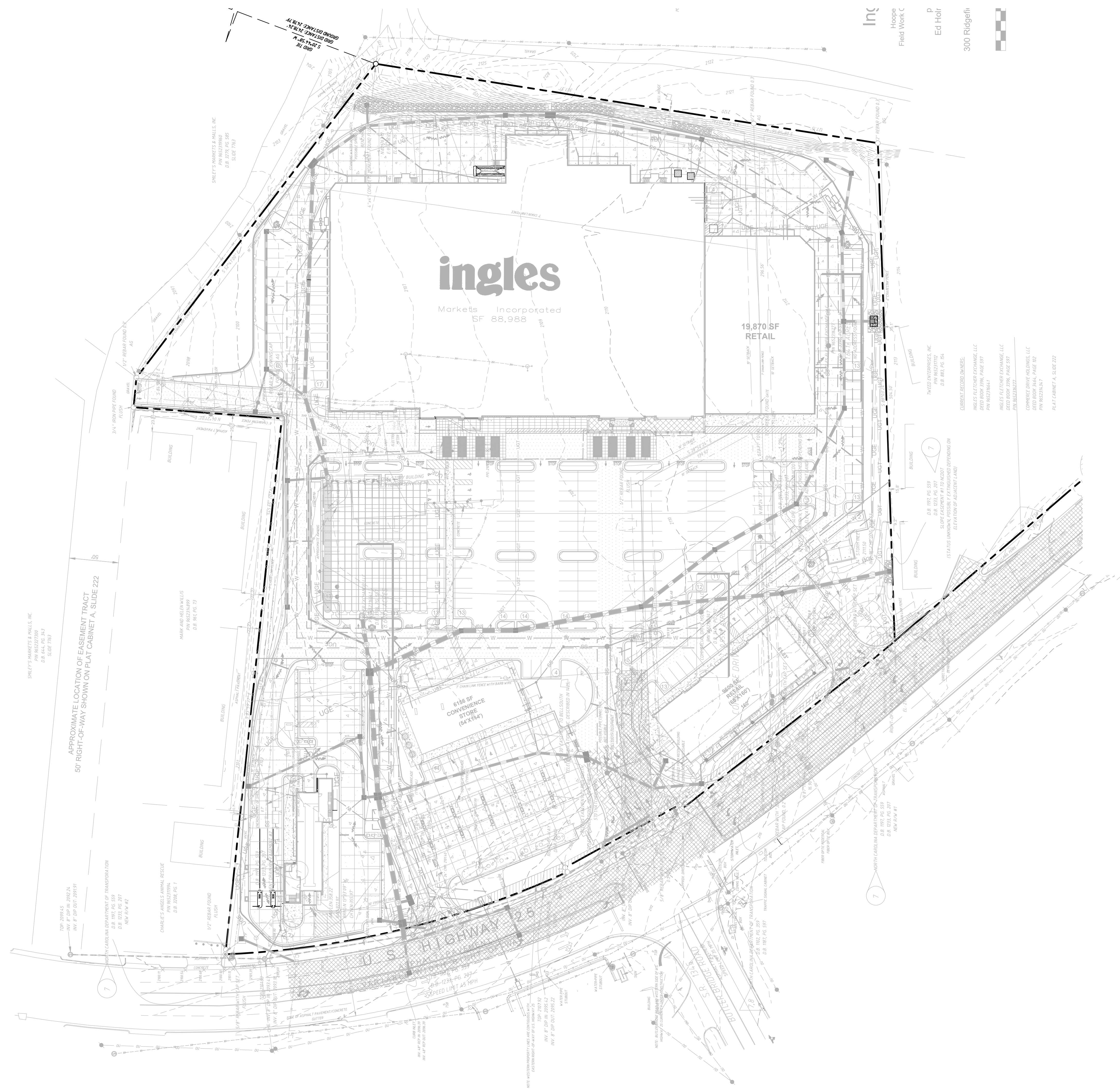
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UTILITY PLAN

C-106
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC



LEGEND

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAIN STRUCTURE
		STORM DRAIN LINE
		CONTOURS
		PROPERTY LINE
		RIPRAP

811 Know what's below.
 Call before you dig.

GRAPHIC SCALE (HORIZONTAL) 1 inch = 50 feet

inc
 Hoopes
 Field Work C
 P
 Ed Holtr
 300 Ridgell

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3	6/28/23	MAJOR REVISION	PCB

SEAL:

CORPORATE SEAL:

LAND PLANNING ASSOCIATES
 CIVIL ENGINEERING

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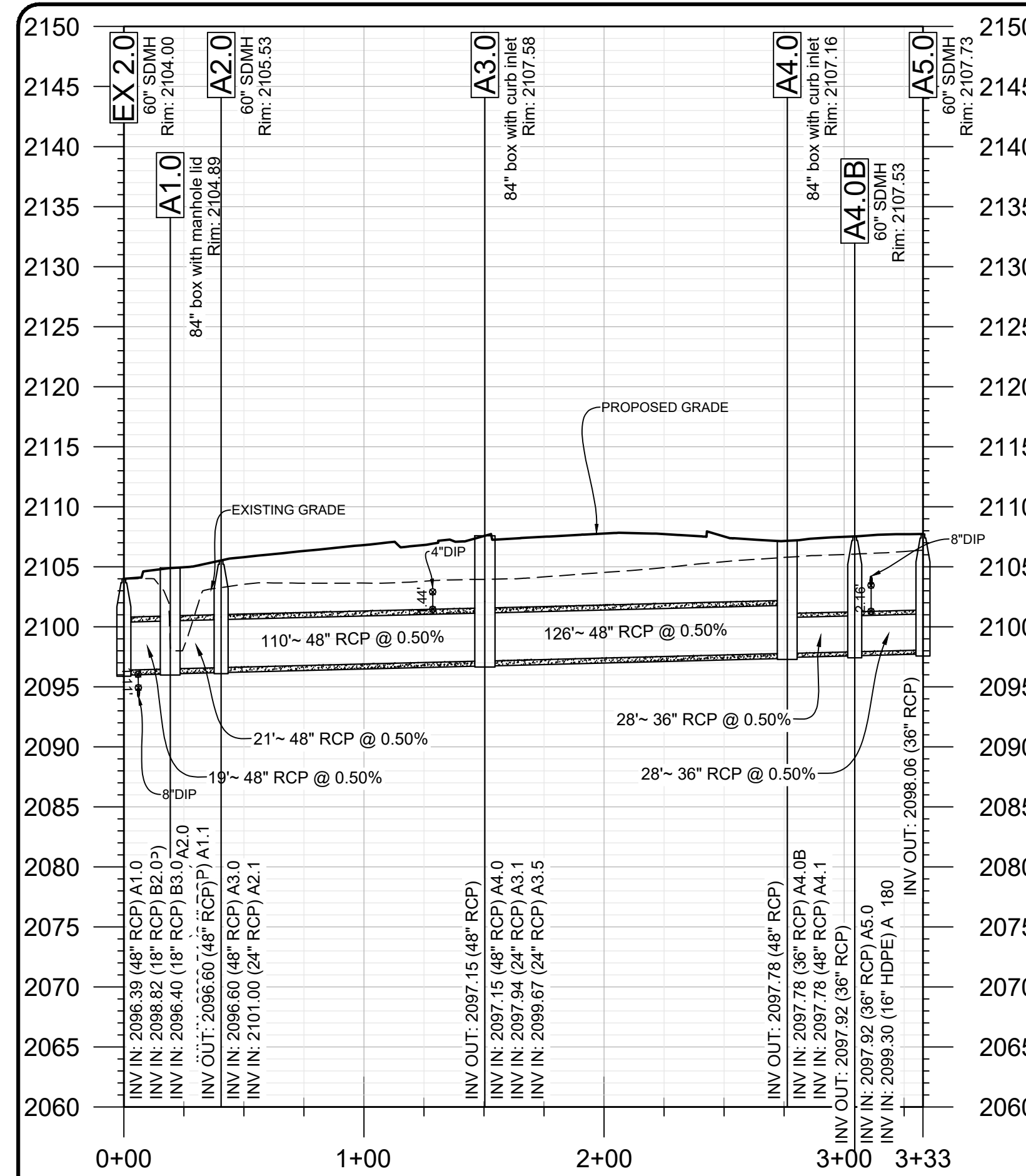
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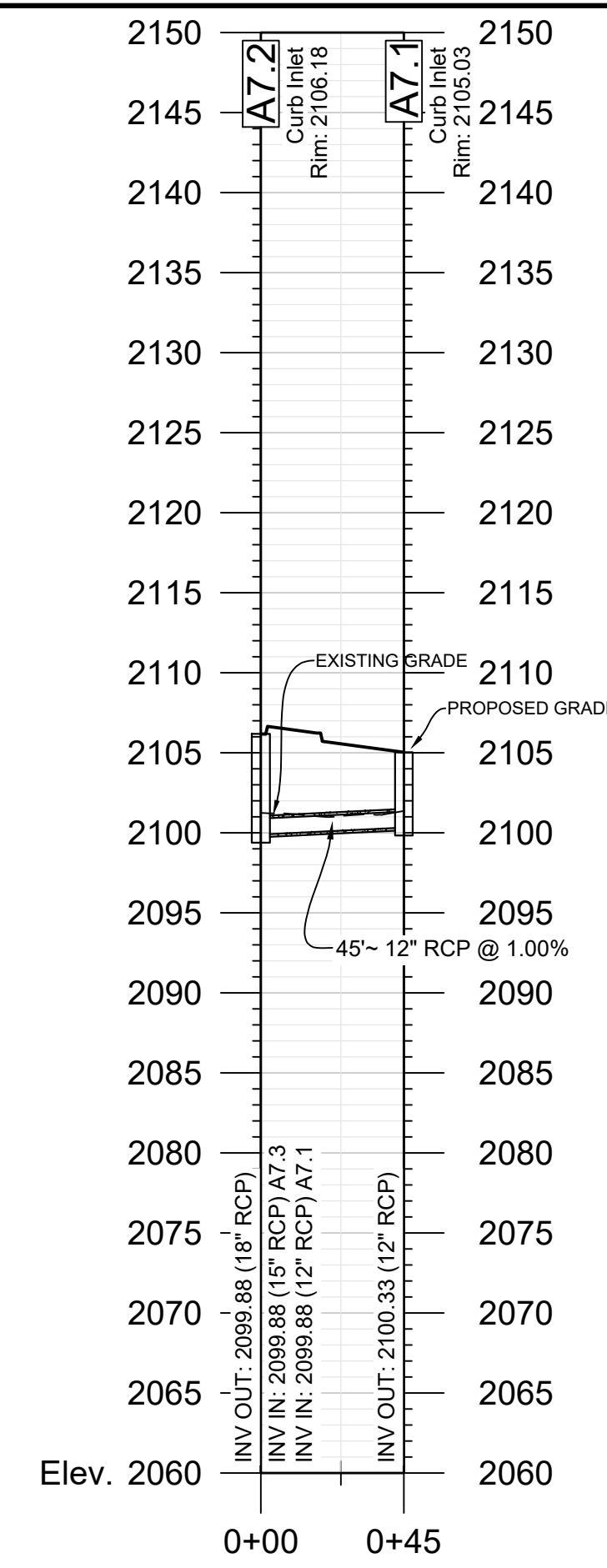
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OVERLAY PLAN

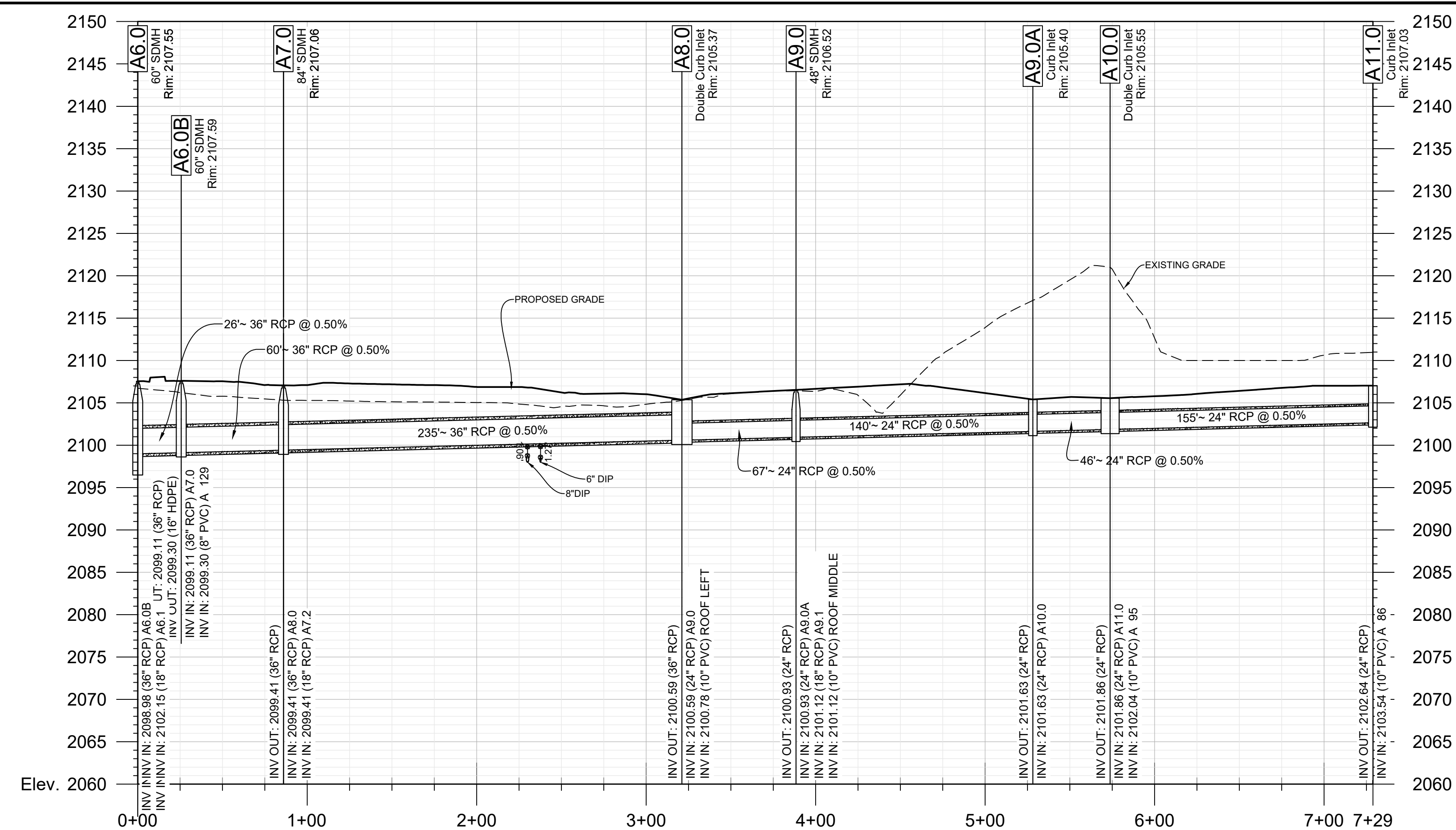
C-107
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC



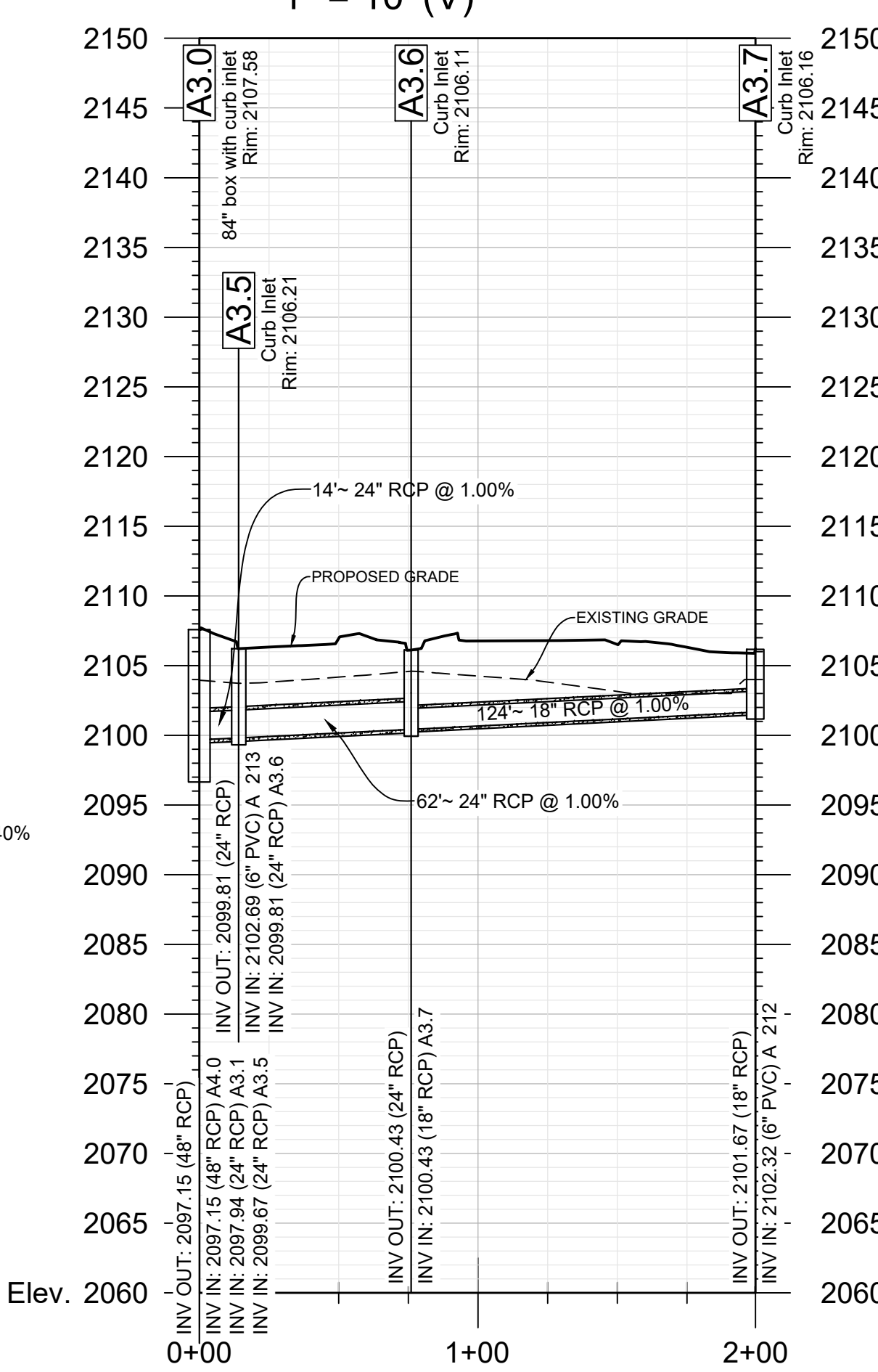
EX 2.0 - A5.0
 Station: 0+00.00 - 3+32.82
 1" = 50' (H)
 1" = 10' (V)



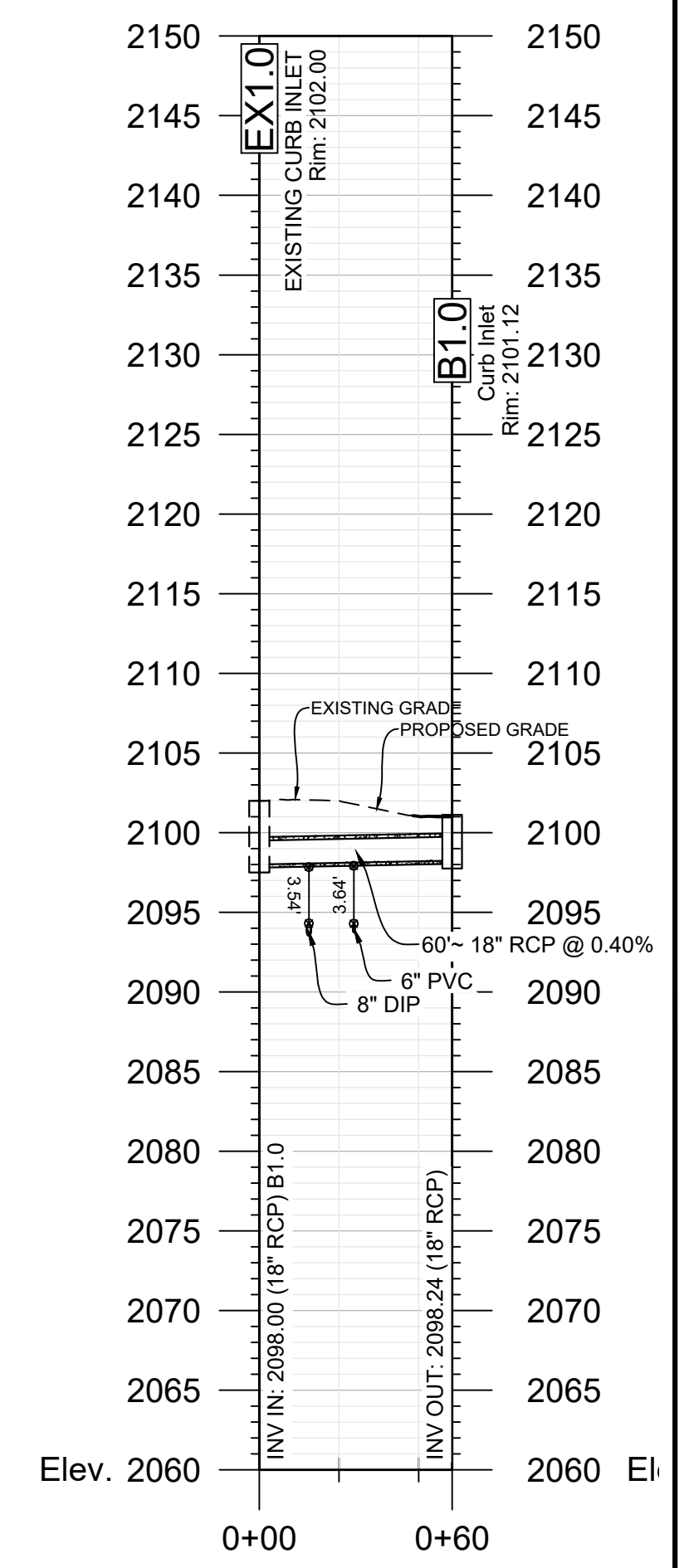
A7.2 - A7.1
 Station: 0+00.00 - 0+44.60
 1" = 50' (H)
 1" = 10' (V)



A6.0 - A11.0
 Station: 0+00.00 - 7+28.81
 1" = 50' (H)
 1" = 10' (V)



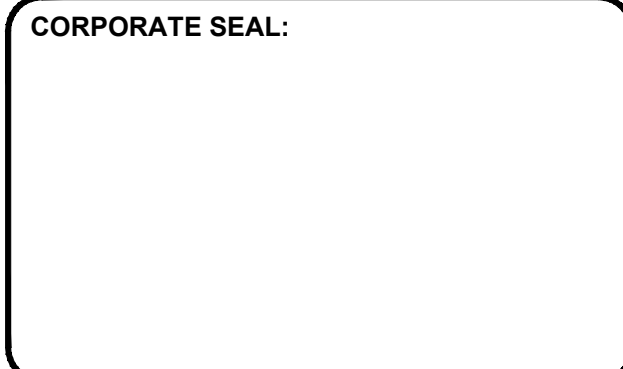
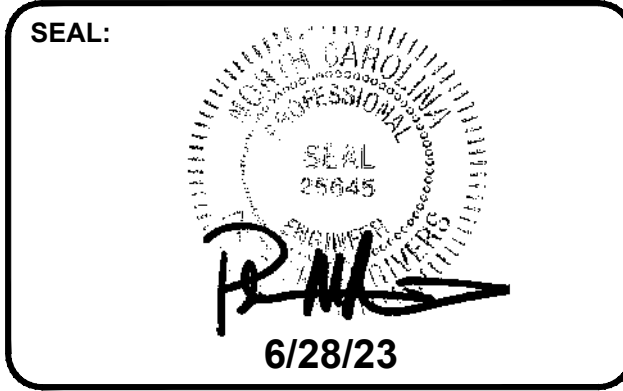
A3.0 - A3.7
 Station: 0+00.00 - 1+99.60
 1" = 50' (H)
 1" = 10' (V)



EX1.0 - B1.0
 Station: 0+00.00 - 0+60.48
 1" = 50' (H)
 1" = 10' (V)



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED WATER LAYOUT AND ADDED RESTAURANT GREASE TRAP	SCW
2	6/28/23	MAJOR REVISION	PCB



DBA
 LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@lpa-inc.net

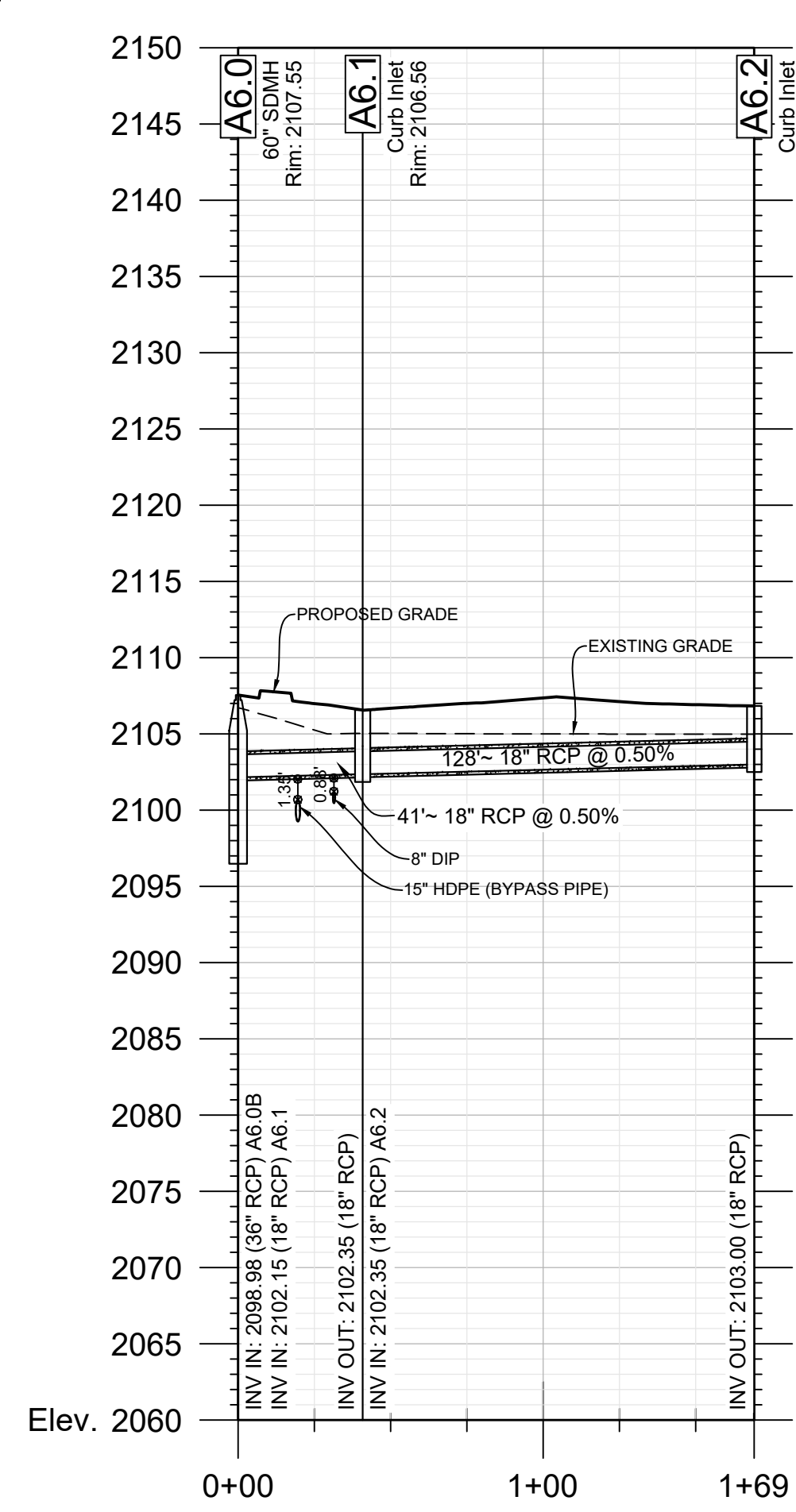
ingles
 Markets Incorporated
STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

PROPERTY INFORMATION:
 TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

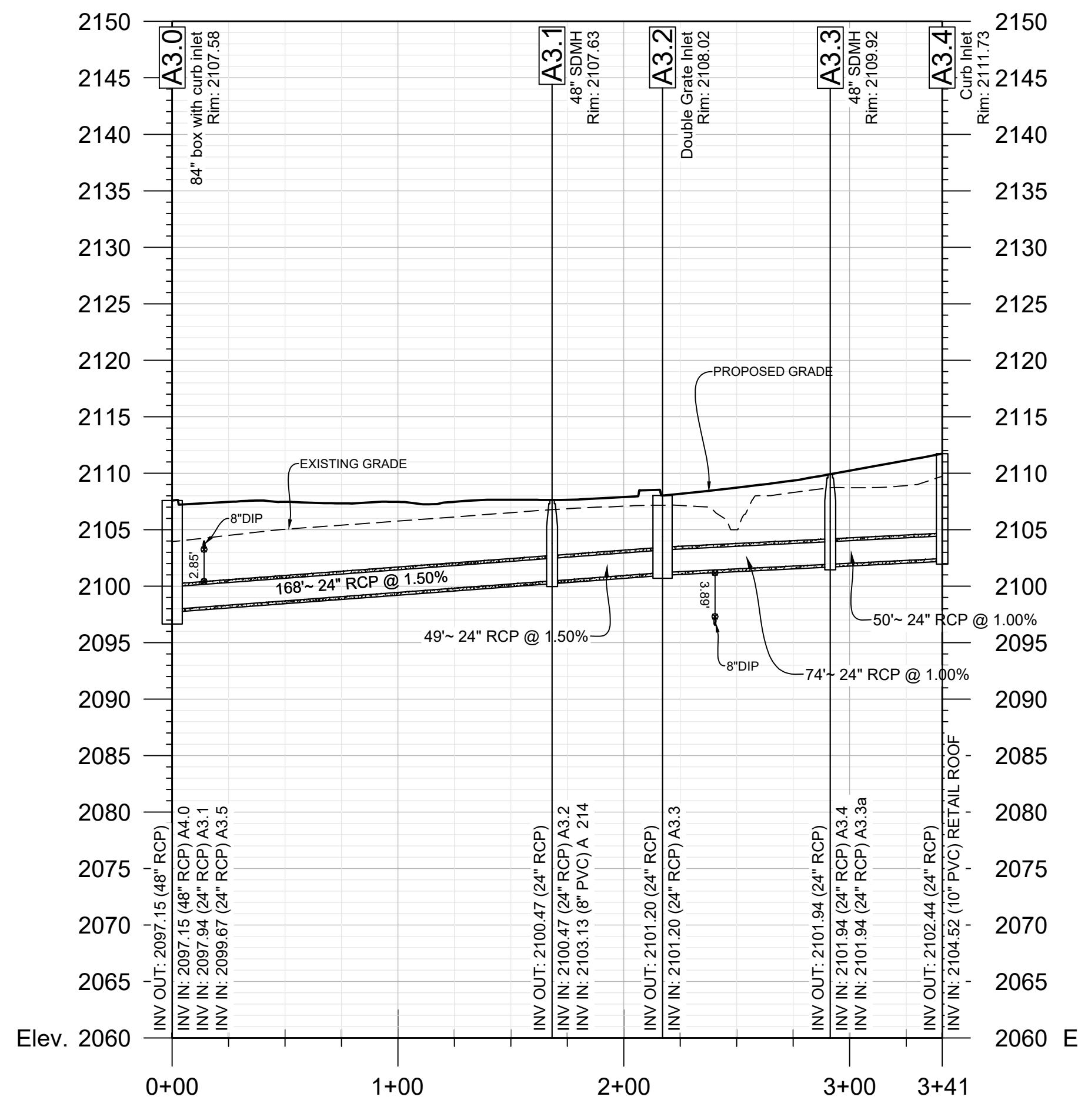
ISSUE FOR CONSTRUCTION:
 PERMIT DATE:
 BID DATE:
 DRAWN BY: PCB
 DESIGN BY: JDC
 CHECKED BY: PMR
 DATE: 4/19/22
 SCALE: HORIZ. 1" = 50' VERT. 1" = 10'
 JOB NUMBER: 21.018

STORMWATER PLAN AND PROFILE
C-108
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

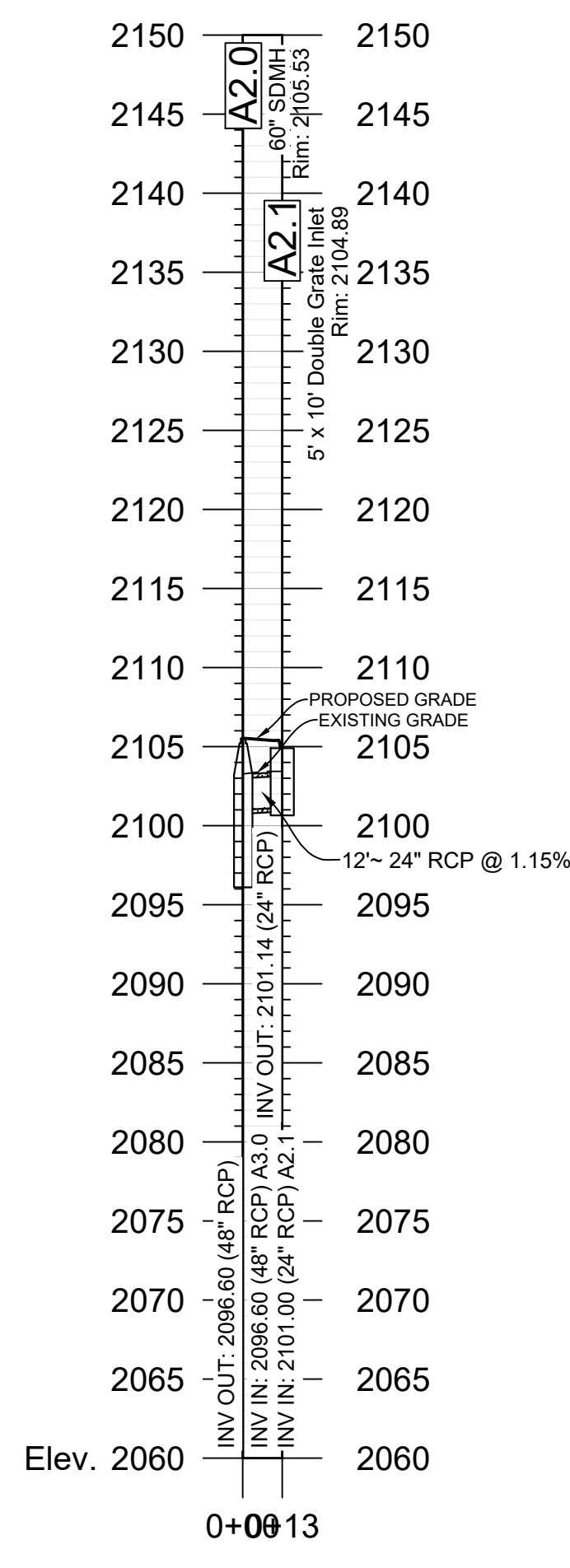
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 Jul 03, 2023 01:14:44 by jahn



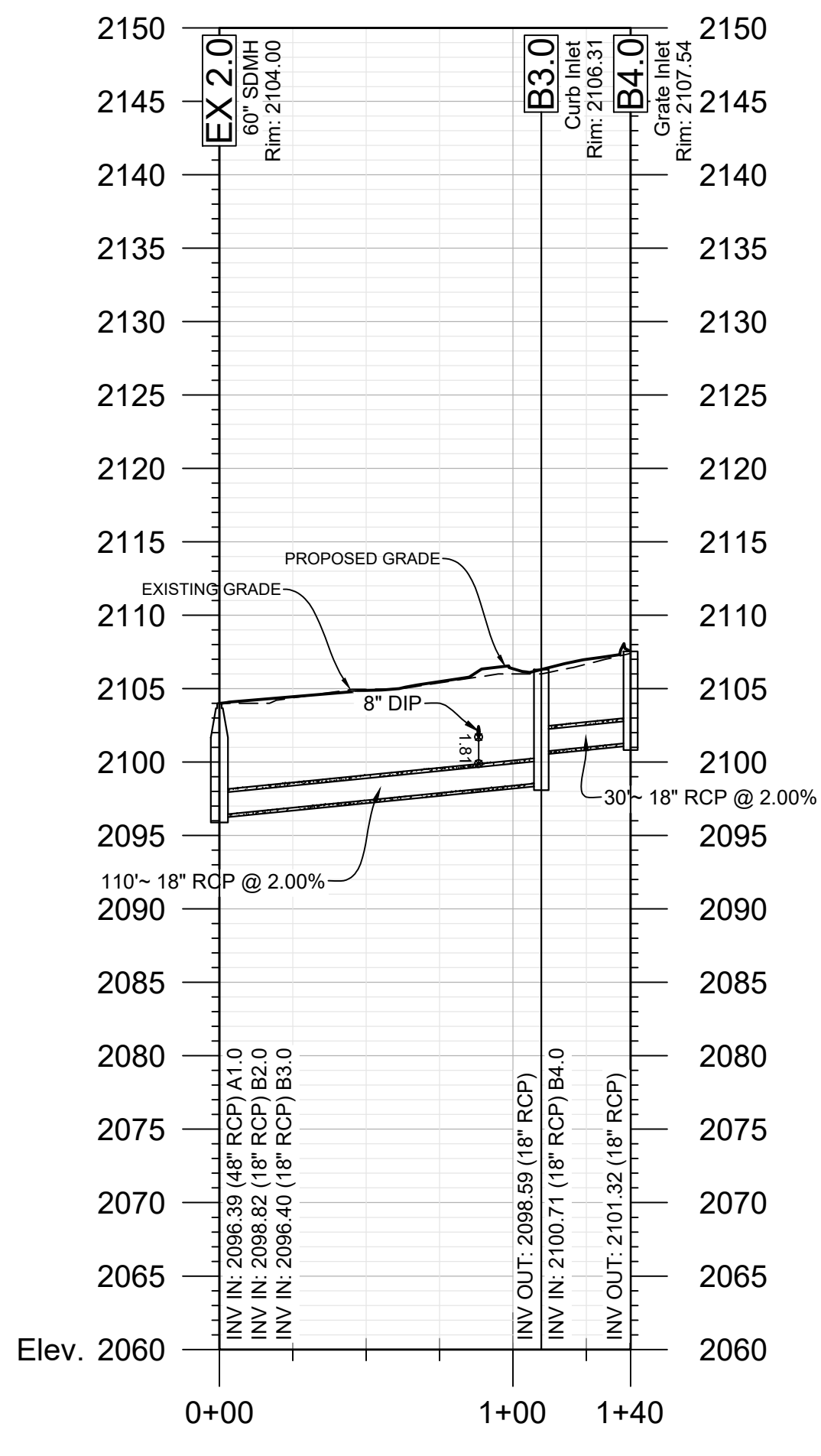
A6.0 - A6.2
 Station: 0+00.00 - 1+69.15
 1" = 50' (H)
 1" = 10' (V)



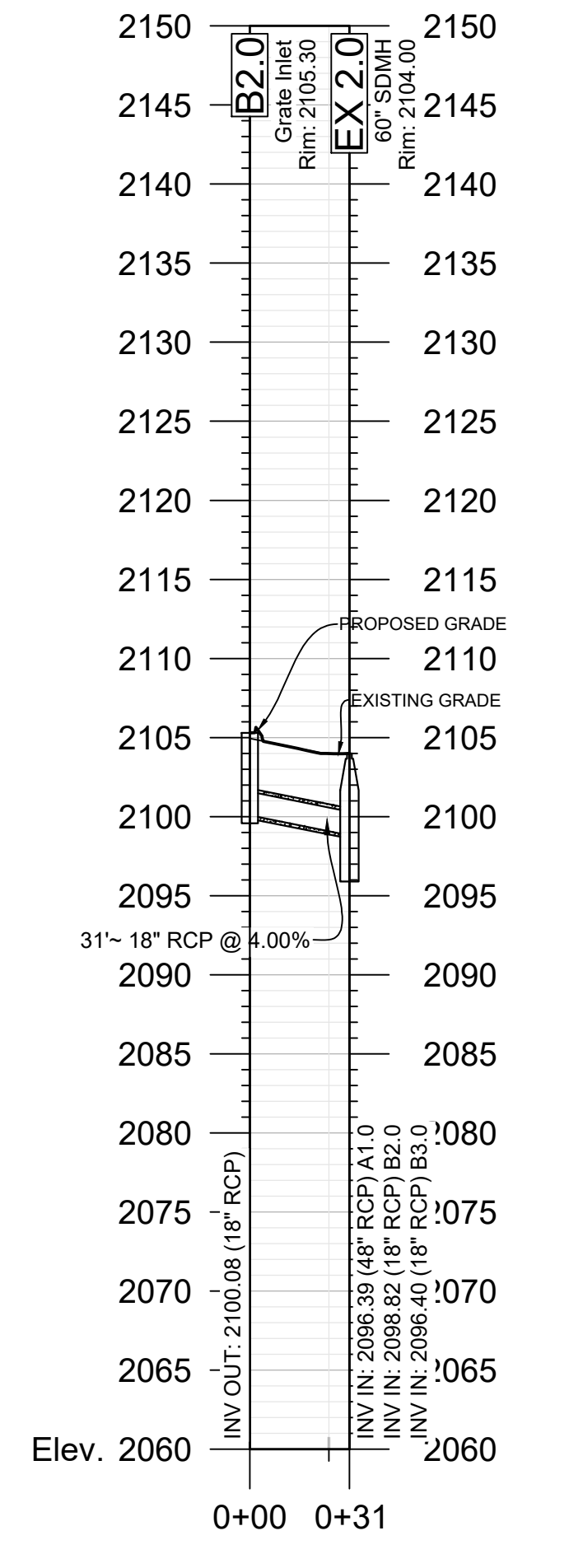
A3.0 - A3.3
 Station: 0+00.00 - 3+40.92
 1" = 50' (H)
 1" = 10' (V)



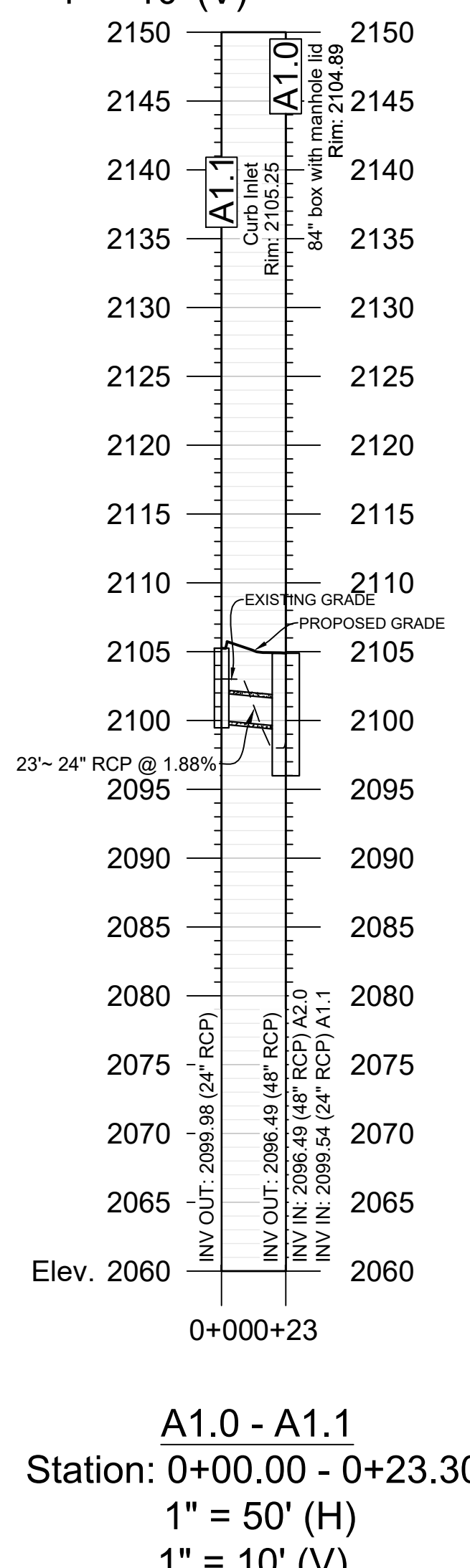
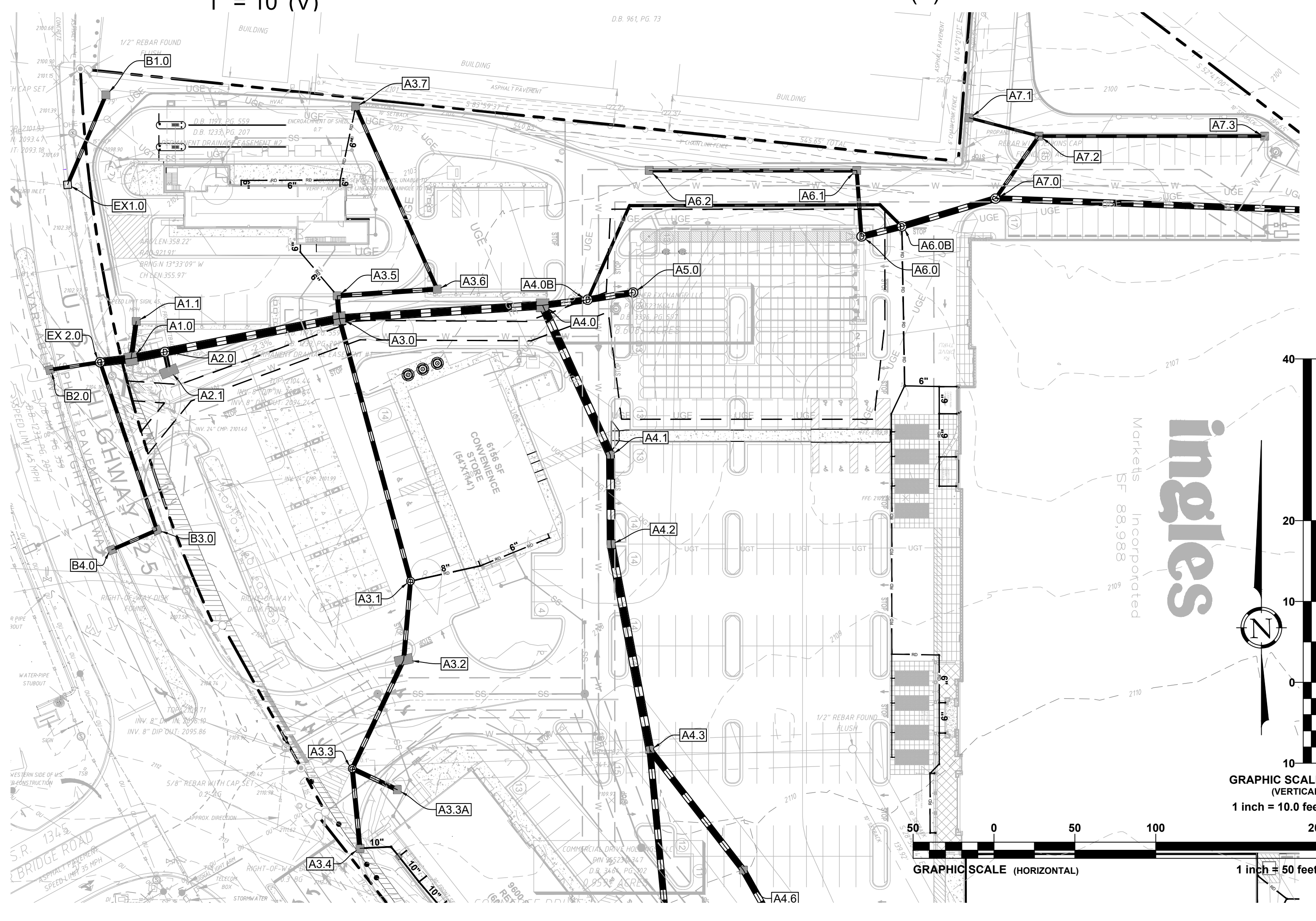
A2.0 - A2.1
 Station: 0+00.00 - 0+12.51
 1" = 50' (H)
 1" = 10' (V)



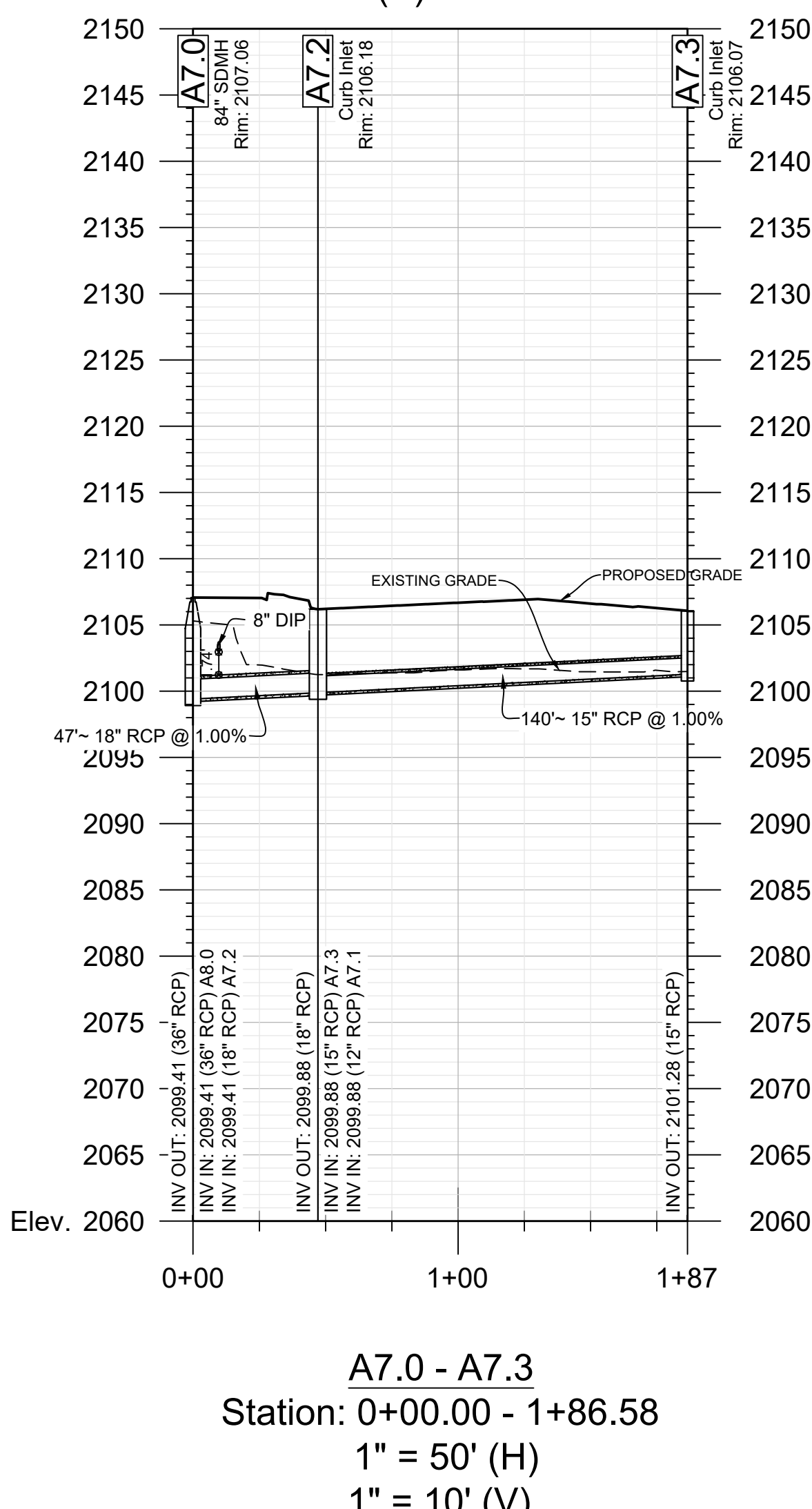
B4.0 - EX2.0
 Station: 0+00.00 - 1+40.07
 1" = 50' (H)
 1" = 10' (V)



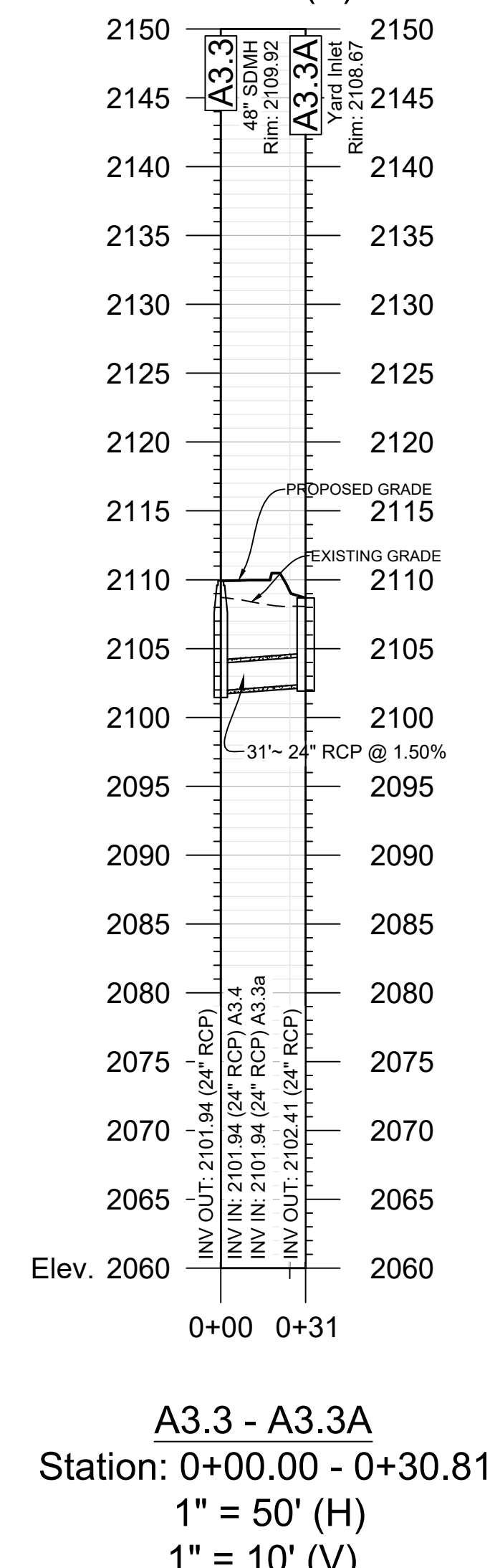
B2.0 - EX2.0
 Station: 0+00.00 - 0+31.48
 1" = 50' (H)
 1" = 10' (V)



A1.0 - A1.1
 Station: 0+00.00 - 0+23.30
 1" = 50' (H)
 1" = 10' (V)



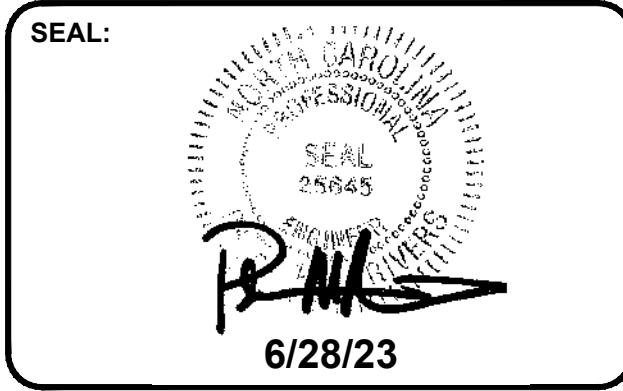
A7.0 - A7.3
 Station: 0+00.00 - 1+86.58
 1" = 50' (H)
 1" = 10' (V)



A3.3 - A3.3A
 Station: 0+00.00 - 0+30.81
 1" = 50' (H)
 1" = 10' (V)

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED WATER LAYOUT AND ADDED RESTAURANT GREASE TRAP	SCW
2	6/28/23	MAJOR REVISION	PCB



CORPORATE SEAL:



DBA
 LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@lpa-inc.net



STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

PROPERTY INFORMATION:

TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:

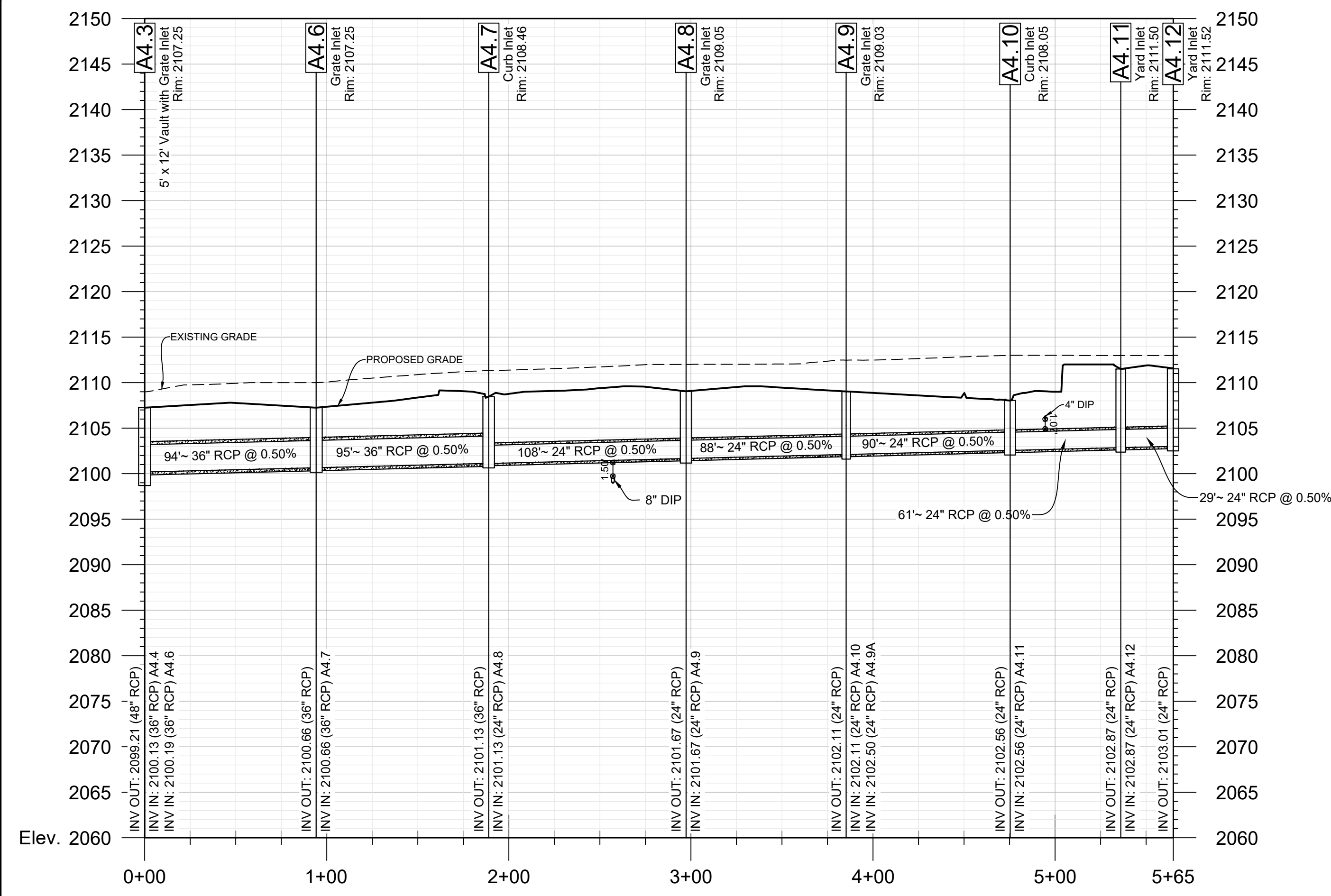
PERMIT DATE:
 BID DATE:
 DRAWN BY: PCB
 DESIGN BY: JDC
 CHECKED BY: PMR
 DATE: 4/19/22
 SCALE: HORIZ. 1" = 50' VERT. 1" = 10'
 JOB NUMBER: 21.018

STORMWATER PLAN AND PROFILE

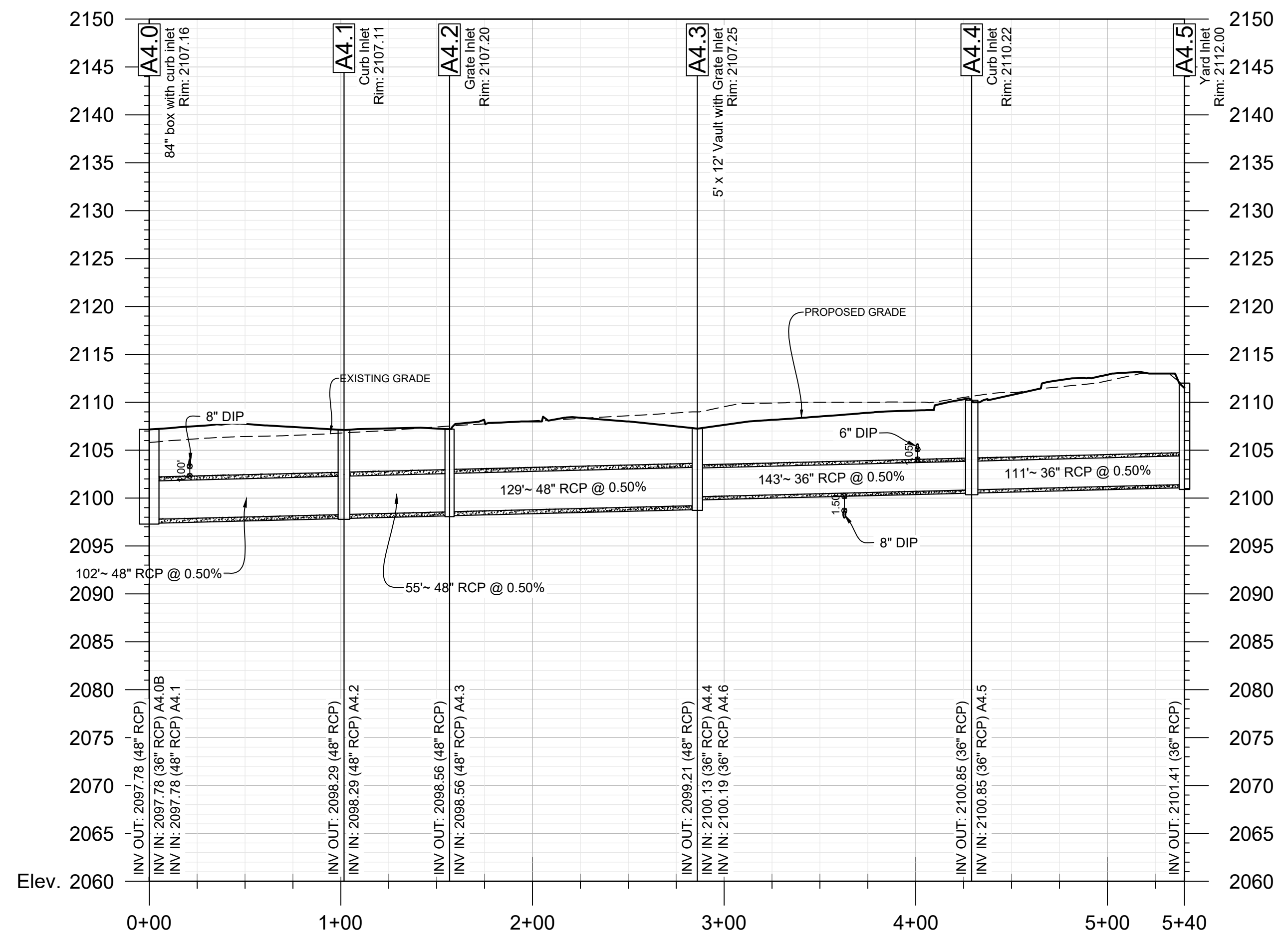
C-109

STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

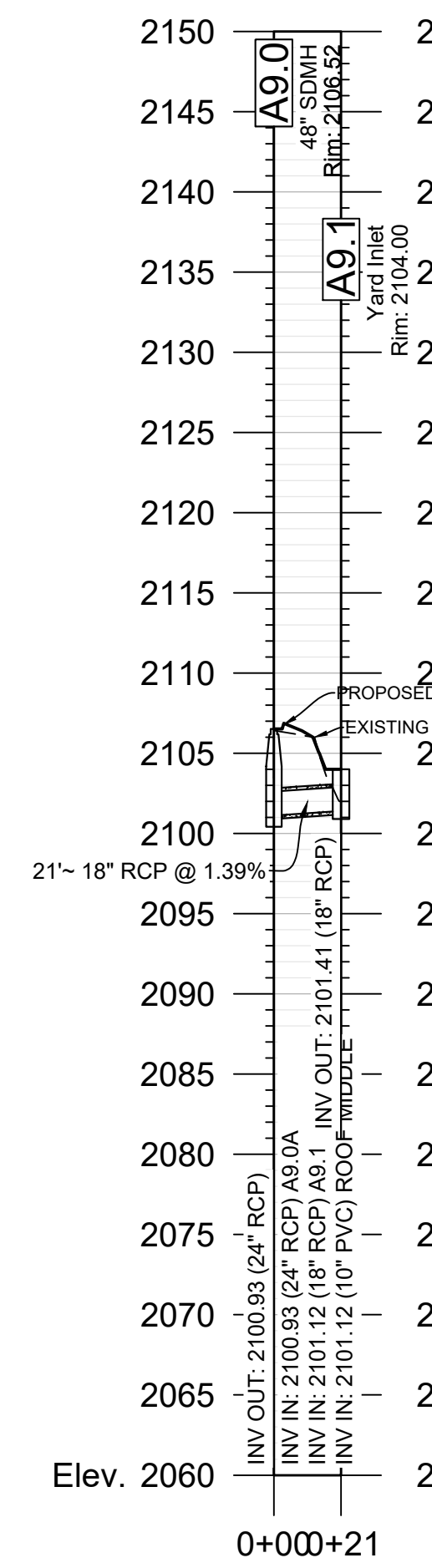
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 J:\03_2023\011148 by jpb



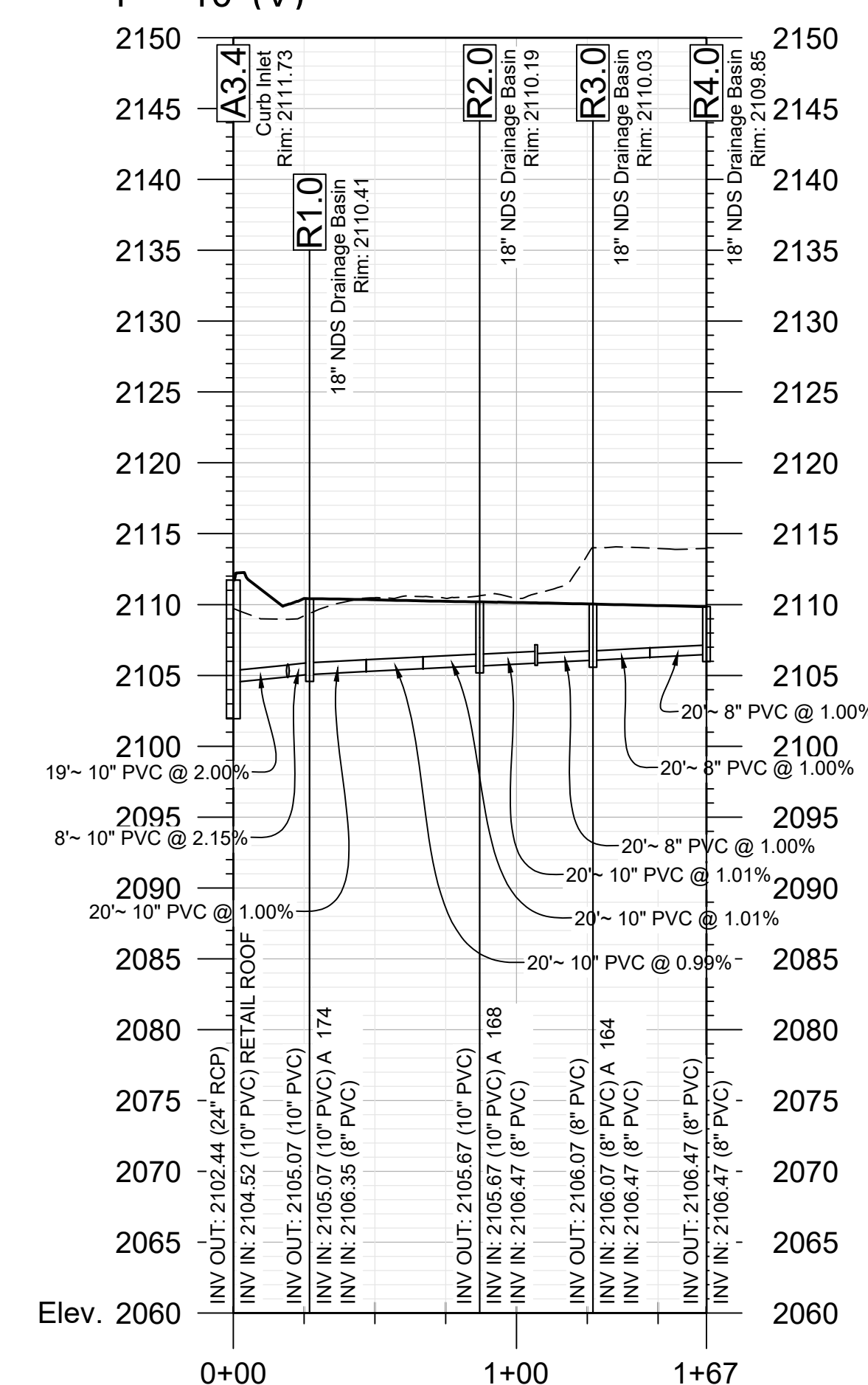
A4.3 - A4.11
 Station: 0+00.00 - 5+64.87
 1" = 50' (H)
 1" = 10' (V)



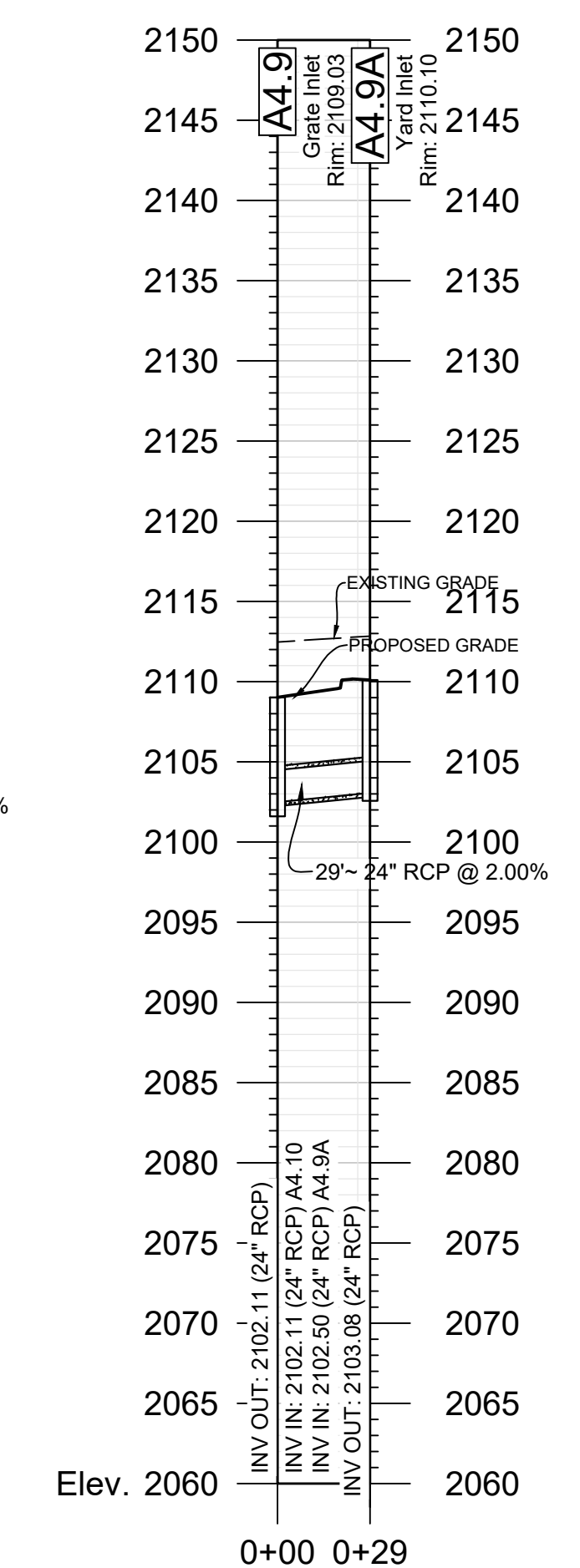
A4.0 - A4.5
 Station: 0+00.00 - 5+40.24
 1" = 50' (H)
 1" = 10' (V)



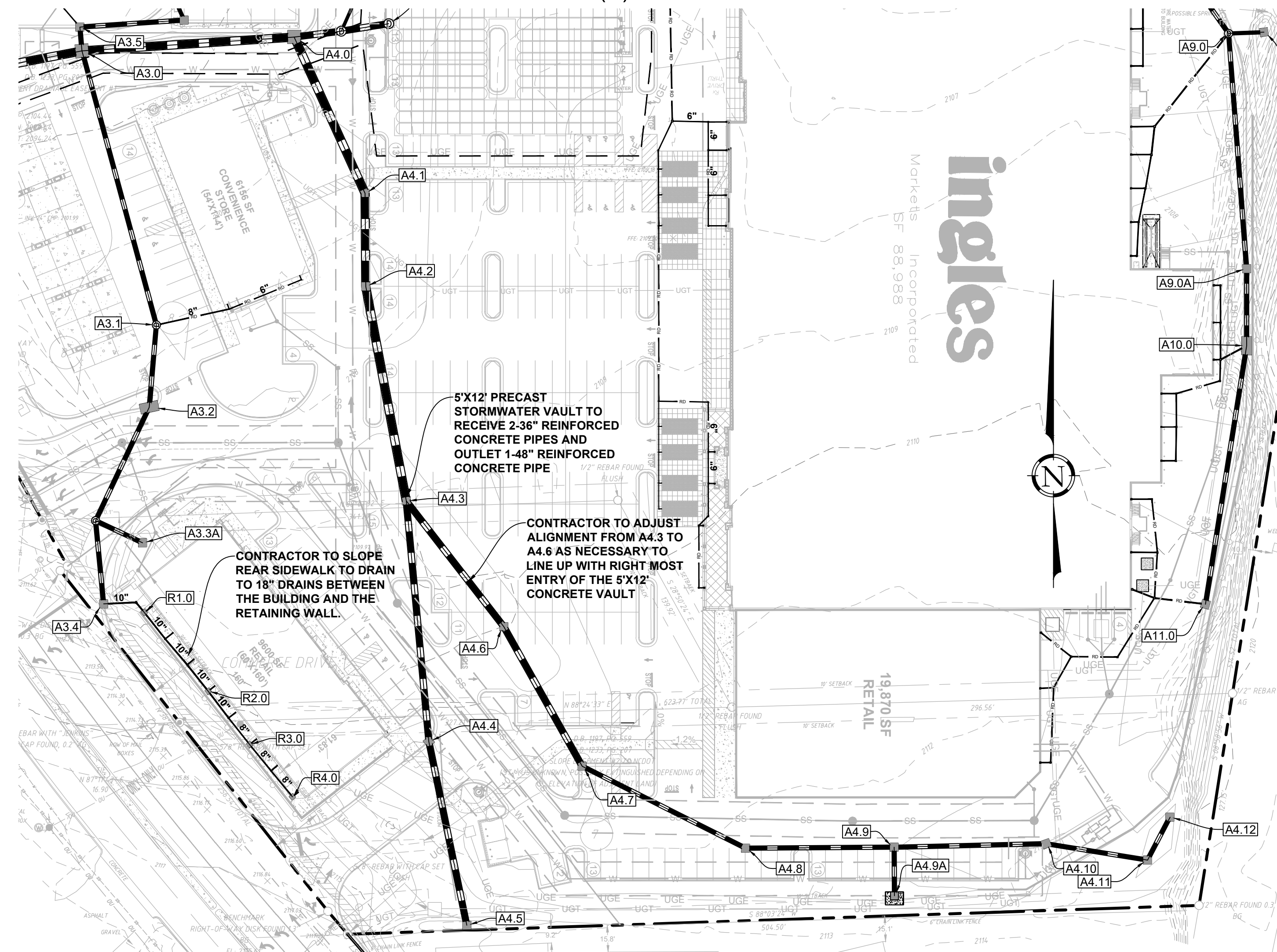
A9.0 - A9.1
 Station: 0+00.00 - 0+20.92
 1" = 50' (H)
 1" = 10' (V)



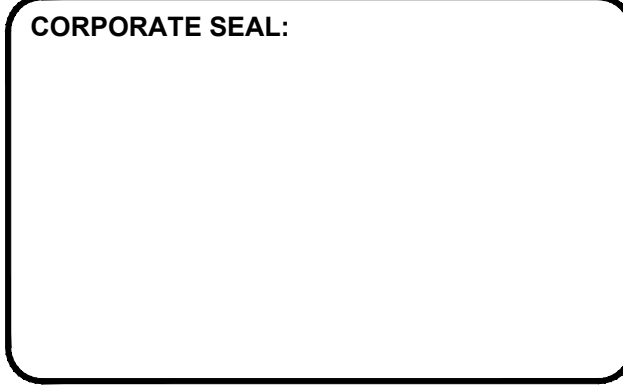
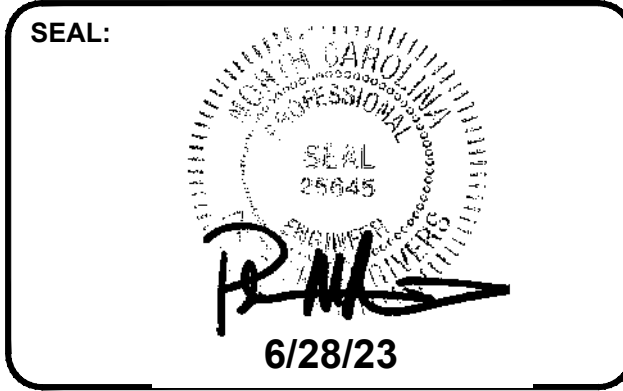
A3.4 - R4.0
 Station: 0+00.00 - 1+67.04
 1" = 50' (H)
 1" = 10' (V)



A4.9 - A4.9A
 Station: 0+00.00 - 0+28.84
 1" = 50' (H)
 1" = 10' (V)



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DBA
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STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

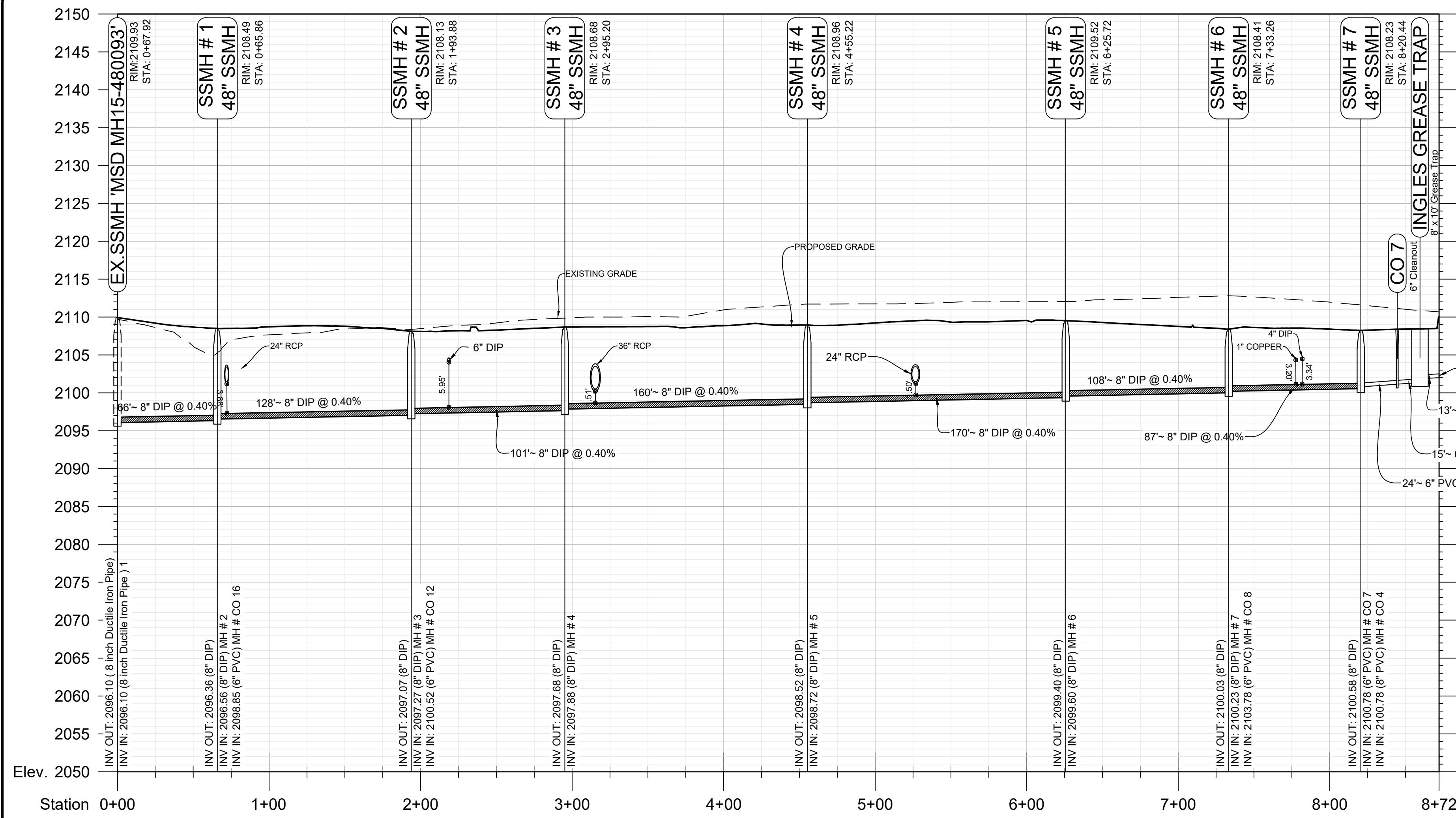
PROPERTY INFORMATION:
 TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:
 PERMIT DATE:
 BID DATE:

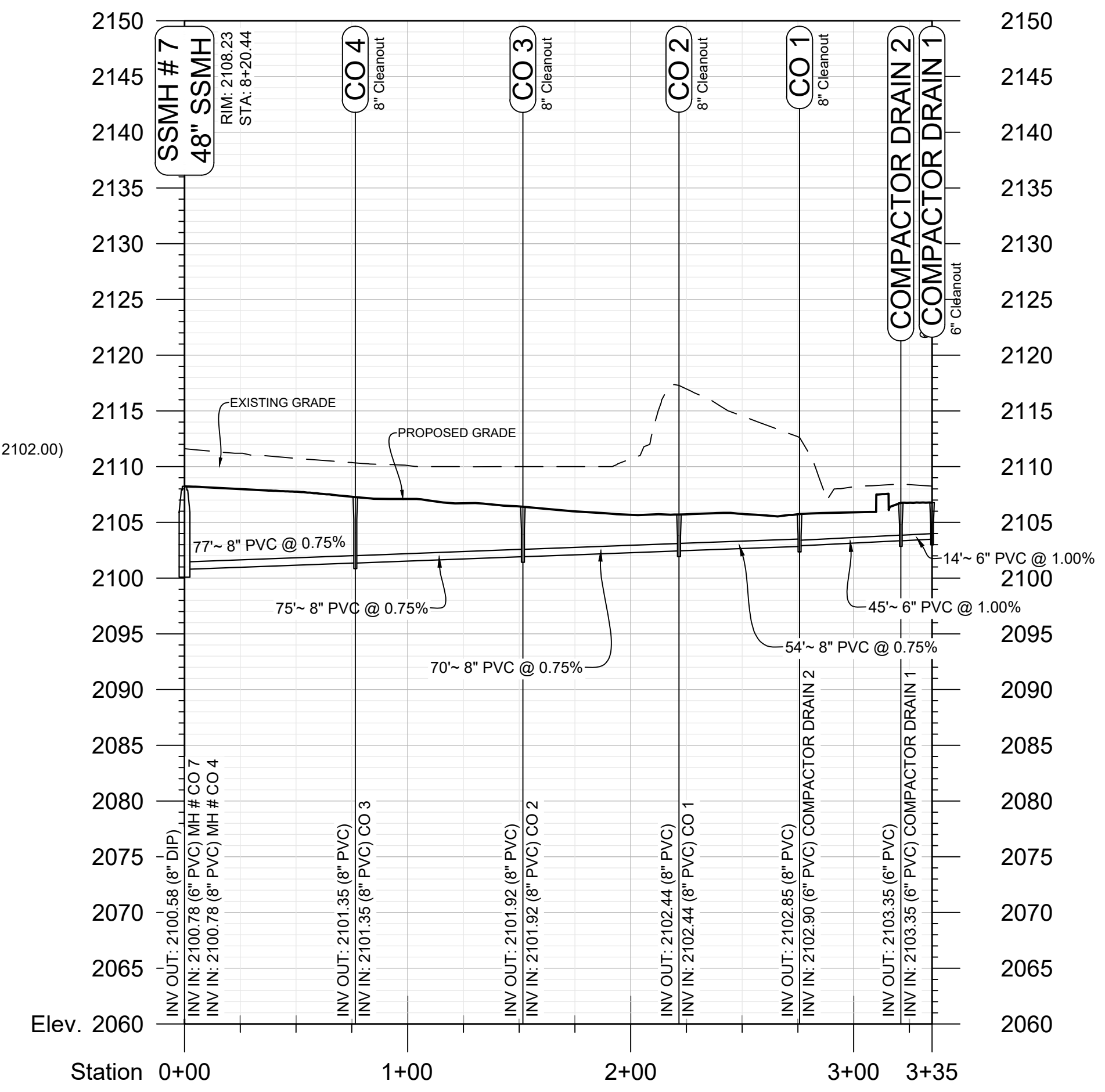
DRAWN BY: PCB
DESIGN BY: JDC
CHECKED BY: PMR
DATE: 4/19/22
SCALE: HORIZ. 1" = 50' VERT. 1" = 10'
JOB NUMBER: 21.018

STORMWATER PLAN AND PROFILE
C-110
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

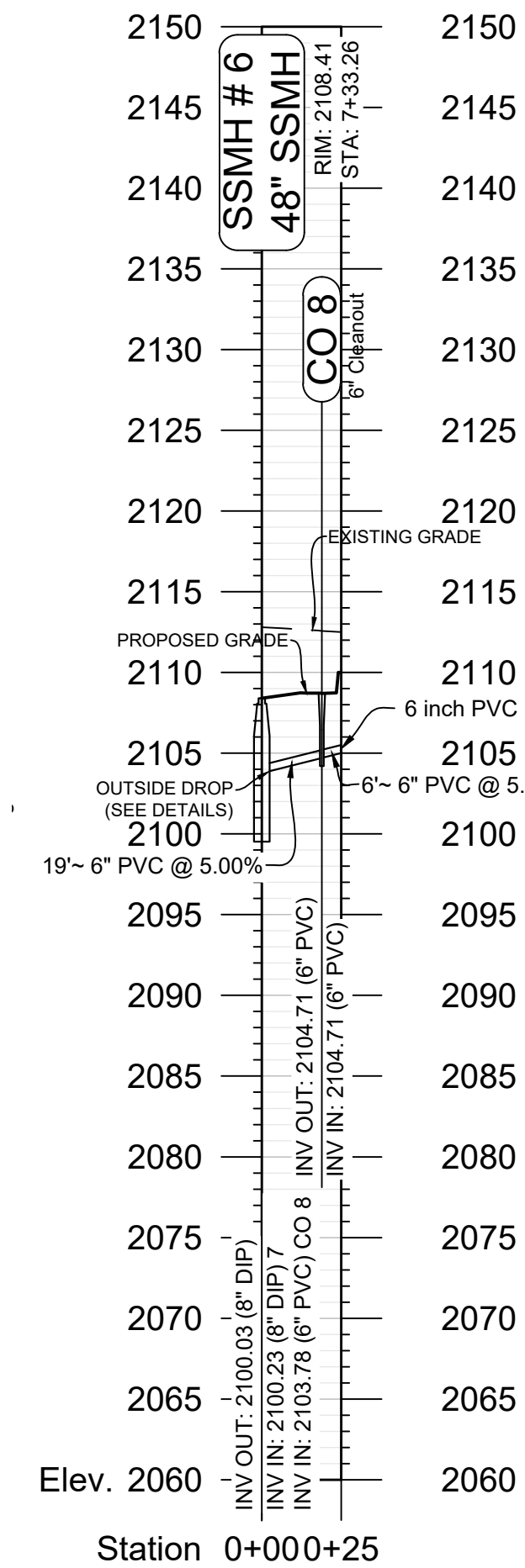
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 Jul 03, 2023 at 11:49 by jpb



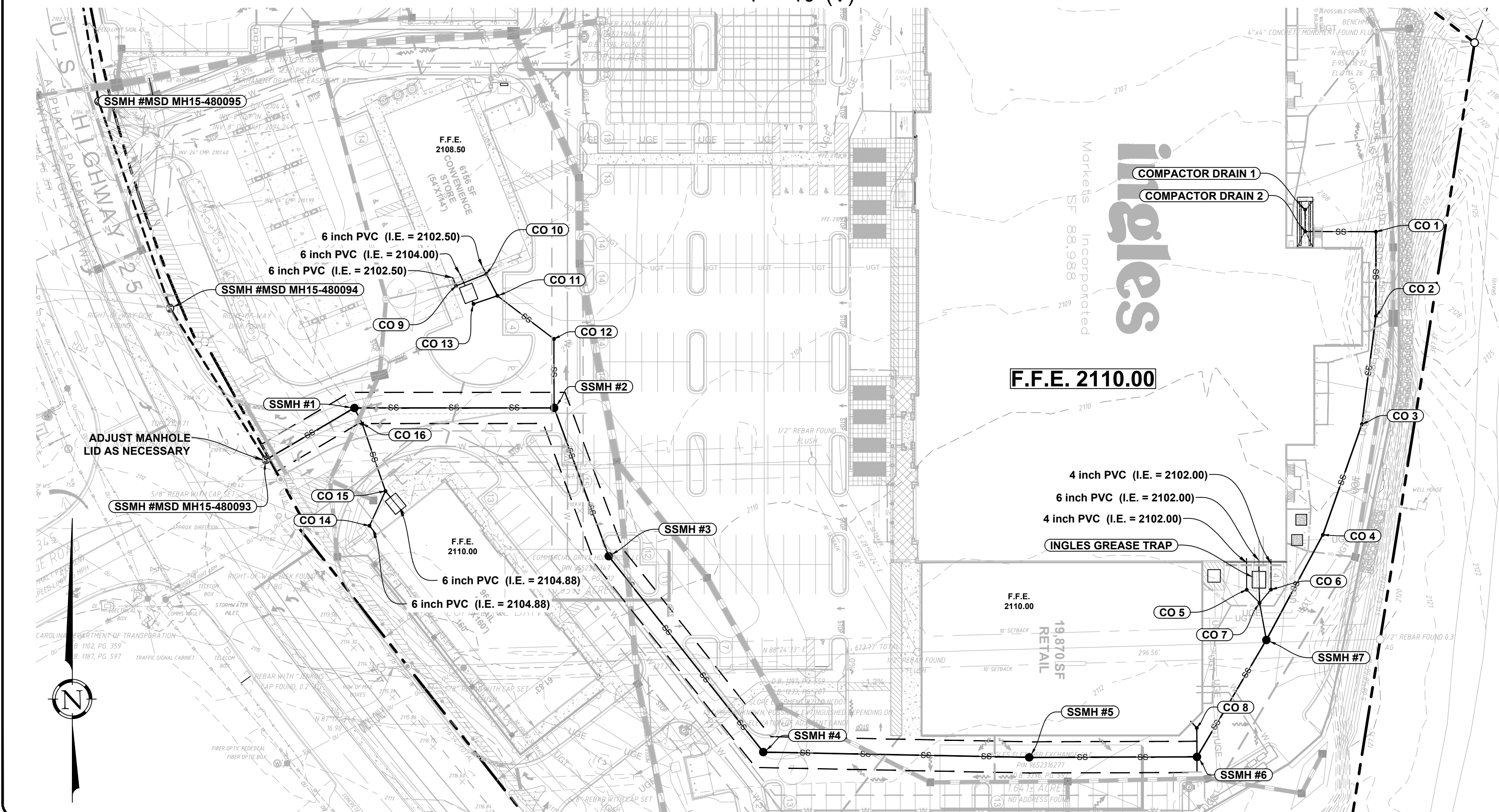
STORE SEWER
 STA: 0+00 - 8+72.10
 SCALE: 1" = 50' (H)
 1" = 10' (V)



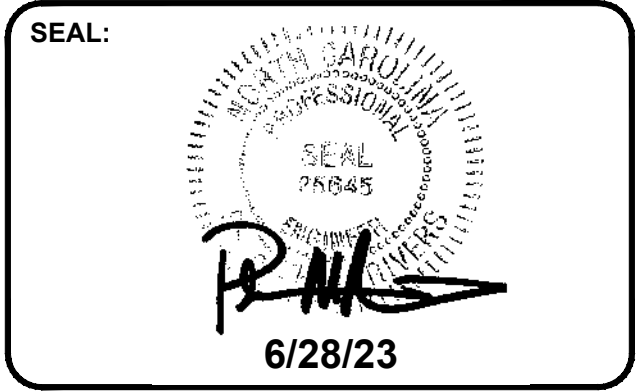
COMPACTOR DRAIN
 STA: 0+00 - 3+35.19
 SCALE: 1" = 50' (H)
 1" = 10' (V)



RIGHT RETAIL SEWER
 STA: 0+00 - 0+24.55
 SCALE: 1" = 50' (H)
 1" = 10' (V)



REVISIONS:			
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1	8/26/22	REVISED WATER LAYOUT AND ADDED RESTAURANT GREASE TRAP	SCW
2	6/28/23	MAJOR REVISION	PCB



CORPORATE SEAL:



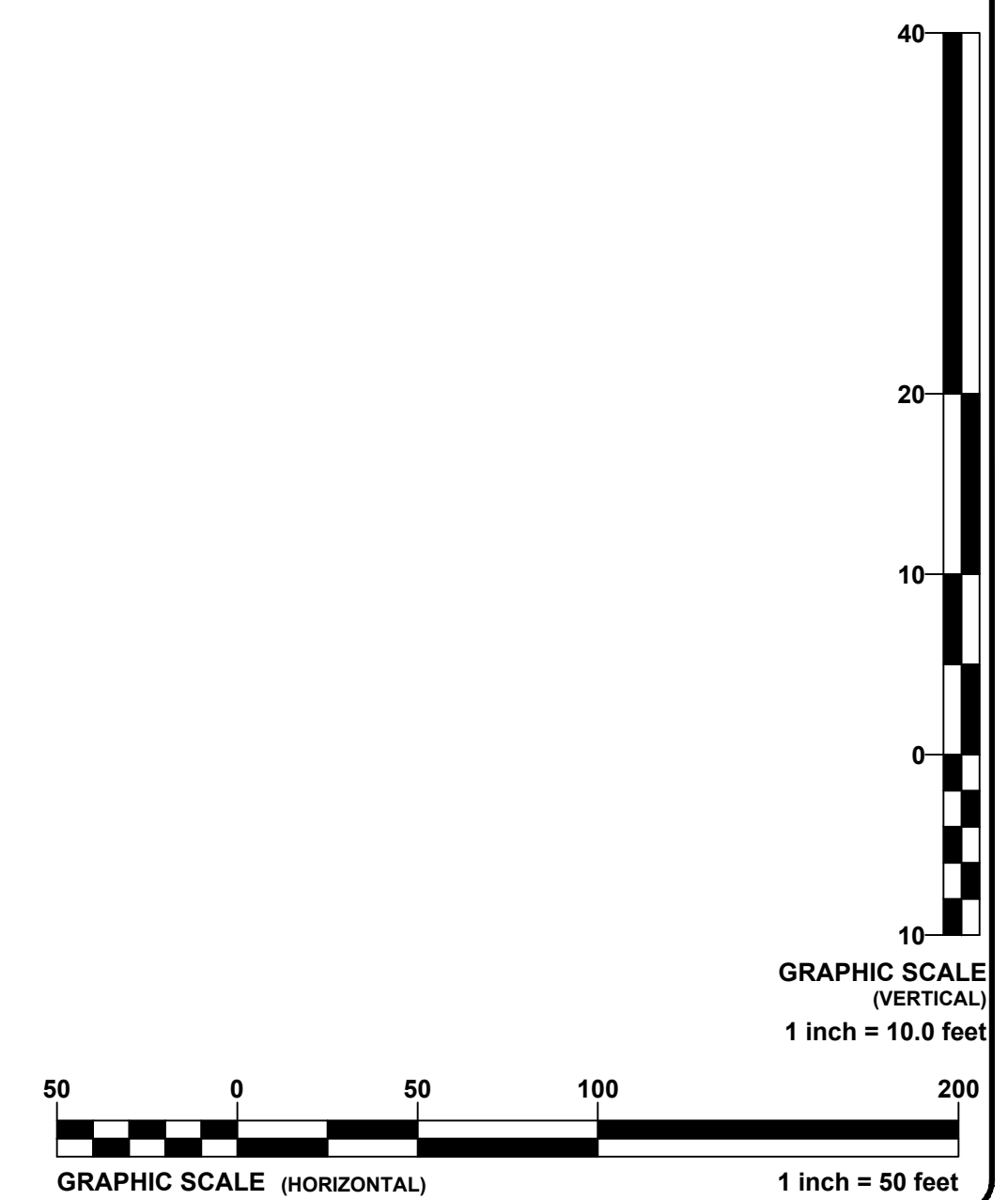
DBA
 LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@lpa-inc.net

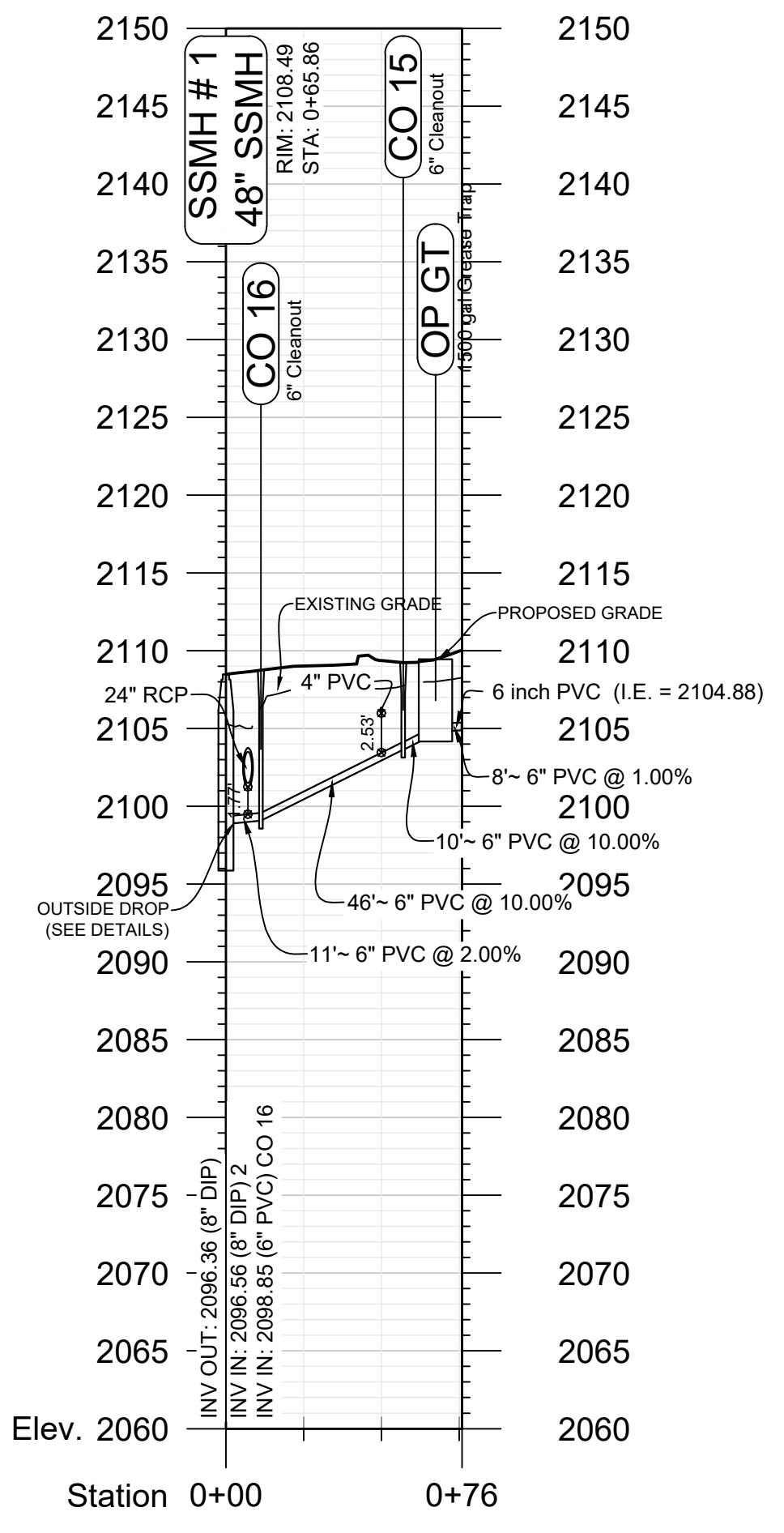
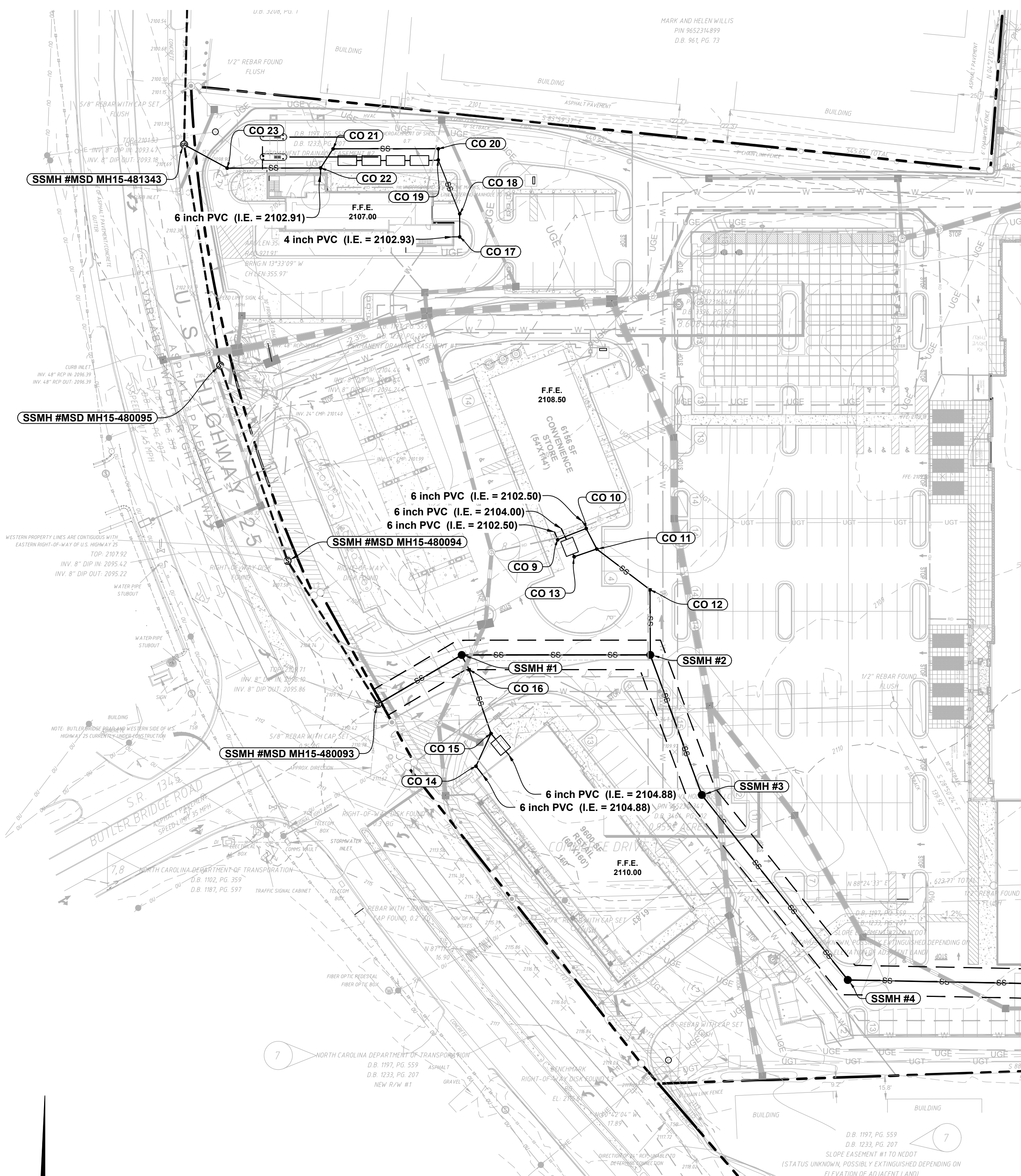
ingles
 Markets Incorporated
 STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

PROPERTY INFORMATION:
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 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

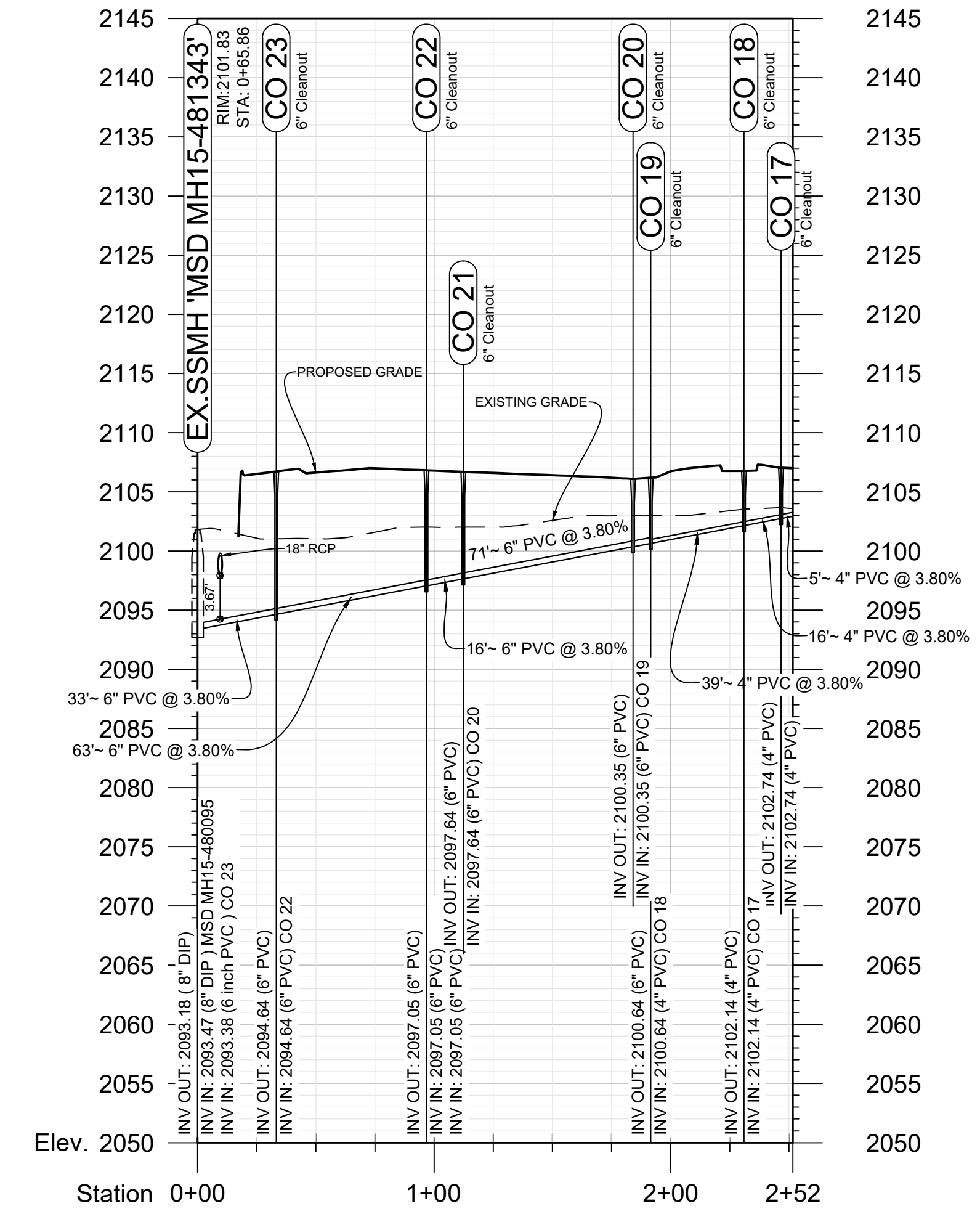
ISSUE FOR CONSTRUCTION:
 PERMIT DATE:
 BID DATE:
 DRAWN BY: PCB
 DESIGN BY: JDC
 CHECKED BY: PMR
 DATE: 4/19/22
 SCALE: HORIZ. 1" = 50' VERT. 1" = 10'
 JOB NUMBER: 21.018

SEWER PLAN AND PROFILE
C-111
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

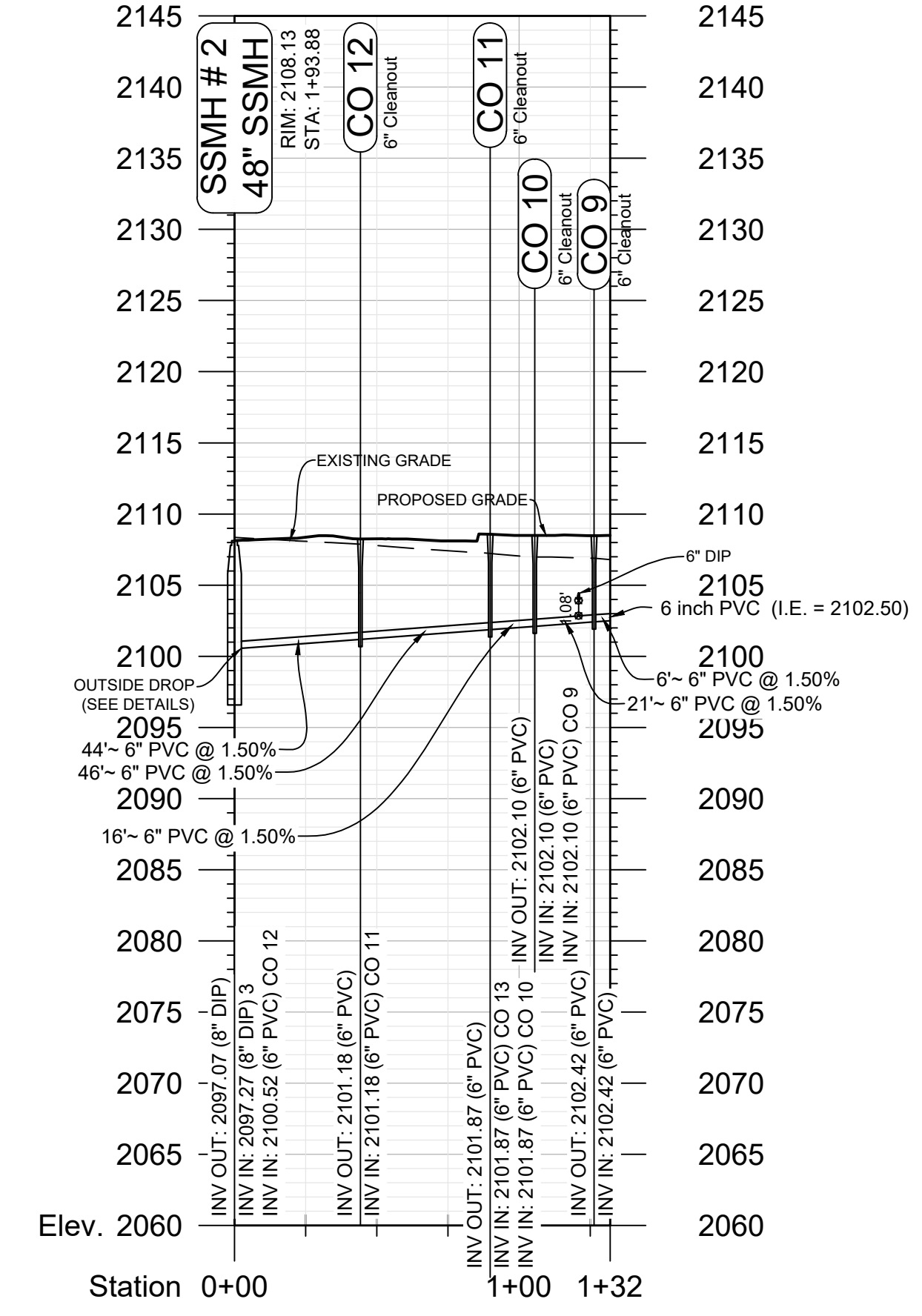




OUTPARCEL RETAIL SEWER
 STA: 0+00 - 0+75.88
 SCALE: 1" = 50' (H)
 1" = 10' (V)

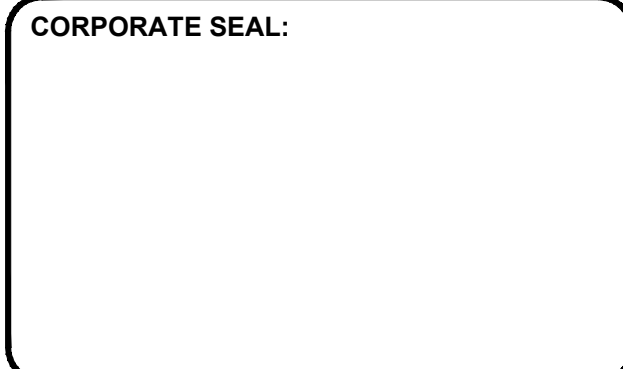
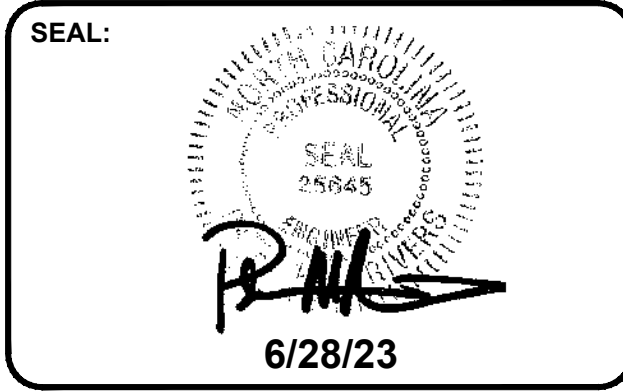


ZIPS SEWER
 STA: 0+00 - 2+51.70
 SCALE: 1" = 50' (H)
 1" = 10' (V)



C-STORE SEWER
 STA: 0+00 - 1+31.95
 SCALE: 1" = 50' (H)
 1" = 10' (V)

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED WATER LAYOUT AND ADDED RESTAURANT GREASE TRAP	SCW
2	6/28/23	MAJOR REVISION	PCB



DBA
LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@pa-inc.net

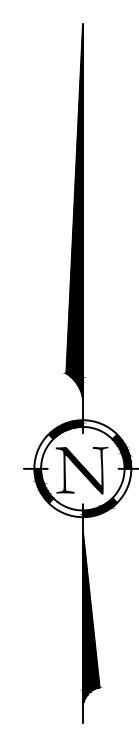
ingles
 Markets Incorporated
STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

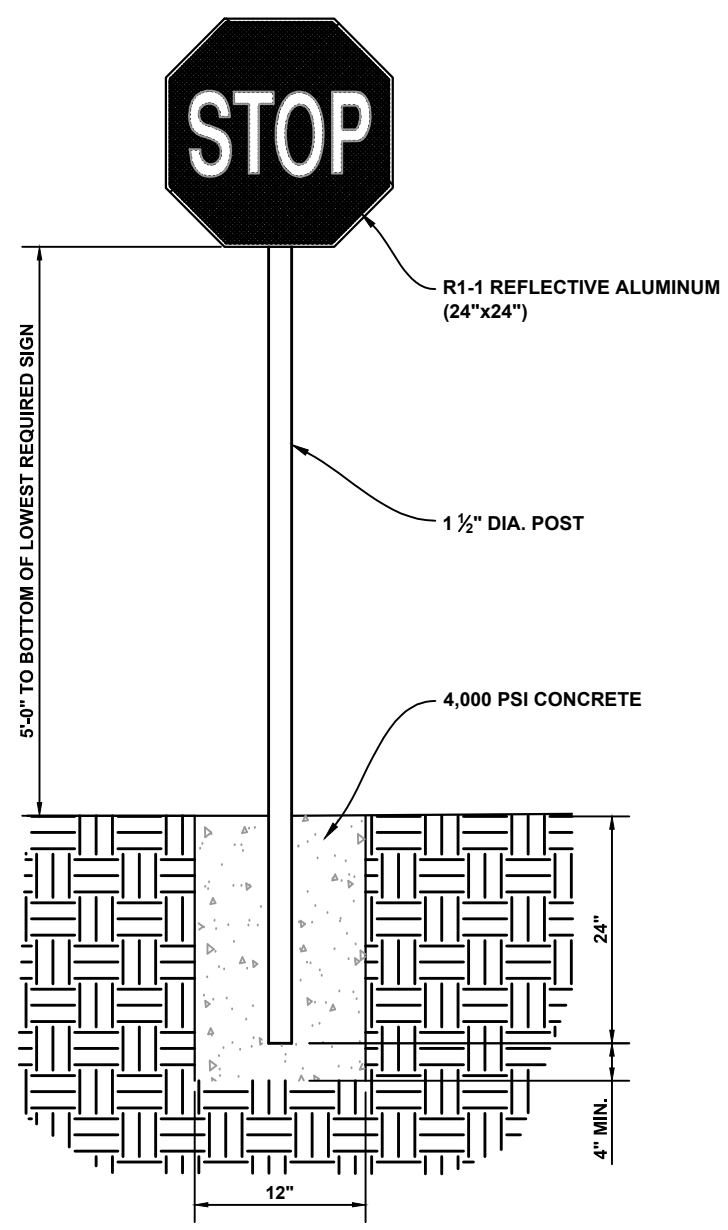
PROPERTY INFORMATION:
 TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:
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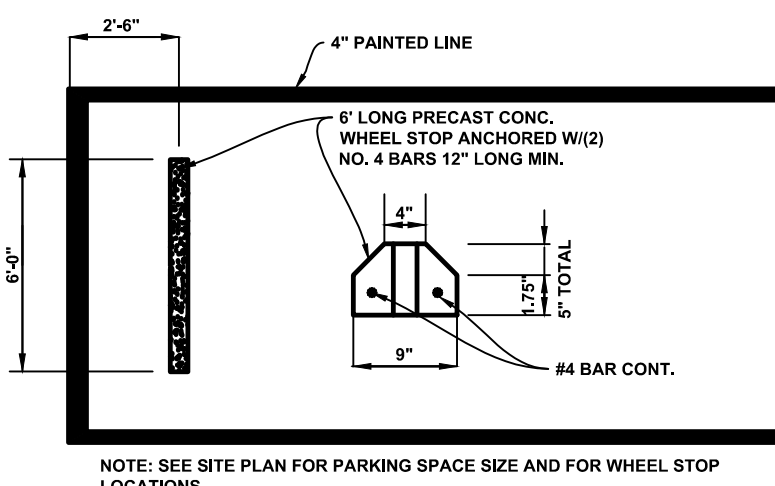
DRAWN BY: PCB
DESIGN BY: JDC
CHECKED BY: PMR
DATE: 4/19/22
SCALE: HORIZ. 1" = 50' VERT. 1" = 10'
JOB NUMBER: 21.018

SEWER PLAN AND PROFILE
C-112
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC



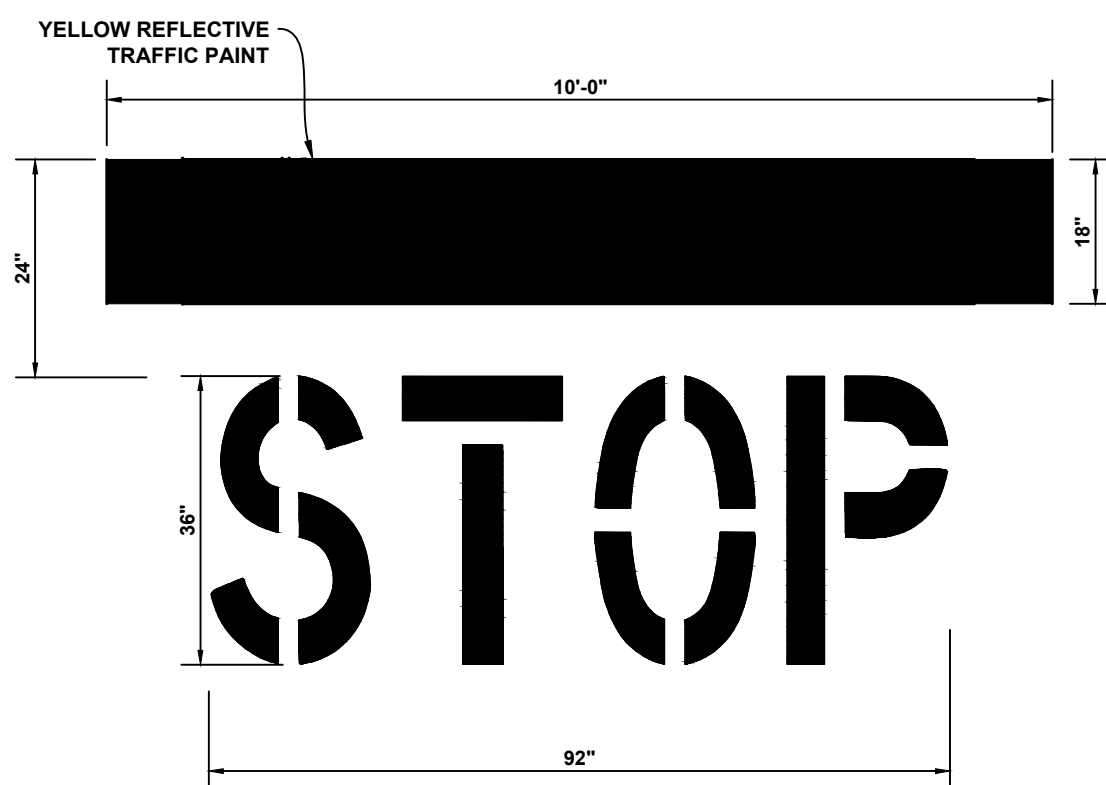


STOP SIGN DETAIL
(N.T.S.)



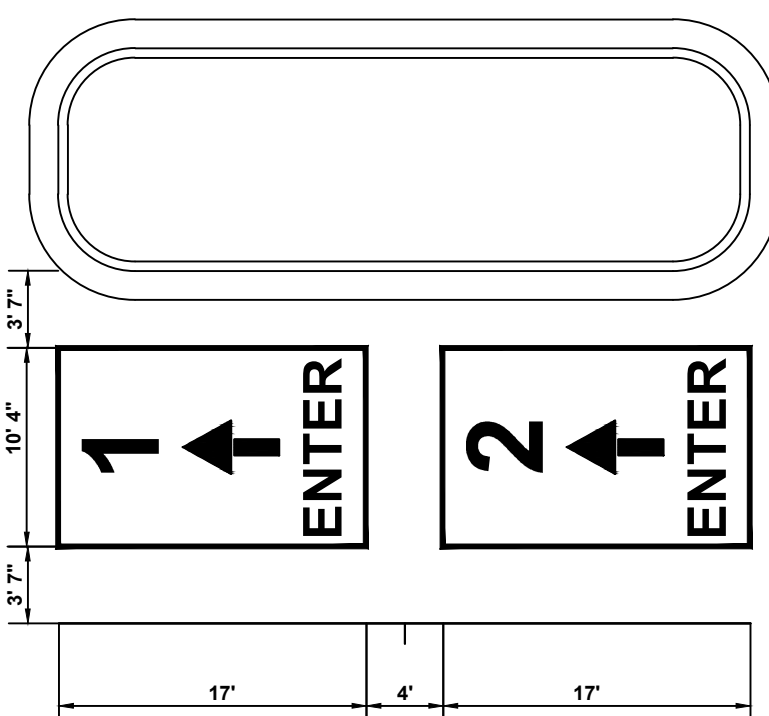
CONCRETE WHEEL STOP
(N.T.S.)

NOTE:
1. 84 GRADE 60 REBAR
2. CONCRETE MINIMUM 6000PSI @ 28 DAYS
3. TOTAL WEIGHT 210 LBS MINIMUM

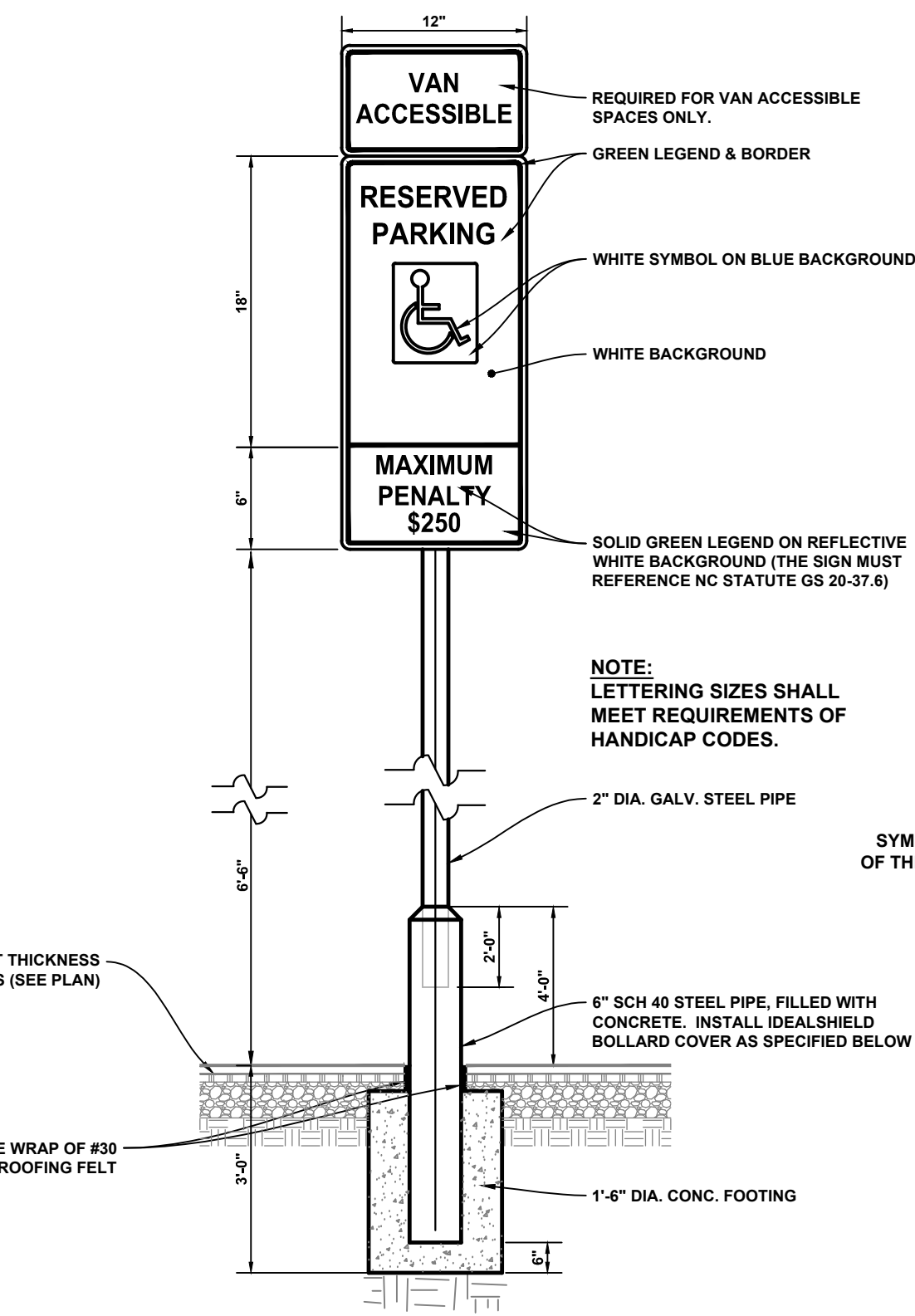


TYPICAL STOP BAR PAVEMENT MARKINGS
(N.T.S.)

NOTE:
STENCILS FOR ALL INGLE'S STRIPING CAN BE FOUND AT PAVEMENT STENCILS CO. ALTERNATE STENCILS NEED TO BE APPROVED BY INGLE'S CONSTRUCTION DEPARTMENT

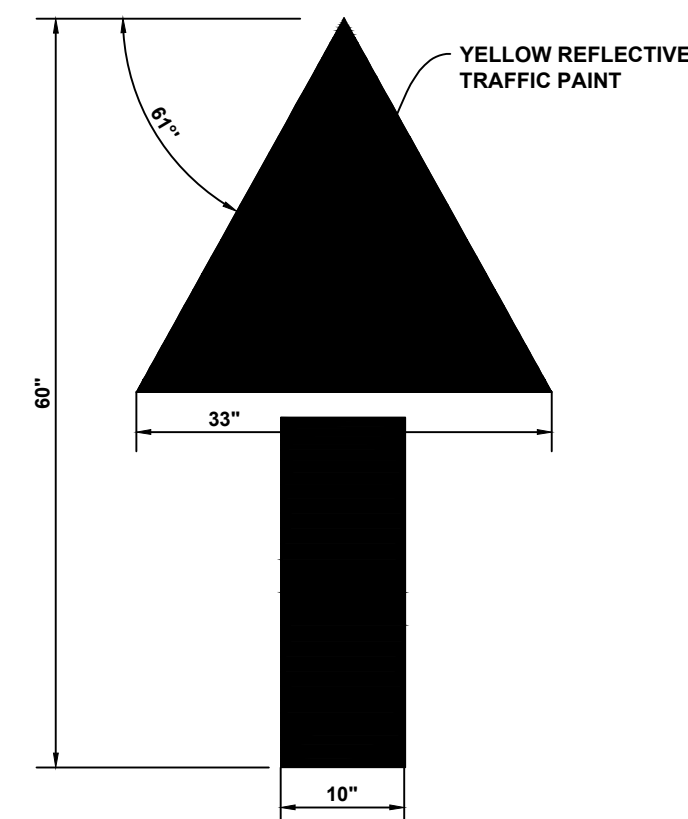


CUSTOMER PICKUP
(N.T.S.)



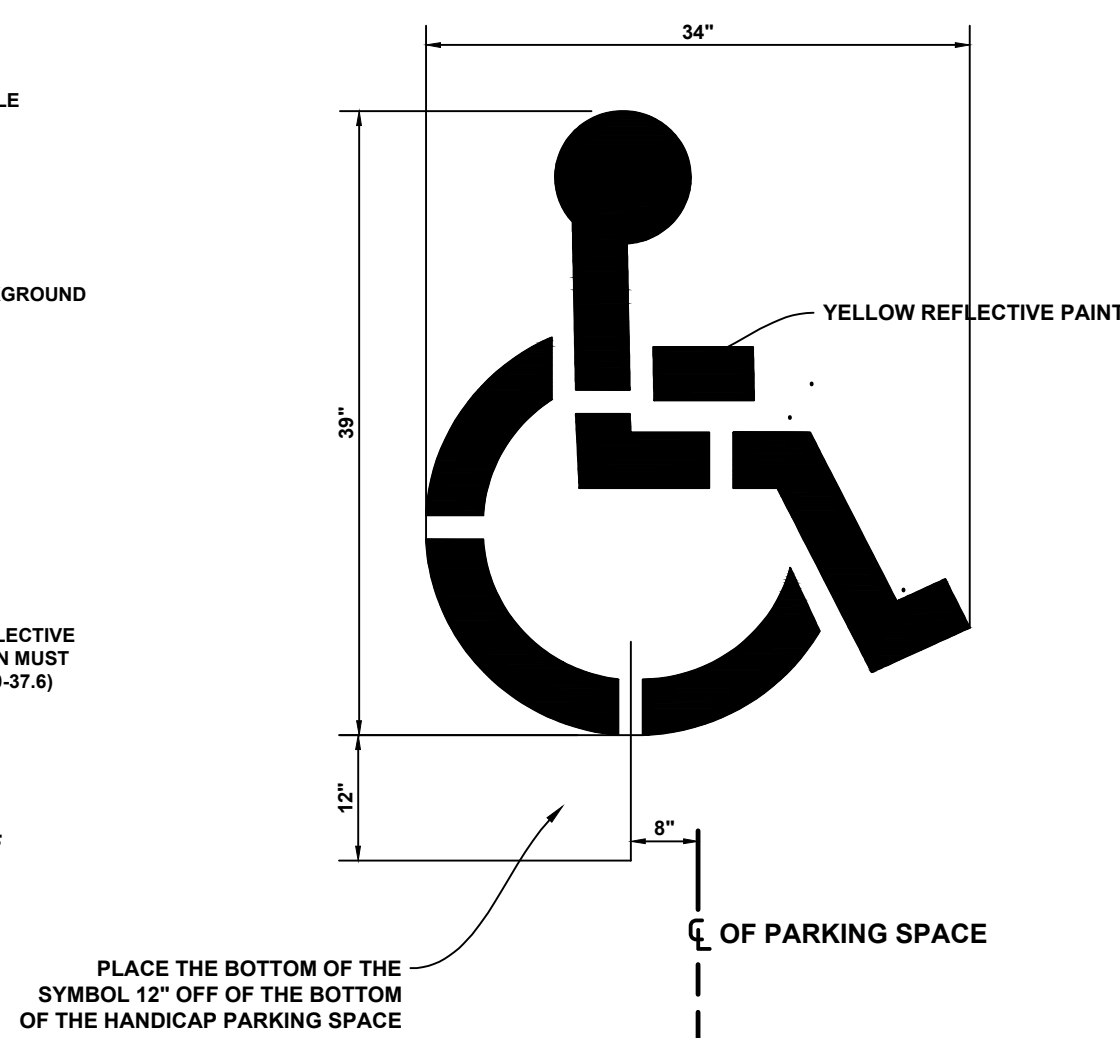
HANDICAP SIGN
(N.T.S.)

NOTE:
SIGN MUST MEET MUTCD R7-8 REQUIREMENTS
IDEAL SHIELD BOLLARD COVER NOTES:
• USE 1/4" NOMINAL THICK LOW-DENSITY POLYETHYLENE THERMOPLASTIC(LDPE)
• 6" DIAMETER BOLLARD COVER
• CUT CUSTOM HEIGHT TO 48"
• USE CUSTOM COLOR "ARCH BROWN- G79-2361-M7" PART # BPD-06-052-S(50")
• BPD-CC-04-052-S(32")
• CONTACT: ANTONIO RIVER (WORK:239-368-7976)



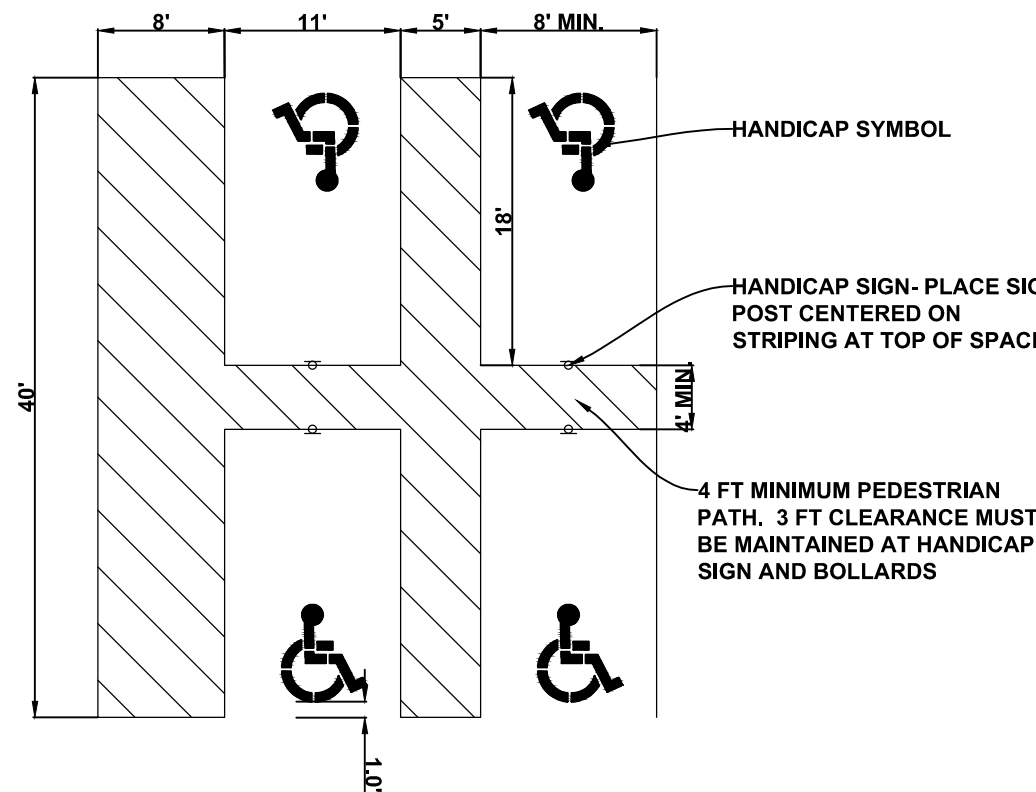
TRAFFIC ARROW
(N.T.S.)

NOTE:
STENCILS FOR ALL INGLE'S STRIPING CAN BE FOUND AT PAVEMENT STENCILS CO. ALTERNATE STENCILS NEED TO BE APPROVED BY INGLE'S CONSTRUCTION DEPARTMENT



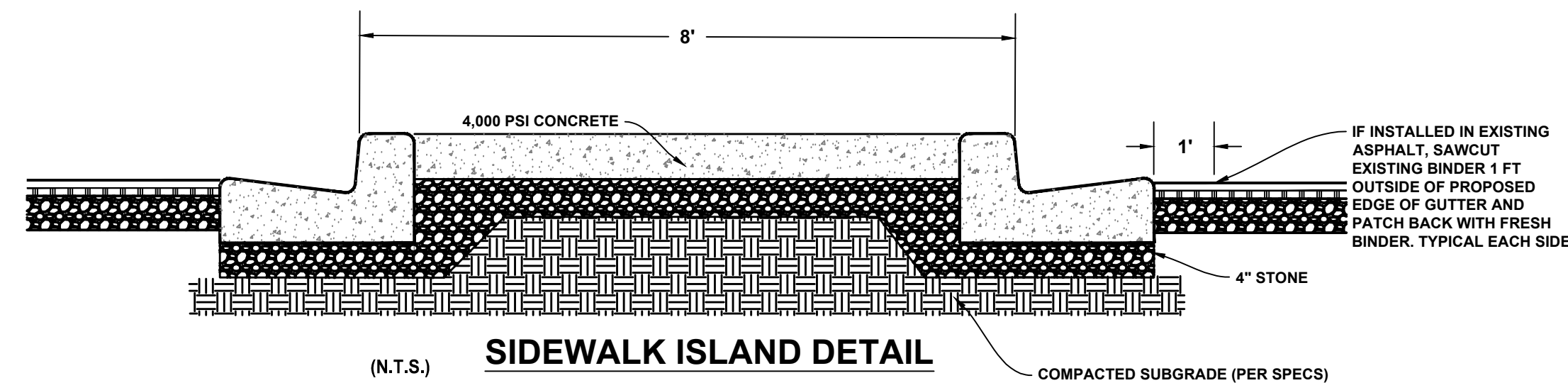
HANDICAP SYMBOL
(N.T.S.)

NOTE:
STENCILS FOR ALL INGLE'S STRIPING CAN BE FOUND AT PAVEMENT STENCILS CO. ALTERNATE STENCILS NEED TO BE APPROVED BY INGLE'S CONSTRUCTION DEPARTMENT



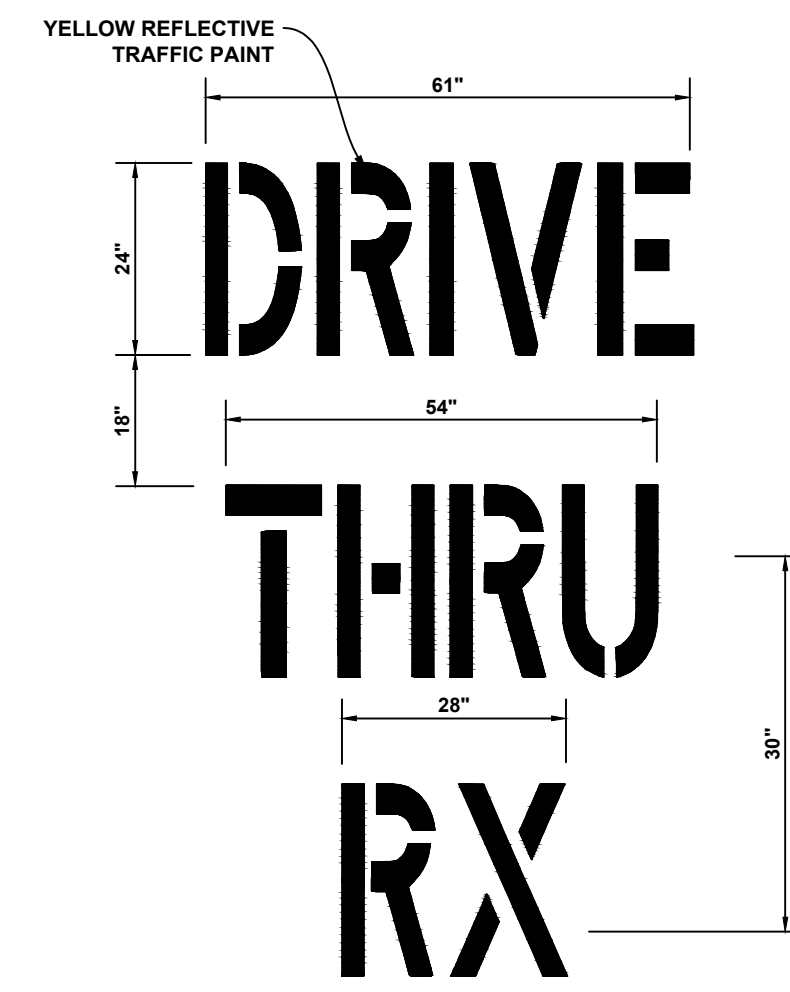
HANDICAP PARKING DETAIL
(N.T.S.)

NOTE:
THIS DETAIL IS A TYPICAL AND WILL VARY FROM SITE TO SITE. REFER TO SITE PLAN FOR EXACT LAYOUT



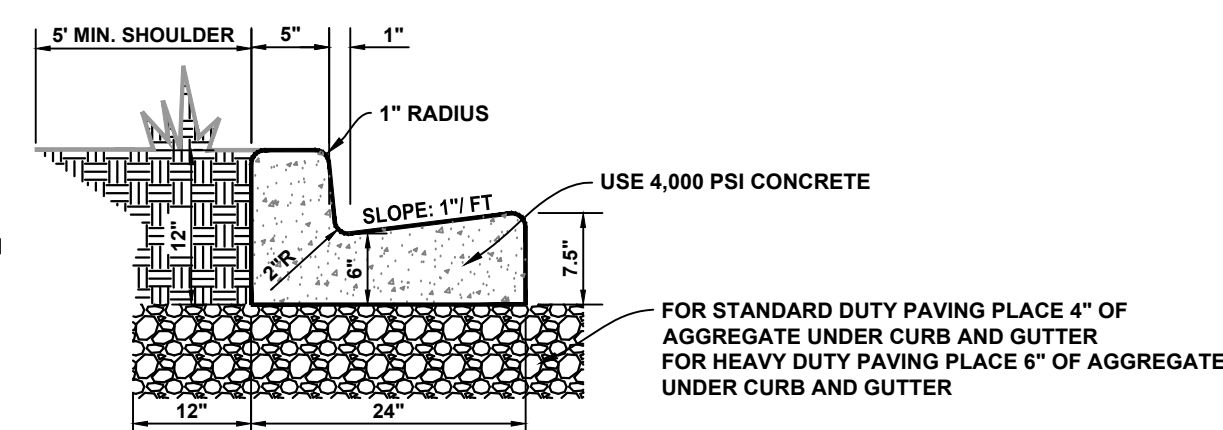
SIDEWALK ISLAND DETAIL
(N.T.S.)

NOTE:
MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS= 40' O/C
EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND CURB RETURNS



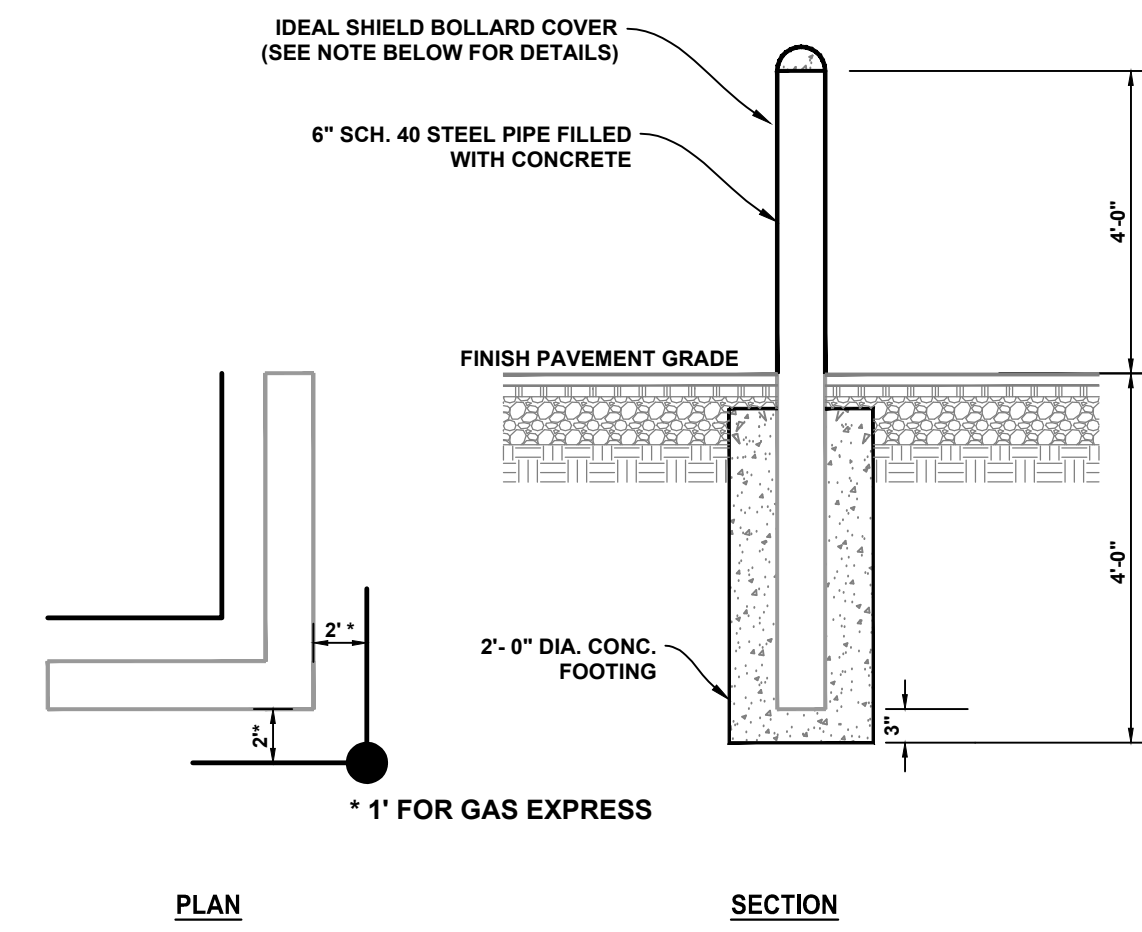
DRIVE THRU PHARMACY PAVEMENT MARKINGS
(N.T.S.)

NOTE:
STENCILS FOR ALL INGLE'S STRIPING CAN BE FOUND AT PAVEMENT STENCILS CO. ALTERNATE STENCILS NEED TO BE APPROVED BY INGLE'S CONSTRUCTION DEPARTMENT



24" CONCRETE CURB & GUTTER DETAIL
(N.T.S.)

NOTE:
1. MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS IS 40' O/C.
EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND CURB RETURNS
2. TOOLED CONTRACTION JOINTS REQUIRED EVERY 10 FT ALONG THE LENGTH OF CURB.

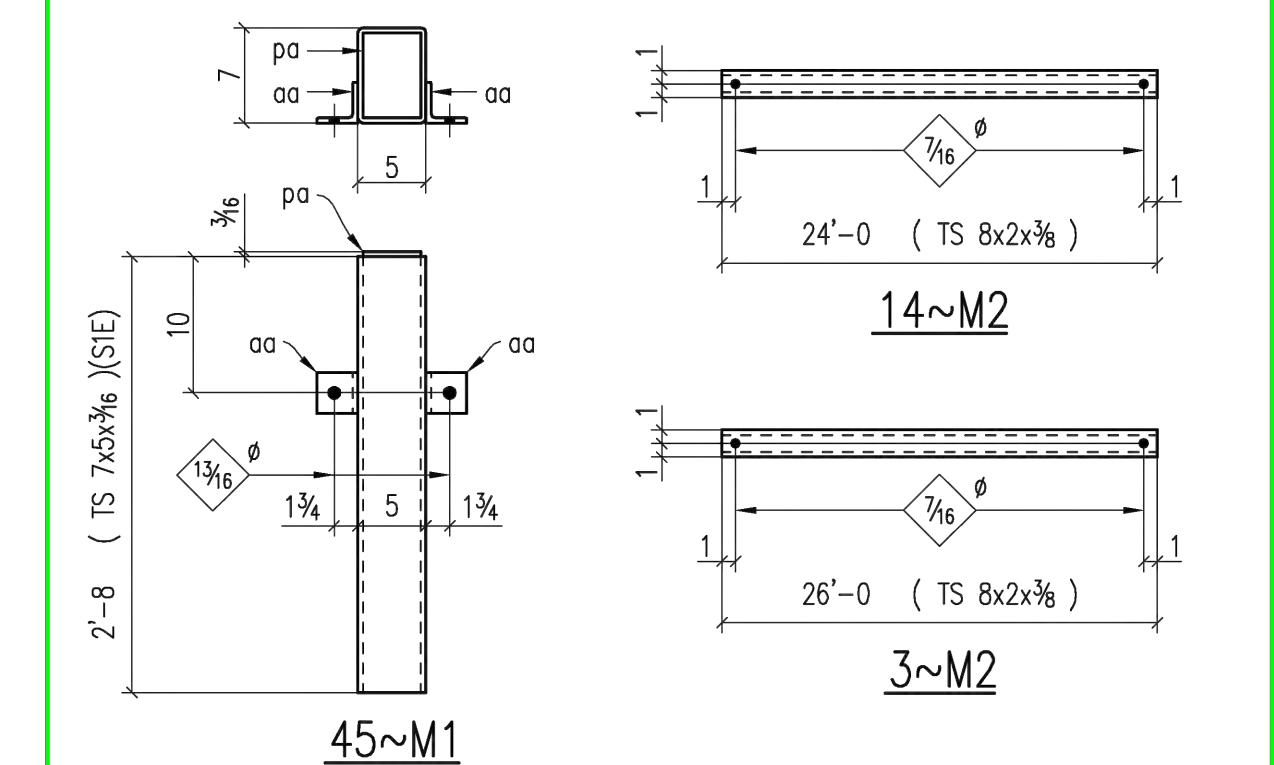


TYPICAL BOLLARD DETAIL
(N.T.S.)

IDEAL SHIELD BOLLARD COVER NOTES:
• USE 1/4" NOMINAL THICK LOW-DENSITY POLYETHYLENE THERMOPLASTIC(LDPE)
• 6" DIAMETER BOLLARD COVER
• CUT CUSTOM HEIGHT TO 48"
• USE CUSTOM COLOR "ARCH BROWN- G79-2361-M7" PART # BPD-06-052-S(50")
• BPD-CC-04-052-S(32")
• CONTACT: ANTONIO RIVER (WORK:239-368-7976)

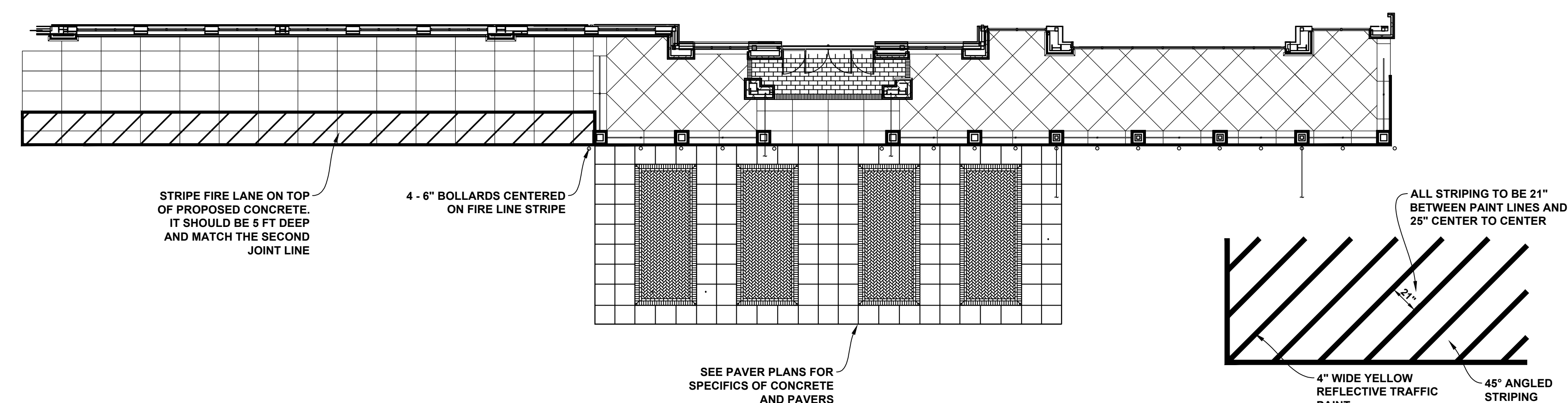
SHIP MARK	ASS'M MARK	NO. PCS.	SECTION	LENGTH FT. IN.	REMARKS	UNIT WGT.	TOTAL WEIGHT
M1		45	TS 7x5x3/16	2 8	STE		1743.60
	pa	45	R 3/16x4 1/4	0 6 3/4			76.71
	aa	90	L 3/8x3/4	0 3			110.25
TOTAL WEIGHT							1930.56
M2		14	TS 8x2x3/8	24 0			7516.32
M3		3	TS 8x2x3/8	26 0			1744.86

FIELD BOLTS
-0-



TUBULAR STEEL GUARDRAIL
(N.T.S.)

POWDER COAT BLACK
FABRICRAFT CUSTOMER: JAMES R. VANNOY & SONS
21 THIRD ST. BRISTOL, TN 37620
PROJECT: MERRIMON AVE. INGLE'S/3 ASHEVILLE, NC
DRAWN: R.B. 2-14
CHECKED: Q28-019
JOB NUMBER: SHEET SK1



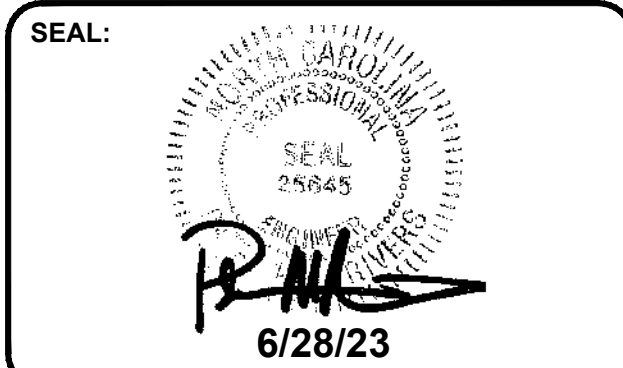
STANDARD STRIPING DETAIL
(N.T.S.)

NOTE:
SEE PAVER PLANS FOR SPECIFICS OF CONCRETE AND PAVERS

NOTE:
ALL STRIPING TO BE 21" BETWEEN PAINT LINES AND 25" CENTER TO CENTER

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	6/28/23	REVISED DETAILS PER INGL'S	JDC



CORPORATE SEAL:



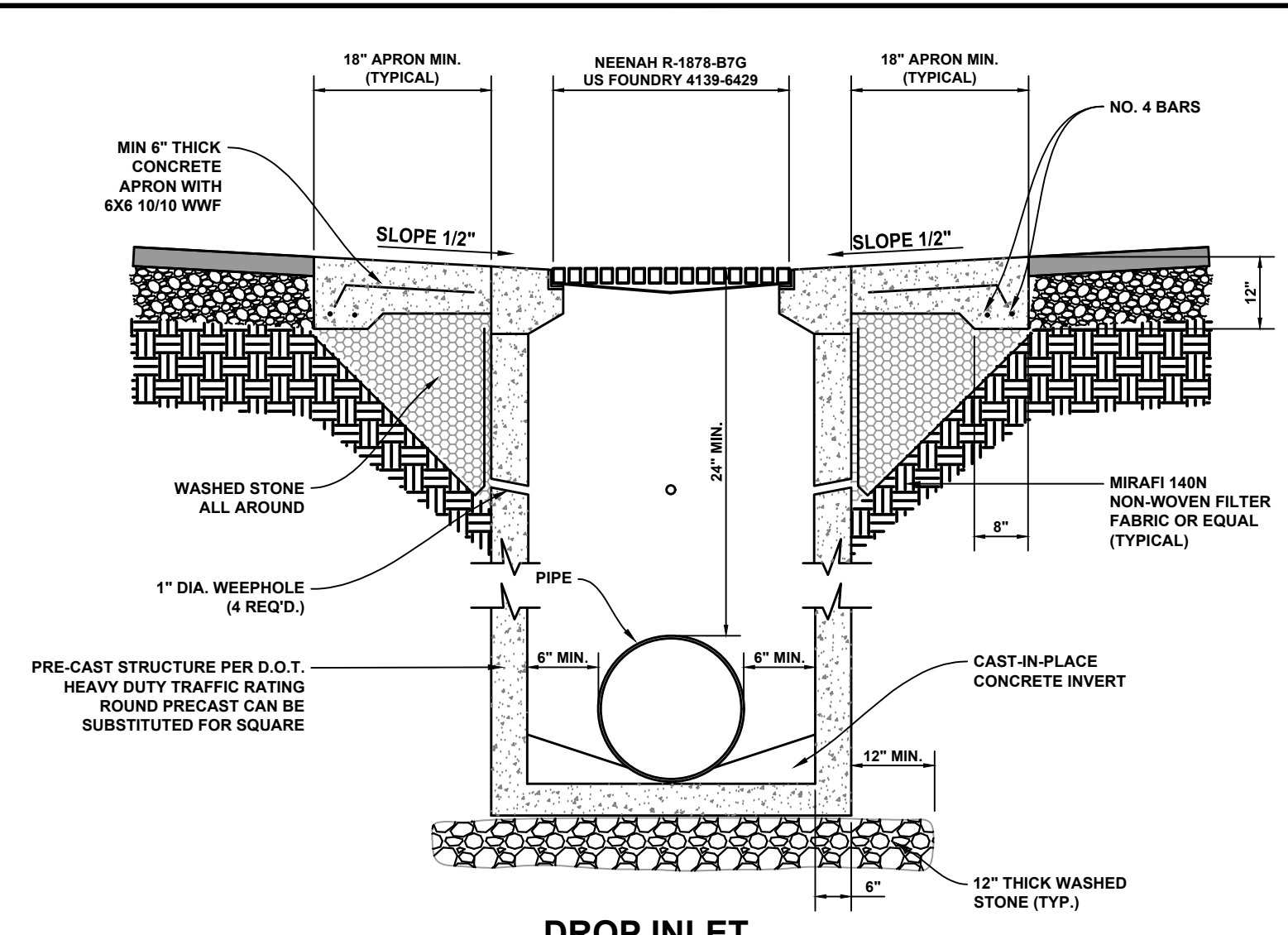
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LAND PLANNING ASSOCIATES OF NC, INC.
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864.242.6072 FAX 208.730.8214
design@lpa-inc.net

ingles
Markets Incorporated
STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER NC

PROPERTY INFORMATION:
TAX MAP NUMBER: 9652316641, 9652316277
REFERENCE D.B. & PG: DB 3396 PG 597
ADDITIONAL INFO:
9652314347
DB 3464 PG 102

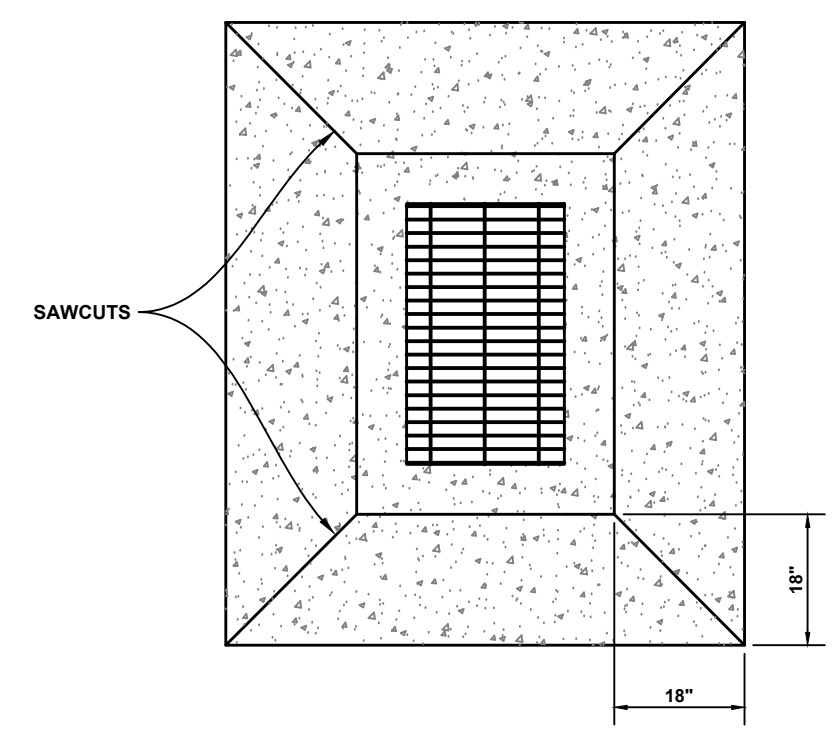
ISSUE FOR CONSTRUCTION:
PERMIT DATE:
BID DATE:
DRAWN BY: PCB
DESIGN BY: JDC
CHECKED BY: JDC
DATE: 4/19/22
SCALE: HORIZ. VERT.
JOB NUMBER: 21.018

SITE DETAILS
C-113
STORE #140
HENDERSONVILLE RD
FLETCHER NC

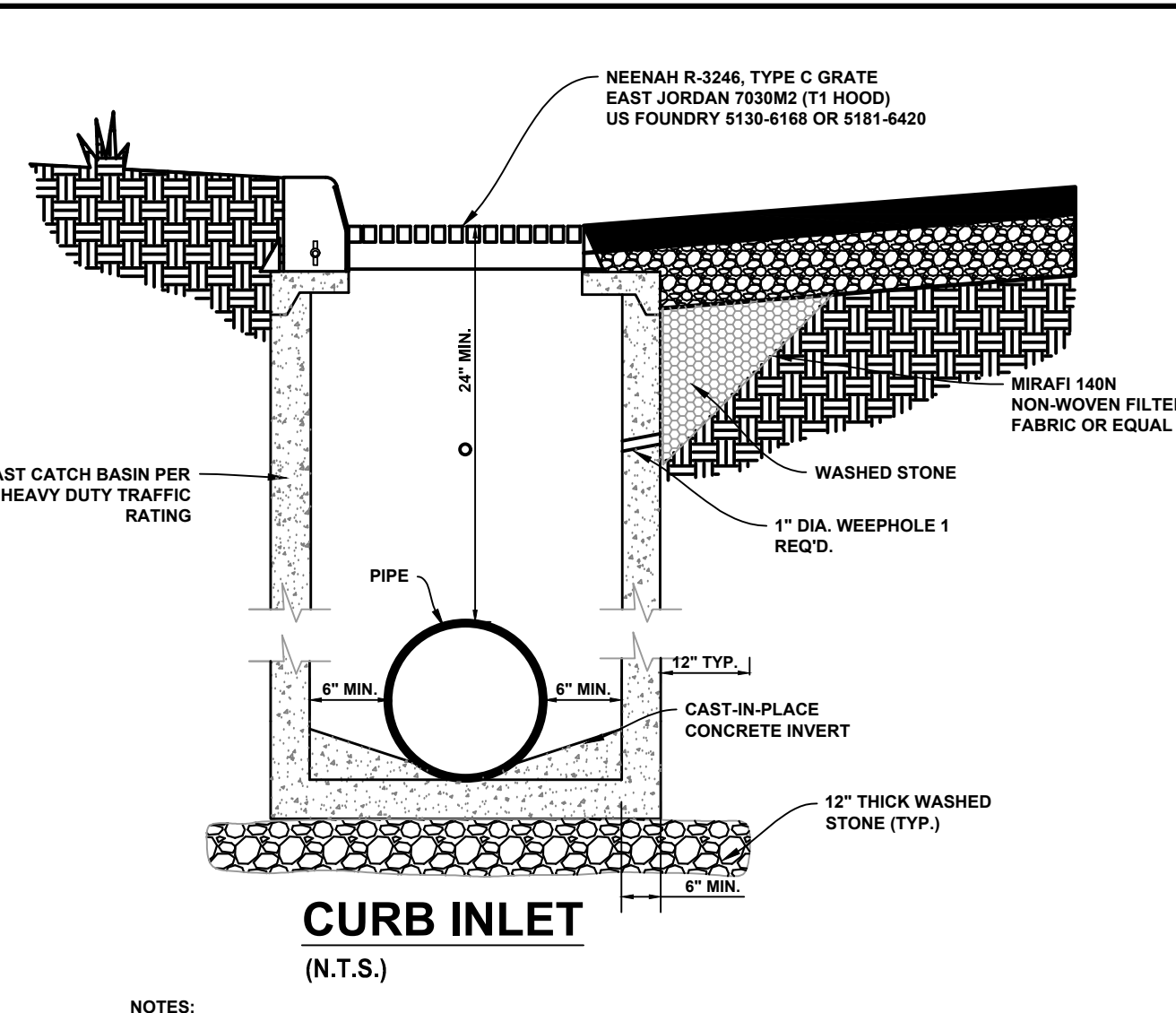


DROP INLET
(N.T.S.)

- NOTES:
 1. NO KNOCKOUT BOXES UNLESS APPROVED BY INGLES AND DESIGN ENGINEER
 2. H-20 TRAFFIC LOAD RATING
 3. IF GRATE IS REQUIRED TO BE ADA COMPLIANT, USE US FOUNDRY 4139-6002

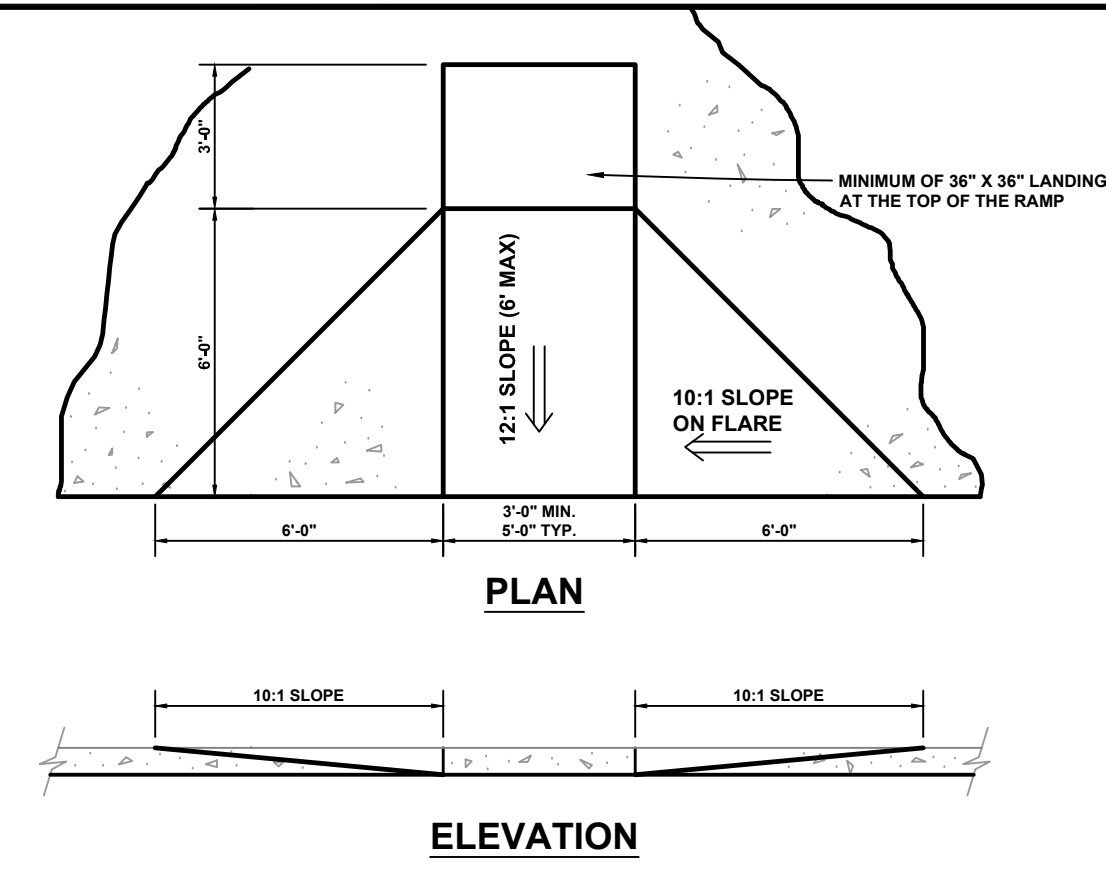


INLET APRON
(N.T.S.)



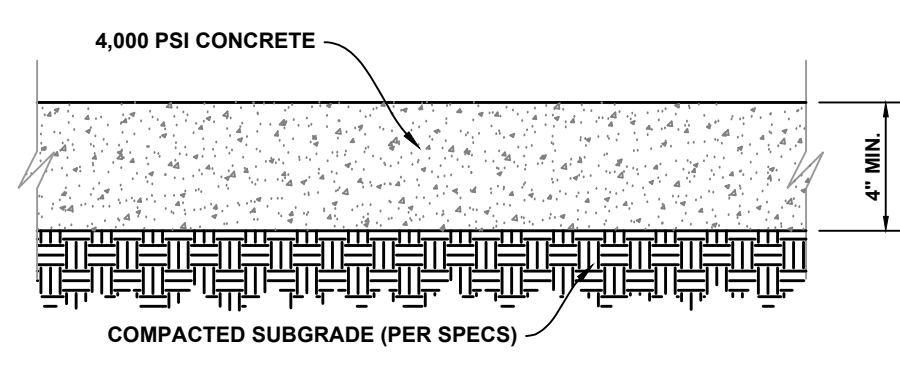
CURB INLET
(N.T.S.)

- NOTES:
 1. NO KNOCKOUT BOXES UNLESS APPROVED BY INGLES AND DESIGN ENGINEER
 2. H-20 TRAFFIC LOAD RATING
 3. MANHOLE FRAME AND COVER SHALL MATCH GRADE AND CROSS SLOPE OF DRIVEWAY UNLESS WITHIN A SAG.



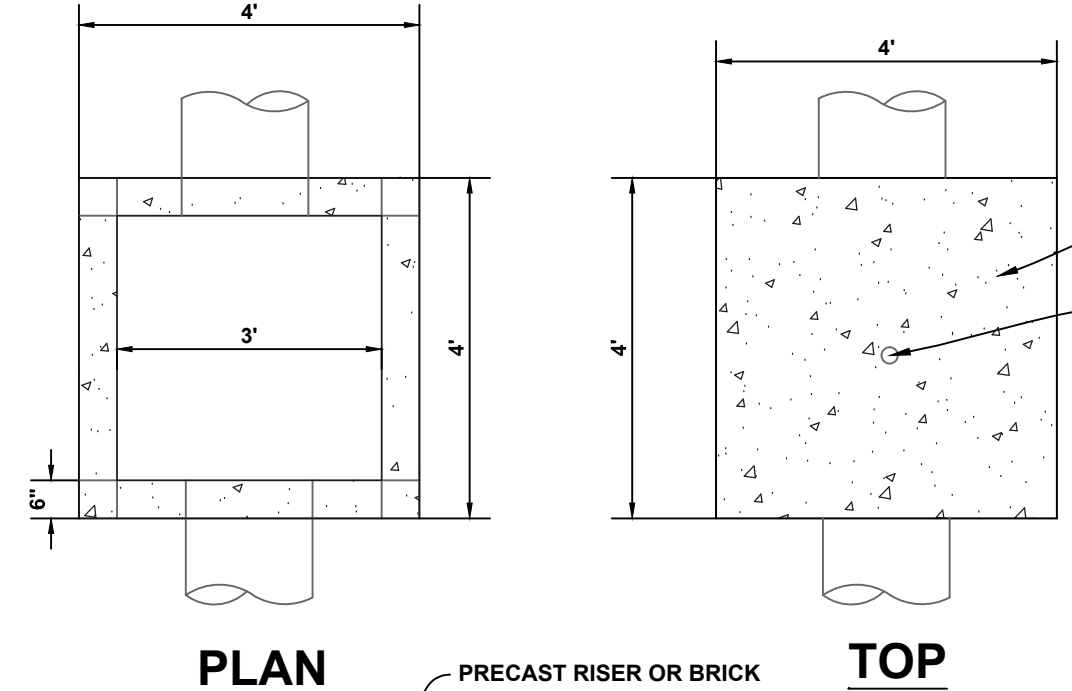
CURB RAMP PLAN
(N.T.S.)

- NOTE:
 1. IF RAMP IS PERPENDICULAR TO THE SIDEWALK, THE RAMP WIDTH SHOULD MATCH THE SIDEWALK WIDTH
 2. MAXIMUM CROSS SLOPE OF RAMP IS 2%
 3. PROVIDE TRUNCATED DOME WARNING DEVICE AS REQUIRED BY THE GOVERNING AGENCY.



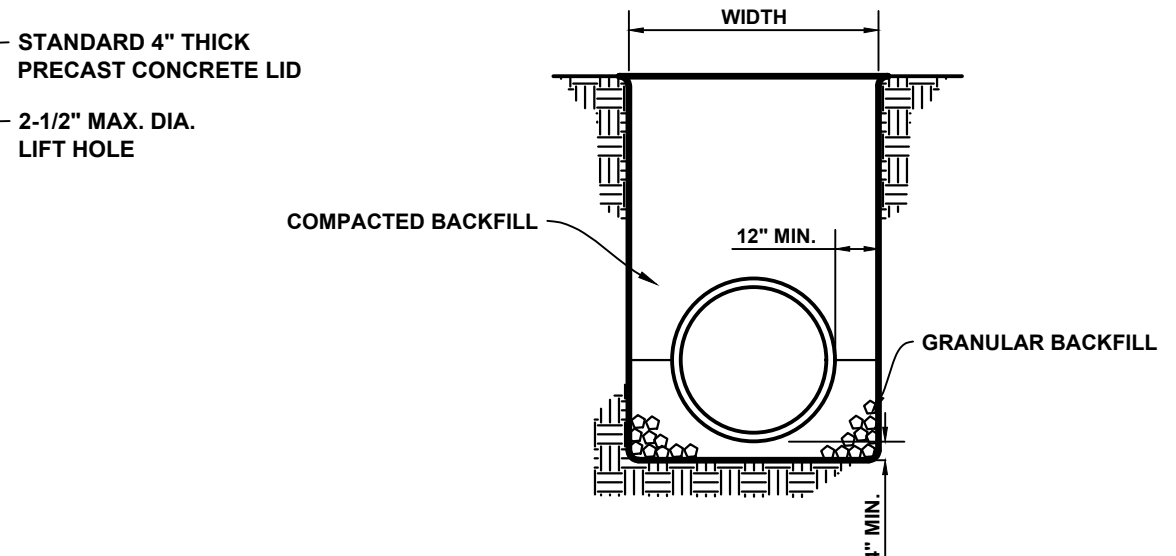
SIDEWALK DETAIL
(N.T.S.)

- NOTES:
 1. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH
 2. EXPANSION JOINTS 40' O/C
 3. ALL JOINTS SEALED PER SPEC
 4. SEE DOT DETAIL FOR SIDEWALK WITHIN RIGHT OF WAY
 5. PLACE ON STONE WHEN REQUIRED BY GOVERNING AGENCY



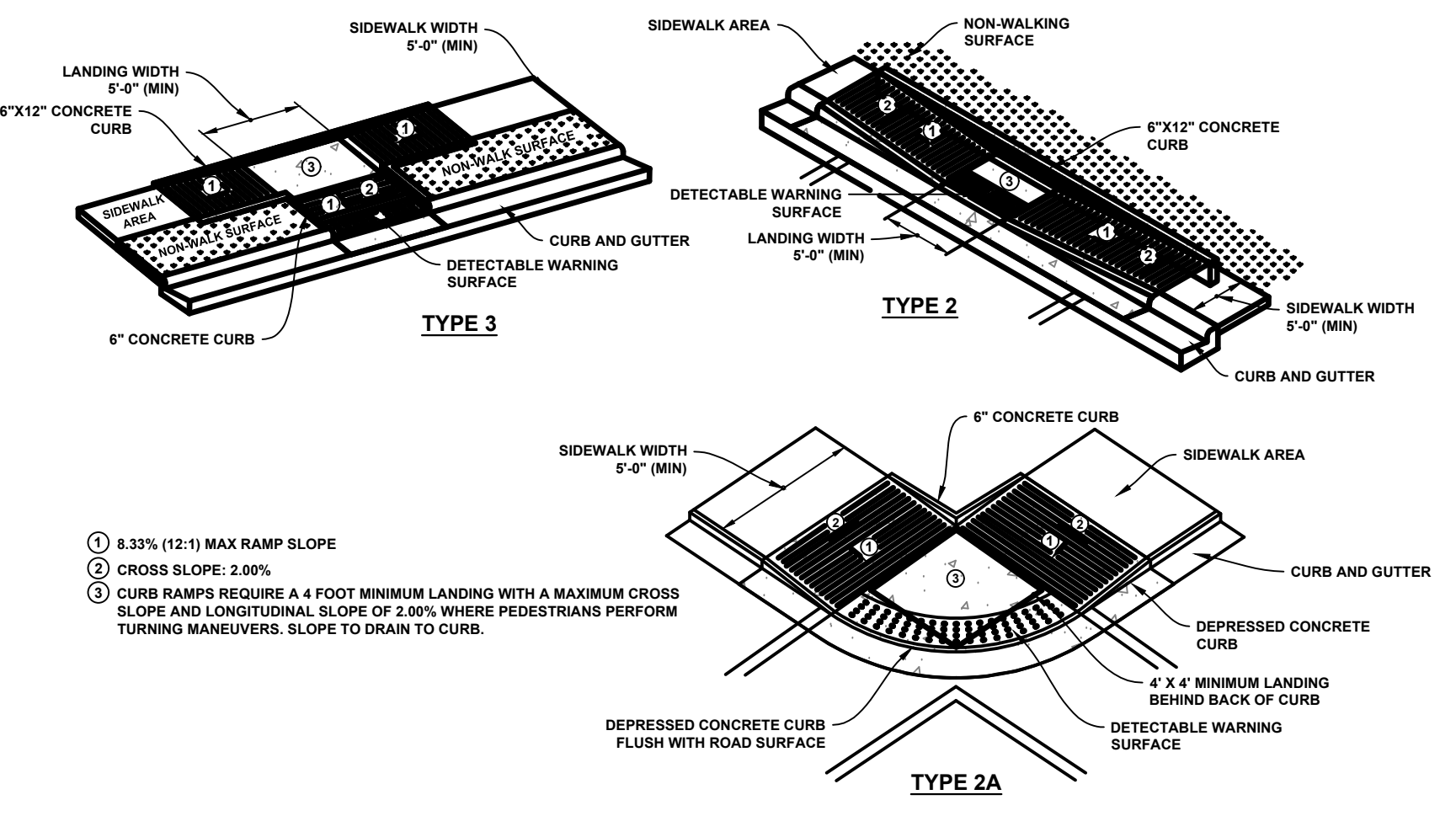
PLAN

TOP



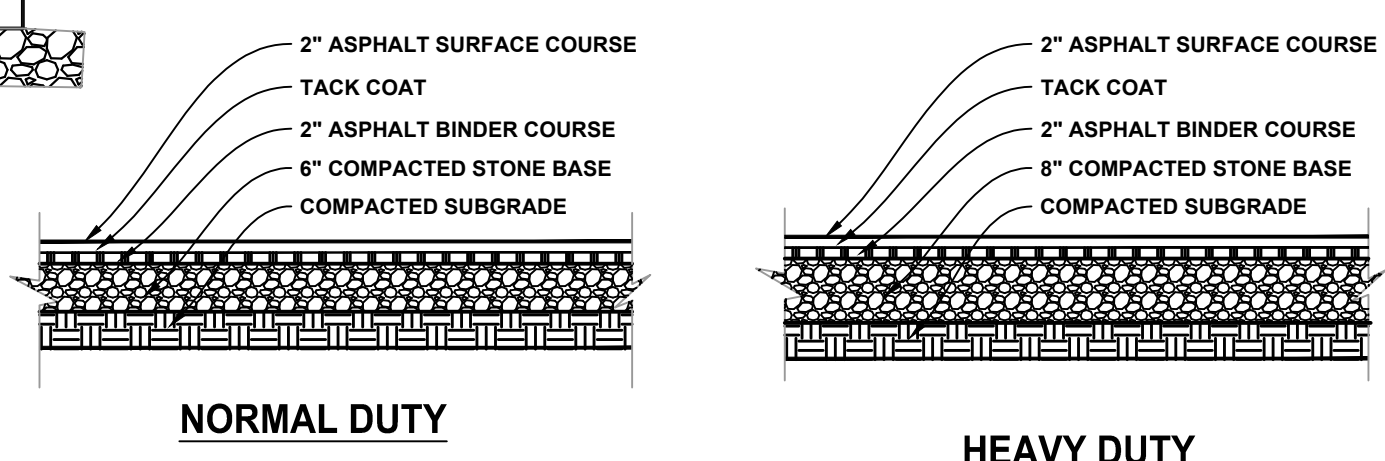
STORM DRAIN BEDDING
(N.T.S.)

- NOTE:
 PIPE BEDDING MATERIAL SHALL CONFORM TO AASHTO M43 NO. 57 COURSE AGGREGATE PLACED WITH 4\"/>

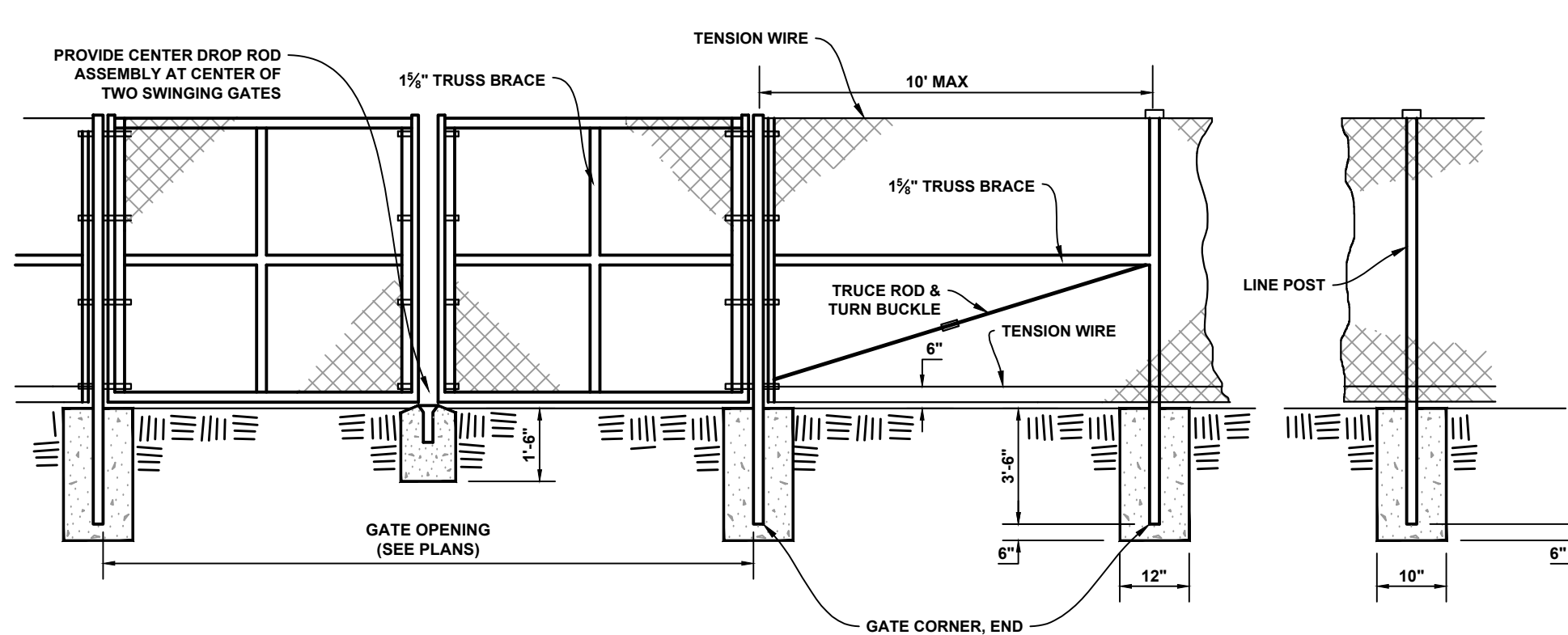


PARALLEL RAMPS DETAIL
(N.T.S.)

- ① 3.33% (1:3) MAX RAMP SLOPE
 ② CROSS SLOPE: 2.00%
 ③ CURB RAMPS REQUIRE A 4 FOOT MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.

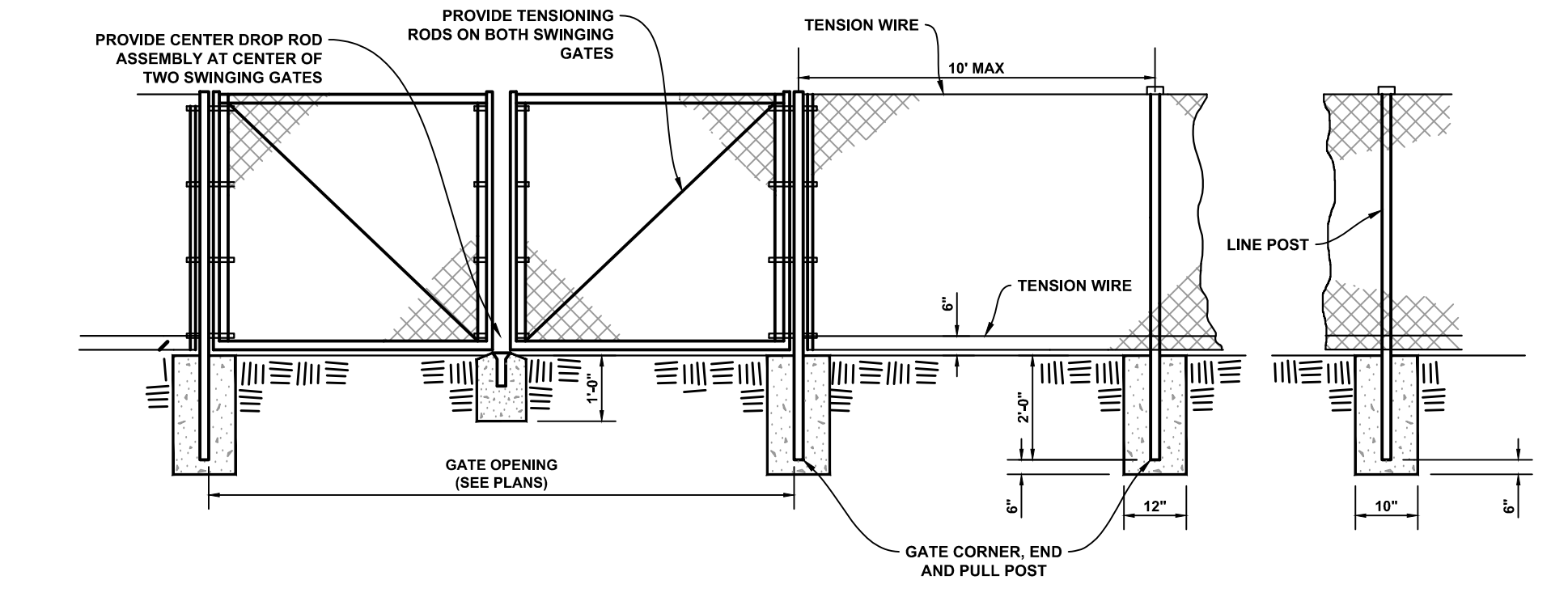


PAVING DETAILS
(N.T.S.)



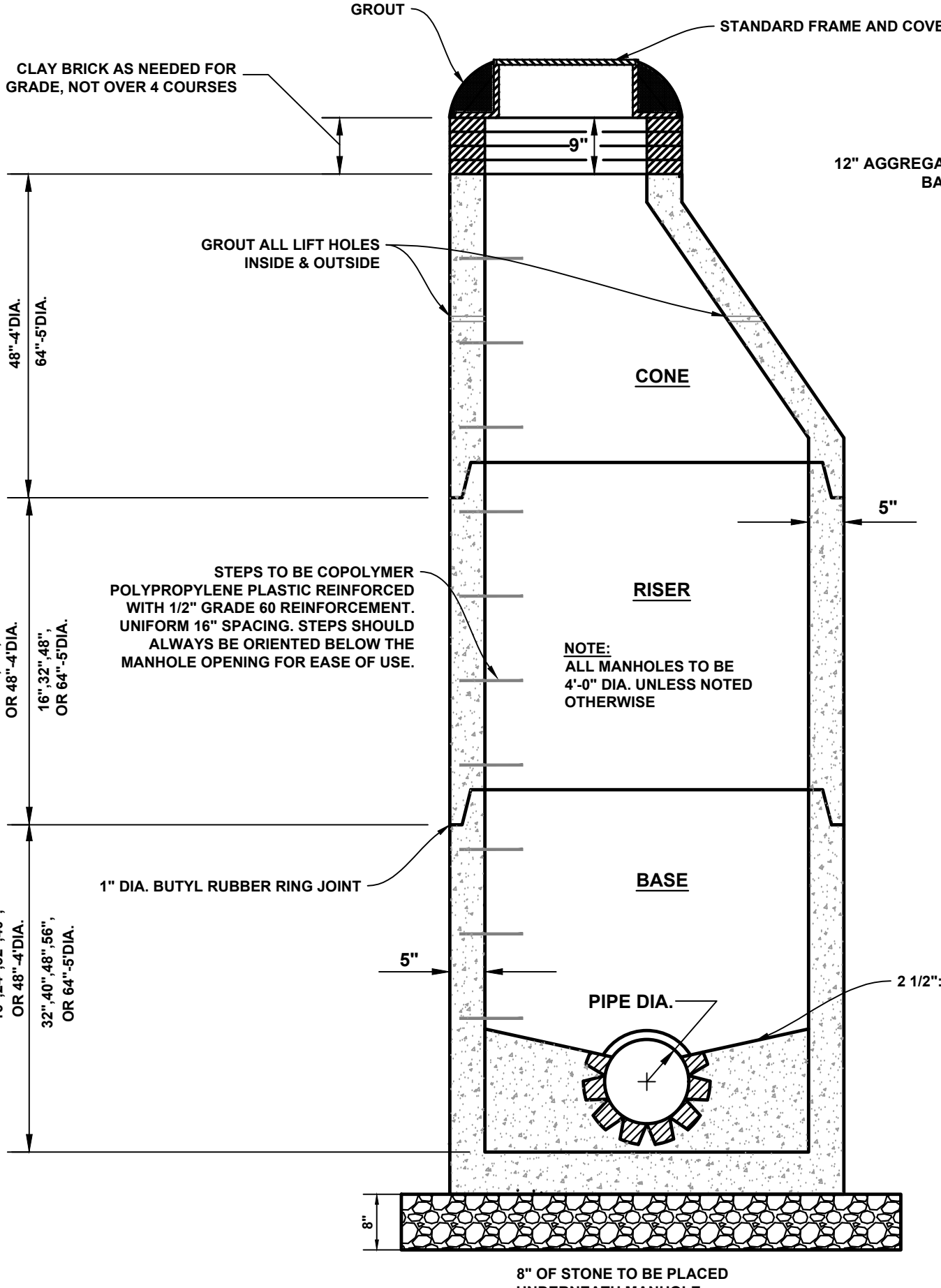
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- NOTES:
 1. 6\"/>



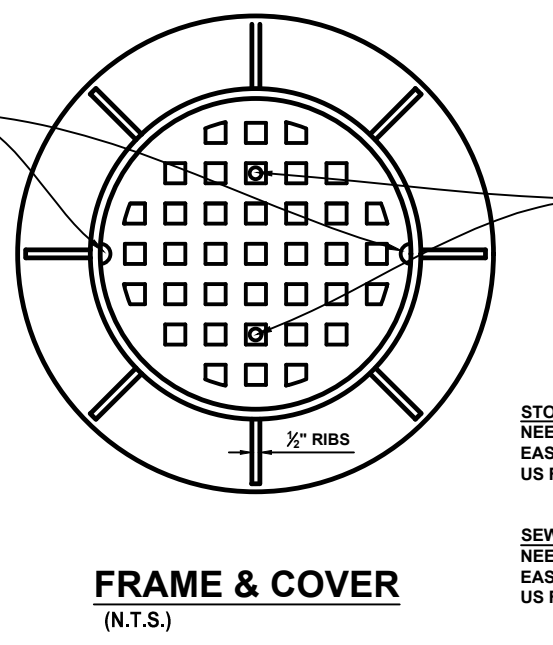
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- NOTES:
 1. 4\"/>

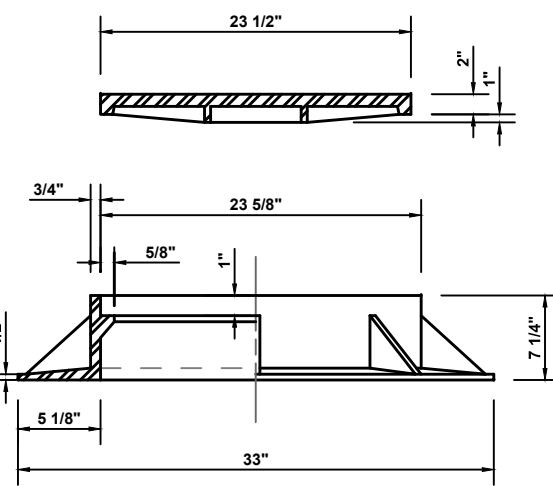


TYPICAL STANDARD PRECAST MANHOLE WITH CONCRETE BOTTOM
(N.T.S.)

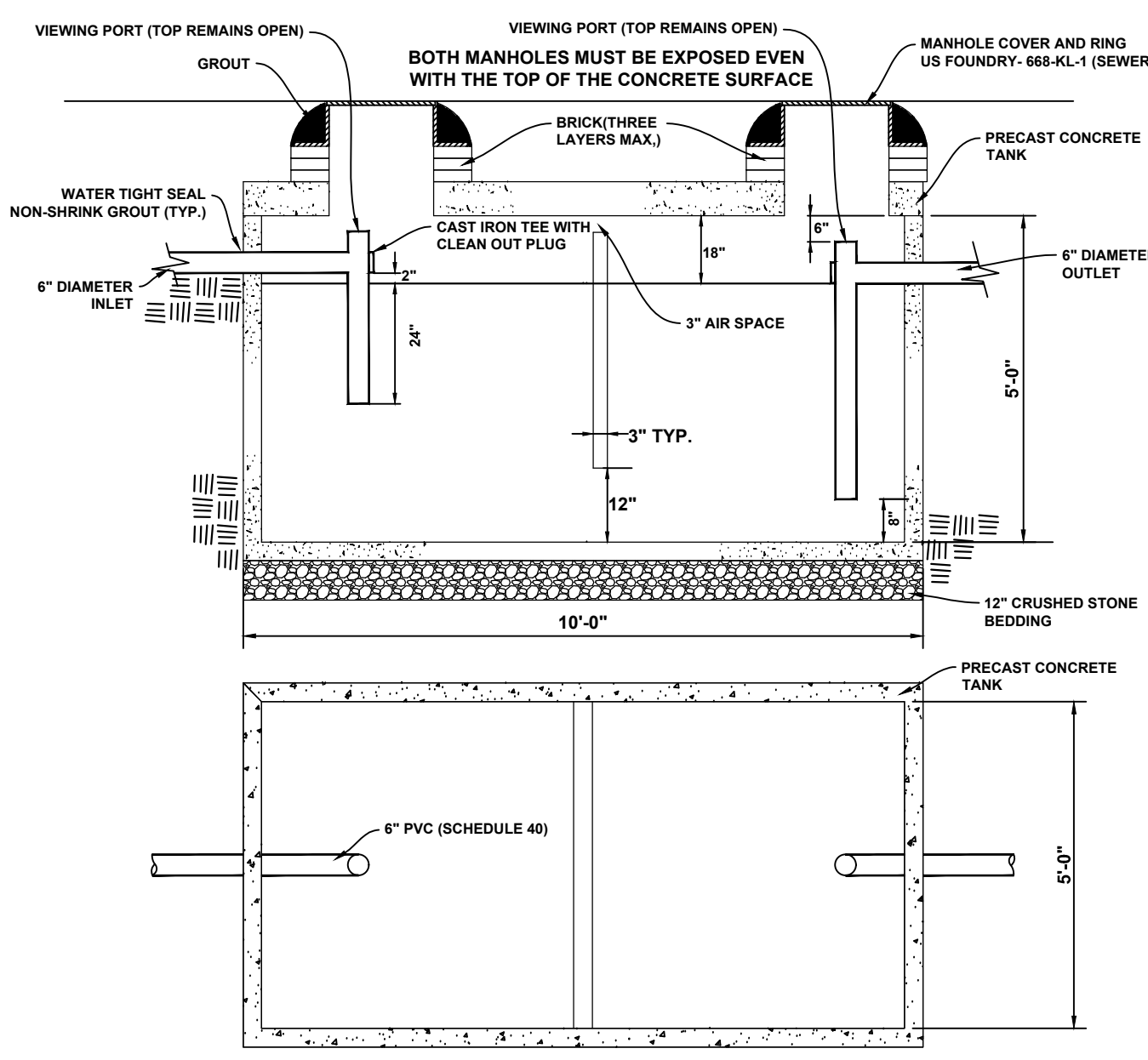
- NOTES:
 1. MANHOLE IS VALID FOR BOTH STORMWATER AND SANITARY SEWER
 2. FOR SANITARY SEWER, POURED INVERT IS REQUIRED IN EACH MANHOLE. FOR STORM, CONSULT LOCAL MUNICIPALITY FOR INVERT REQUIREMENT. WHEN A CREEK IS PRESENT AND FLOWING THROUGH THE SYSTEM A POURED INVERT IS REQUIRED PER DESIGN ENGINEER.
 3. SHALL MEET H-20 TRAFFIC LOAD RATING



FRAME & COVER
(N.T.S.)



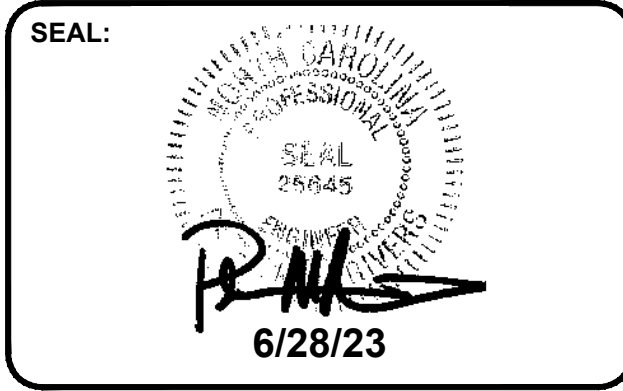
STANDARD MANHOLE FRAME & COVER
(N.T.S.)



GREASE TRAP (1500 GAL.)
(N.T.S.)

- NOTE: FOR 1000 GALLON GREASE TRAP DIMENSIONS SHOULD BE 5'-4\"/>

REVISIONS:			
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1	6/28/23	REVISED DETAILS PER INGLES	JDC



CORPORATE SEAL:



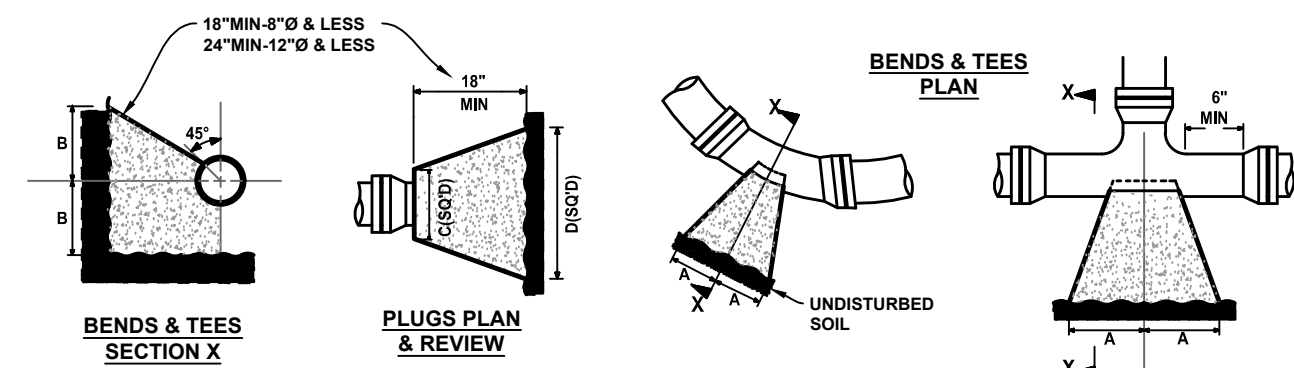
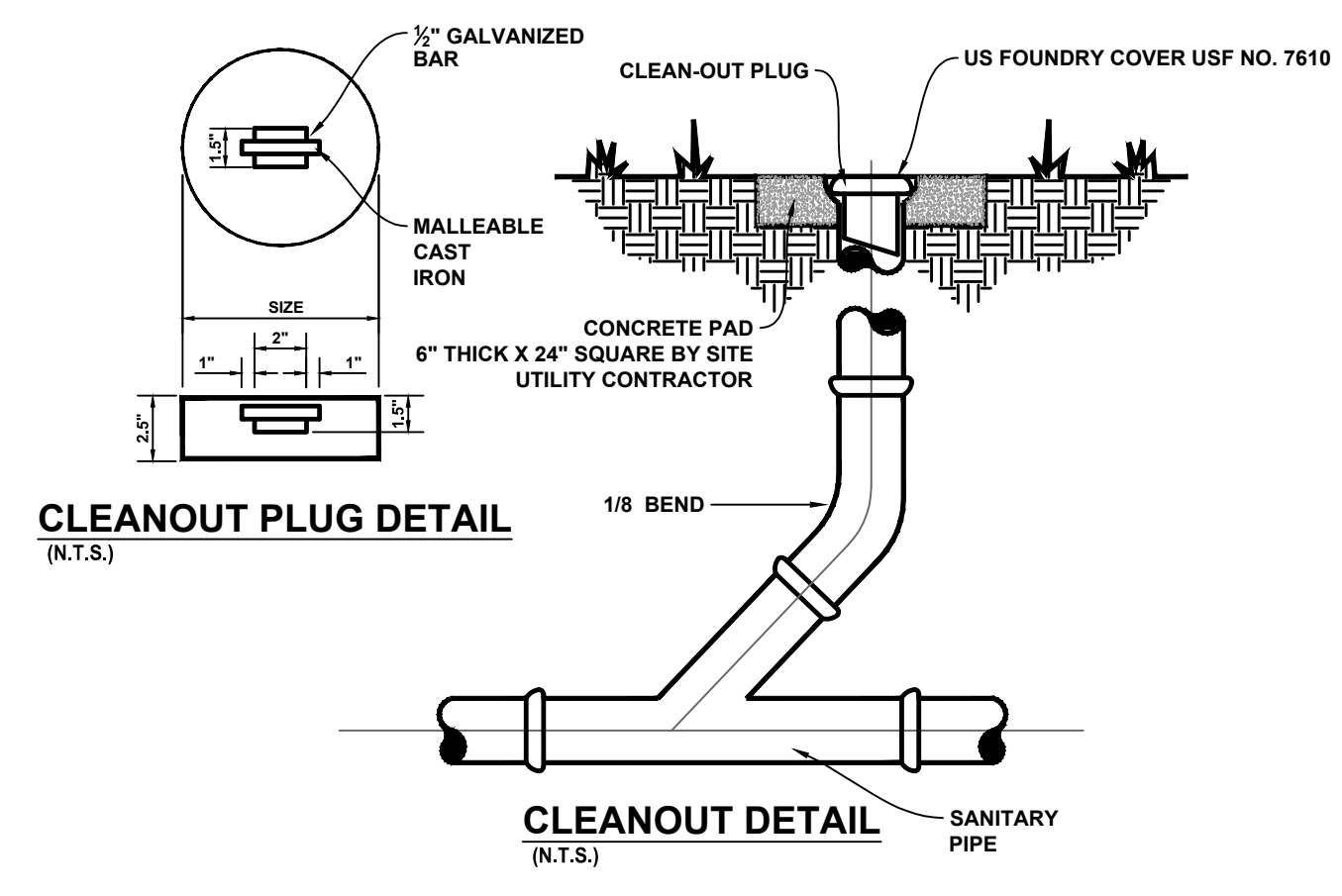
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STORE #140
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 FLETCHER NC

PROPERTY INFORMATION:
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SITE AND UTILITY DETAILS
C-114
 STORE #140
 HENDERSONVILLE RD
 FLETCHER NC

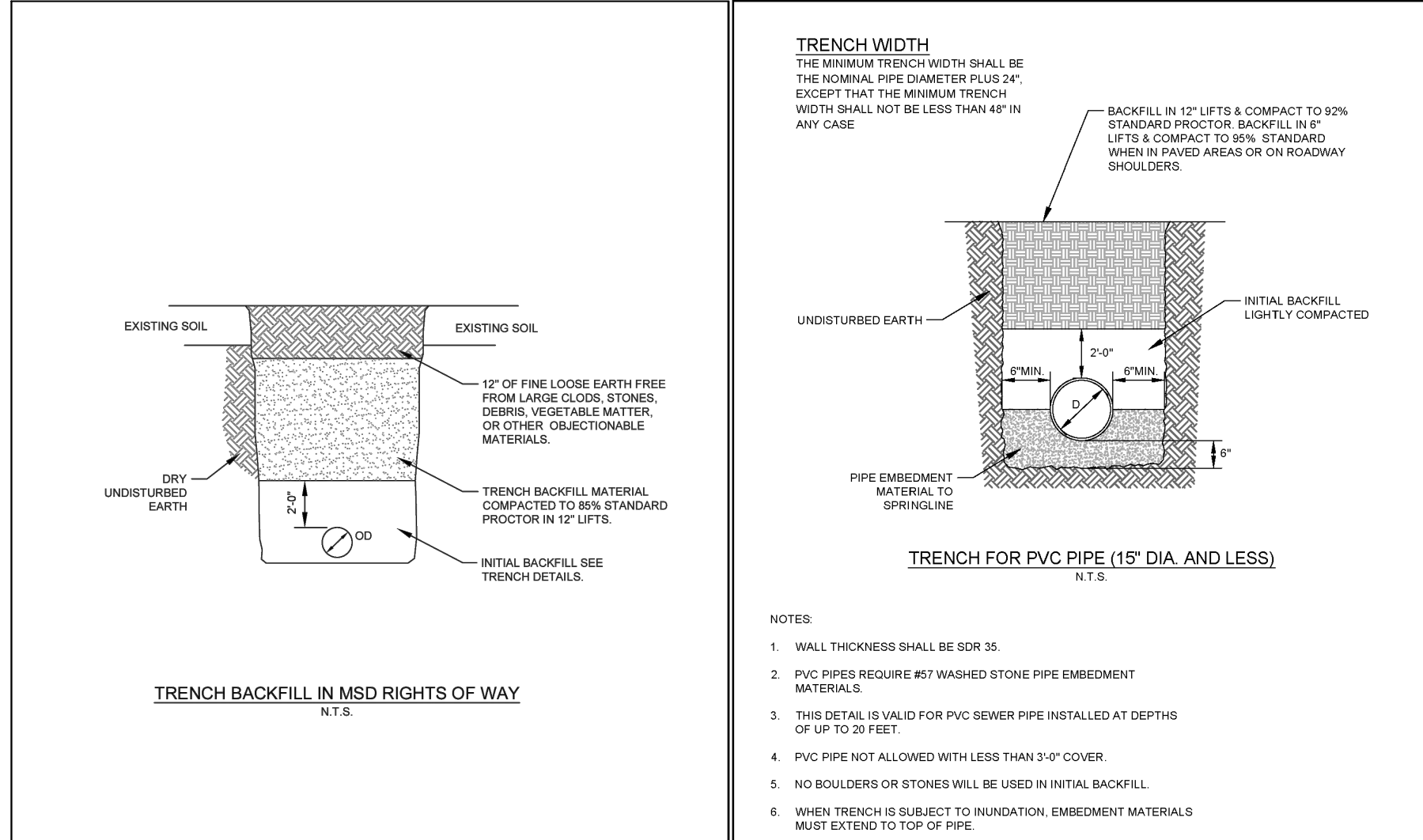


PIPE SIZE	90° BEND		45° BEND		22.5° BEND		11.25° BEND			TEG		PLUG	
	A	B	A	B	A	B	A	B	C	D	A	B	C
4"	8"	10"	6"	8"	3"	3"	8"	8"	8"	10"	10"	10"	15"
6"	16"	10"	9"	10"	6"	6"	8"	8"	10"	12"	10"	21"	
8"	22"	13"	12"	13"	8"	10"	8"	10"	13"	16"	12"	29"	
10"	26"	17"	14"	17"	10"	13"	10"	13"	16"	20"	14"	36"	

* APPLIES TO LINES 4" & SMALLER.

THRUST BLOCK DETAILS (N.T.S.)

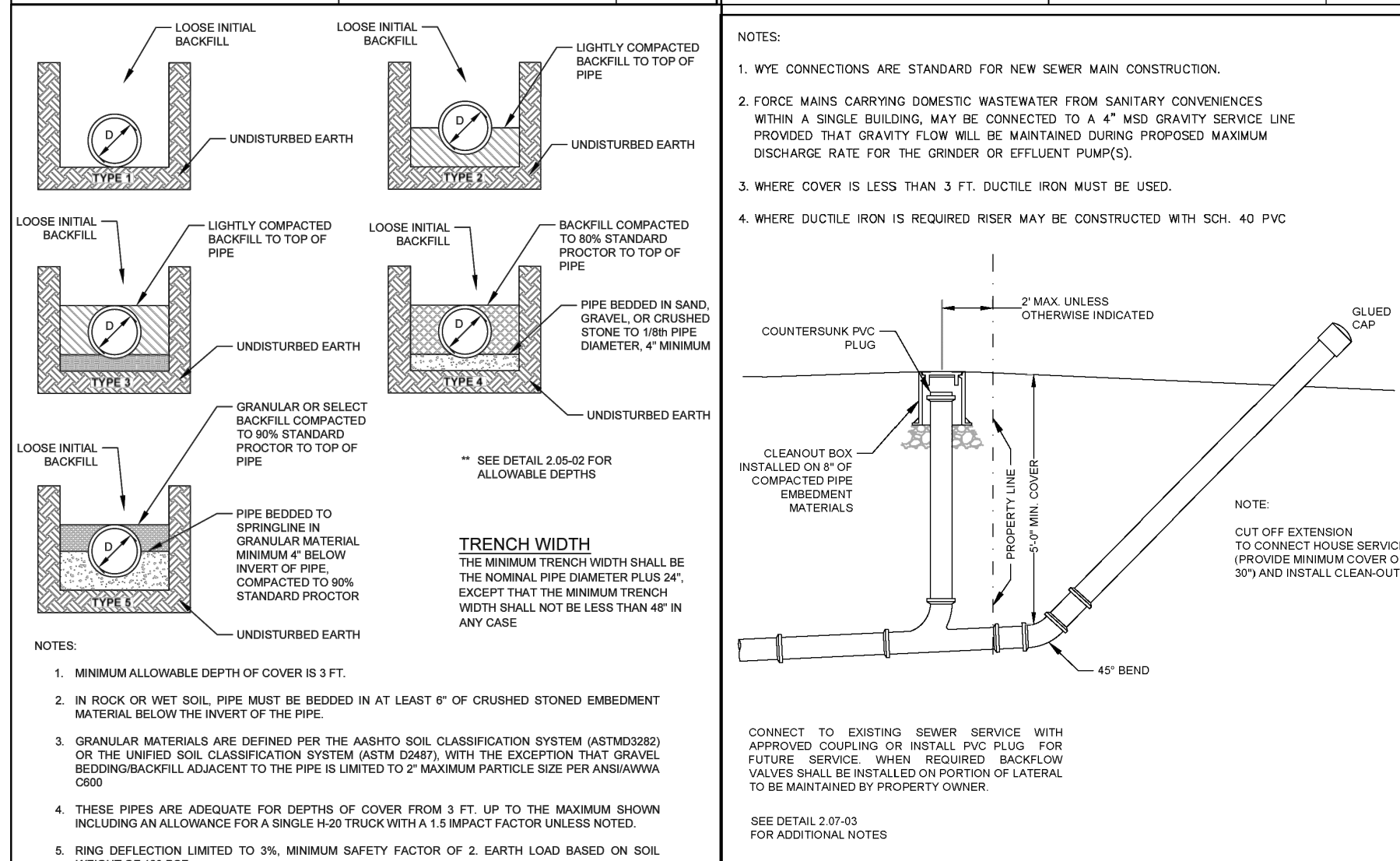
- NOTE:
- CAST THE THRUST AREA OF ALL BLOCKS AGAINST A CLEAN FACE OF UNDISTURBED SOIL.
 - USE MINIMUM OF 3000 PSI CONCRETE.
 - CONCRETE TO BE KEPT CLEAR OF ANY BOLTS AND FLANGES.
 - IF POURING AGAINST ANY TYPE OF FITTING, PLACE A MEMBRANE BETWEEN THE CONCRETE AND FITTING TO PREVENT DAMAGE.



STANDARD DETAIL
Metropolitan Sewerage District
TRENCH BACKFILL
DATE APPROVED: MARCH 2017 1.16-01

STANDARD DETAIL
Metropolitan Sewerage District
TRENCH FOR PVC PIPE
DATE APPROVED: MARCH 2017 2.04-01

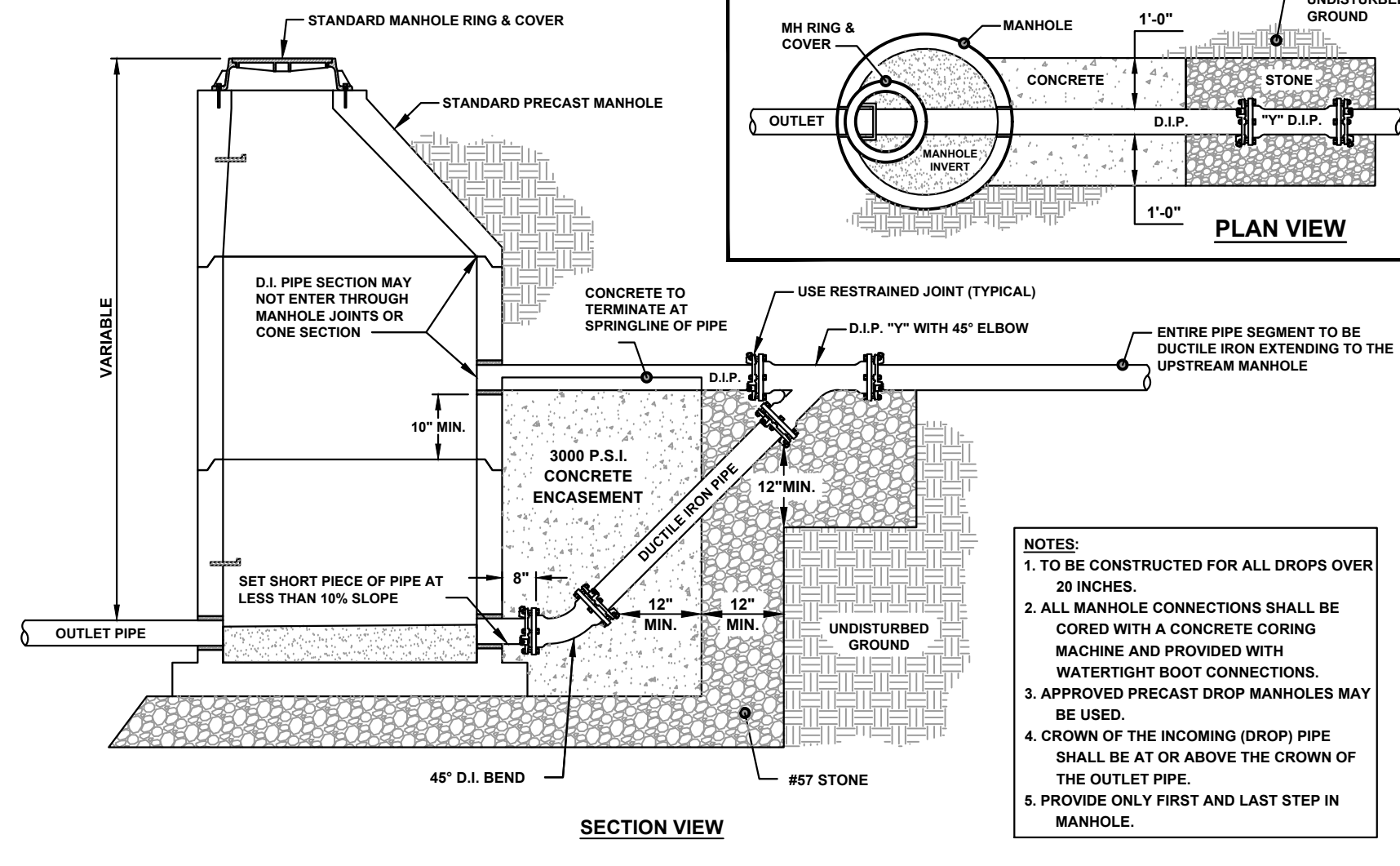
STANDARD DETAIL
Metropolitan Sewerage District
SANITARY SEWER SERVICE LESS THAN 5' DEEP
DATE APPROVED: MARCH 2017 2.07-03



STANDARD DETAIL
Metropolitan Sewerage District
TYPICAL TRENCH DETAIL FOR DUCTILE IRON PIPE - 1
DATE APPROVED: MARCH 2017 2.05-01

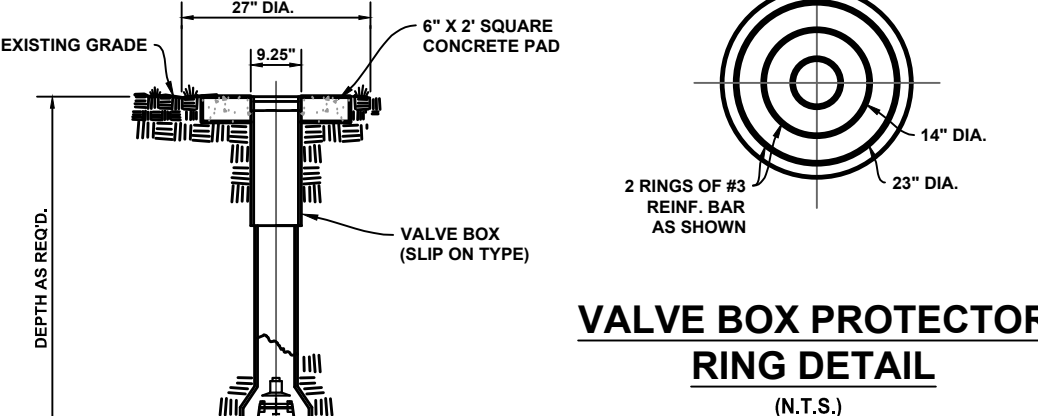
STANDARD DETAIL
Metropolitan Sewerage District
SANITARY SEWER SERVICE MORE THAN 5' DEEP
DATE APPROVED: MARCH 2017 2.07-04

STANDARD DETAIL
Metropolitan Sewerage District
CLEANOUT BOX
DATE APPROVED: MARCH 2017 2.07-05



STANDARD OUTSIDE DROP MANHOLE (N.T.S.)

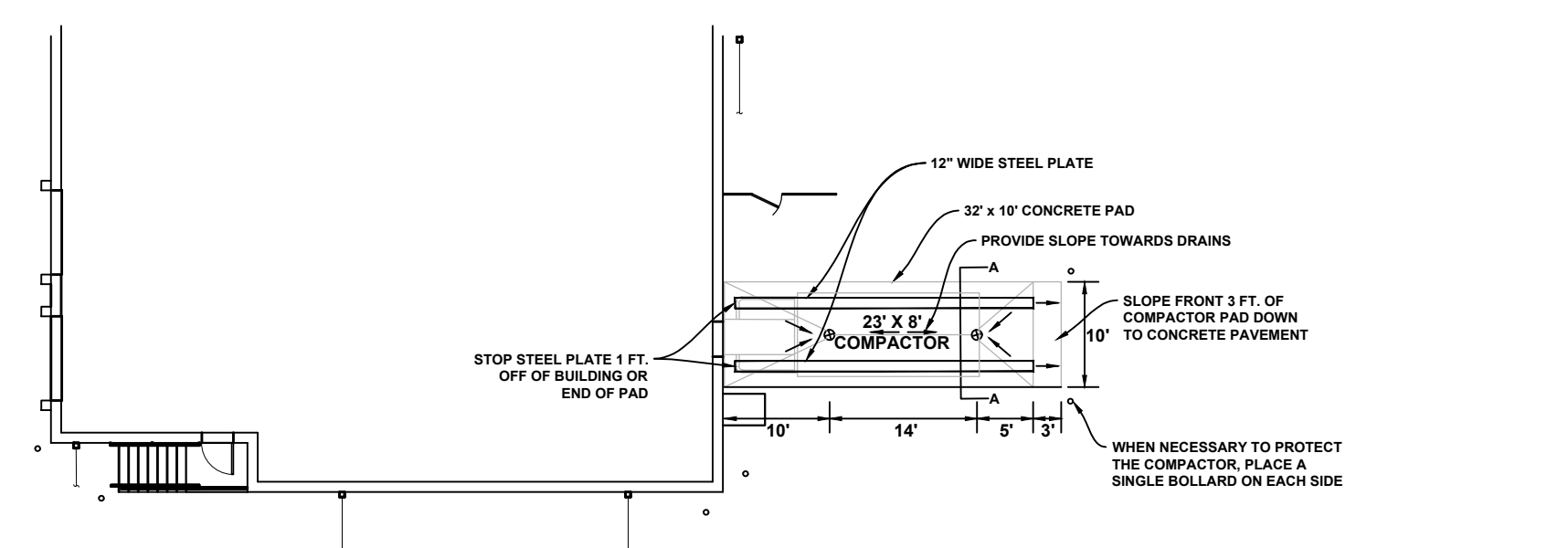
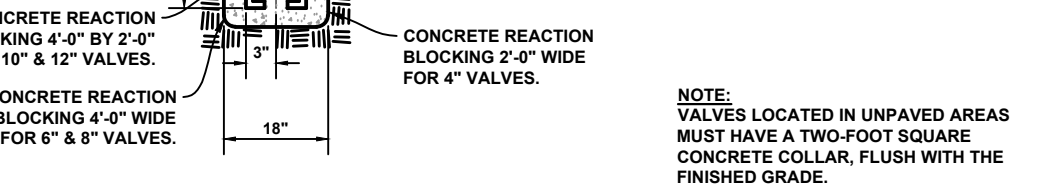
- NOTES:
- TO BE CONSTRUCTED FOR ALL DROPS OVER 20 INCHES.
 - ALL MANHOLE CONNECTIONS SHALL BE CORED WITH A CONCRETE CORING MACHINE AND PROVIDED WITH WATER TIGHT BOOT CONNECTIONS.
 - APPROVED PRECAST DROP MANHOLES MAY BE USED.
 - CROWN OF THE INCOMING (DROP) PIPE SHALL BE AT OR ABOVE THE CROWN OF THE OUTLET PIPE.
 - PROVIDE ONLY FIRST AND LAST STEP IN MANHOLE.



VALVE BOX PROTECTOR RING DETAIL (N.T.S.)

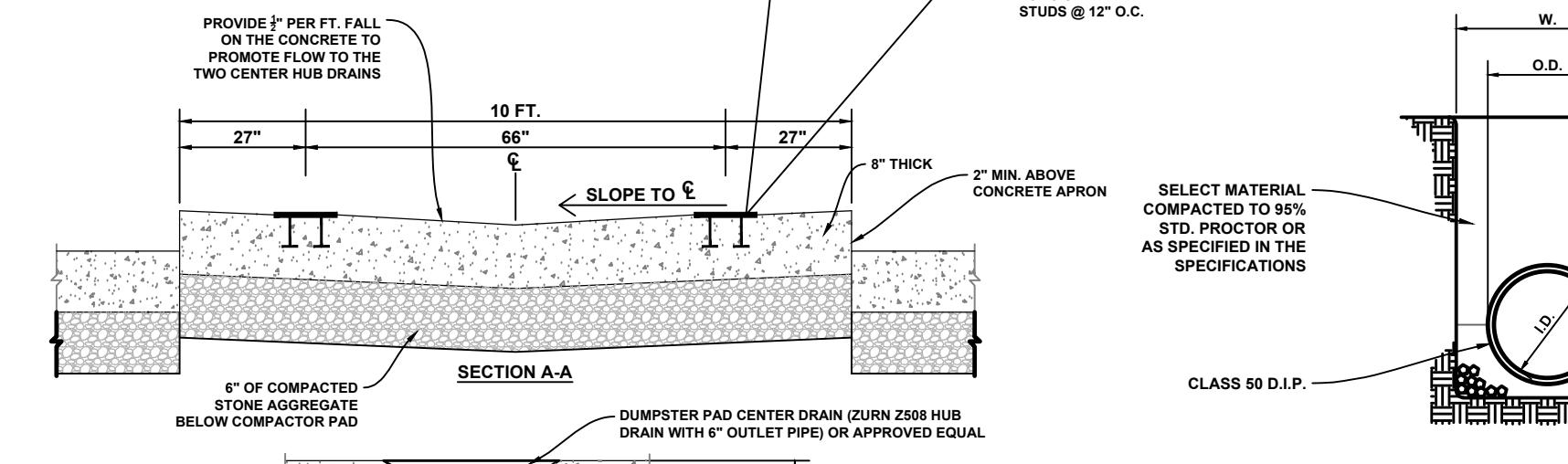
- NOTES:
- SCREW TYPE VALVE BOX MAY BE USED AS ALTERNATIVE.
 - GATE VALVES 24" AND LARGER MUST BE MECHANICAL JOINT AND EQUIPPED WITH BY-PASS VALVES.

GATE VALVE BOX DETAIL (N.T.S.)



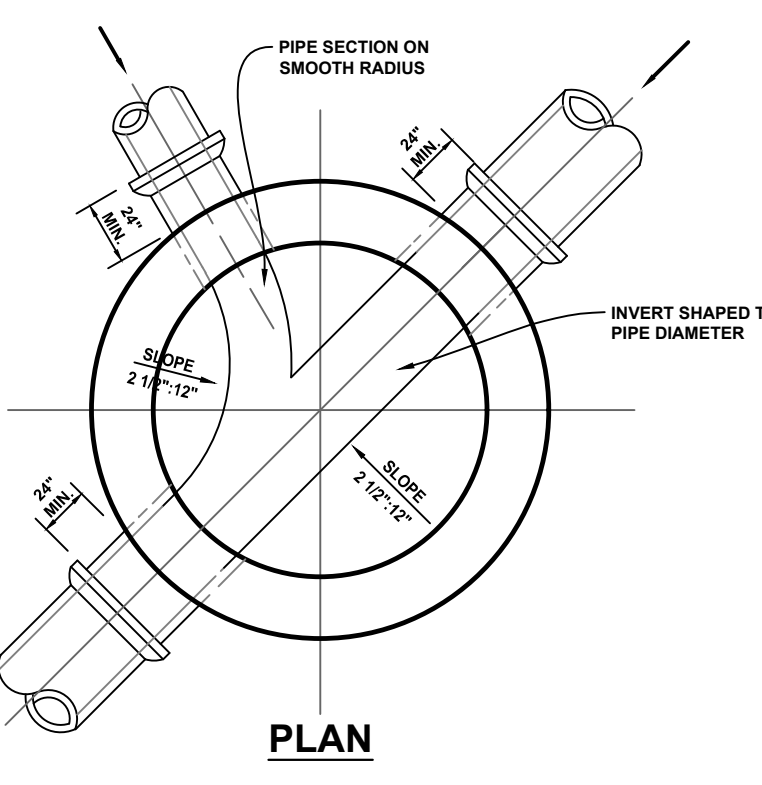
COMPACTOR PAD PLAN VIEW DETAIL (N.T.S.)

NOTE: PLAN VIEW IS ATYPICAL VIEW. SEE SITE PLAN FOR ACTUAL LAYOUT AND LOCATION.

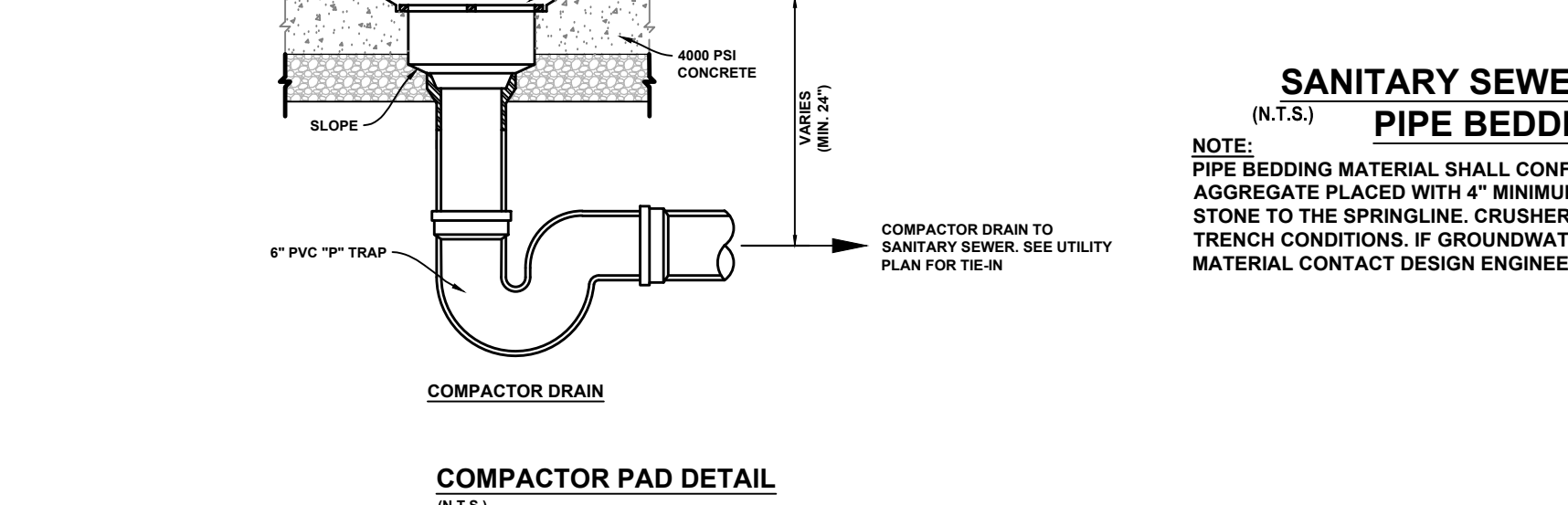


SANITARY SEWER DUCTILE IRON PIPE BEDDING DETAIL (N.T.S.)

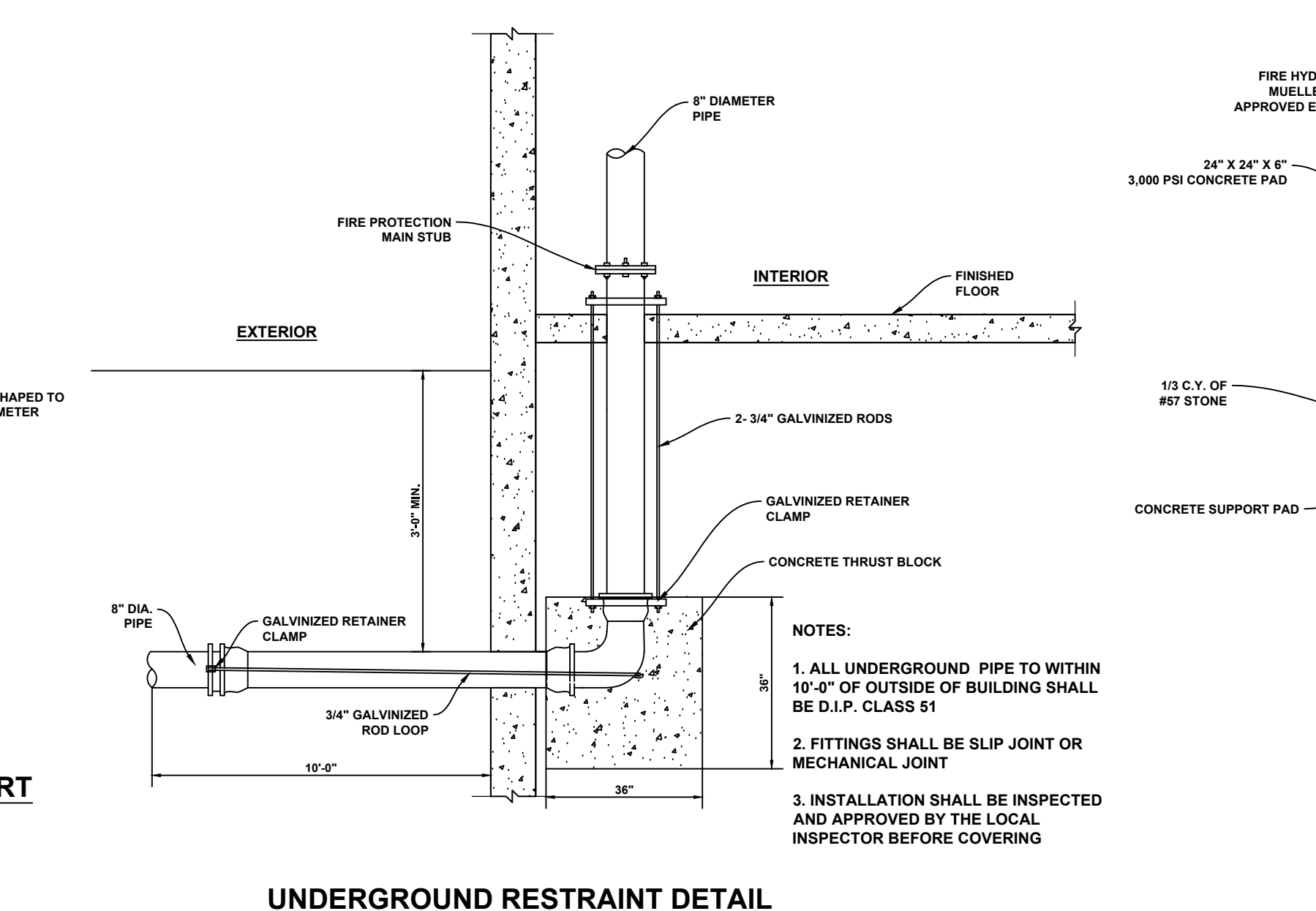
- NOTE:
- PIPE BEDDING MATERIAL SHALL CONFORM TO AASHTO M43 NO. 57 COURSE AGGREGATE PLACED WITH 4" MINIMUM UNDER PIPE AND BACKFILL WITH STONE TO THE SPRINGLINE. CRUSHER RUN IS ALSO ACCEPTABLE IN DRY TRENCH CONDITIONS. IF GROUNDWATER FLOW IS EXPECTED IN BEDDING MATERIAL CONTACT DESIGN ENGINEER OR GEOTECH CONSULTANT.



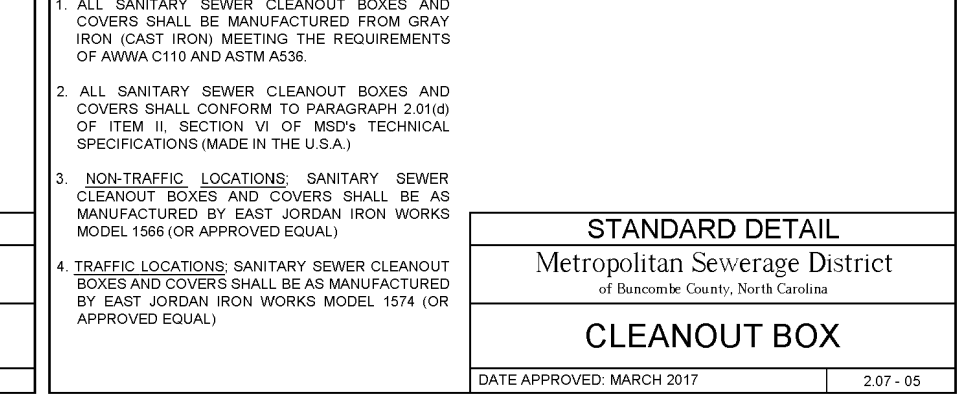
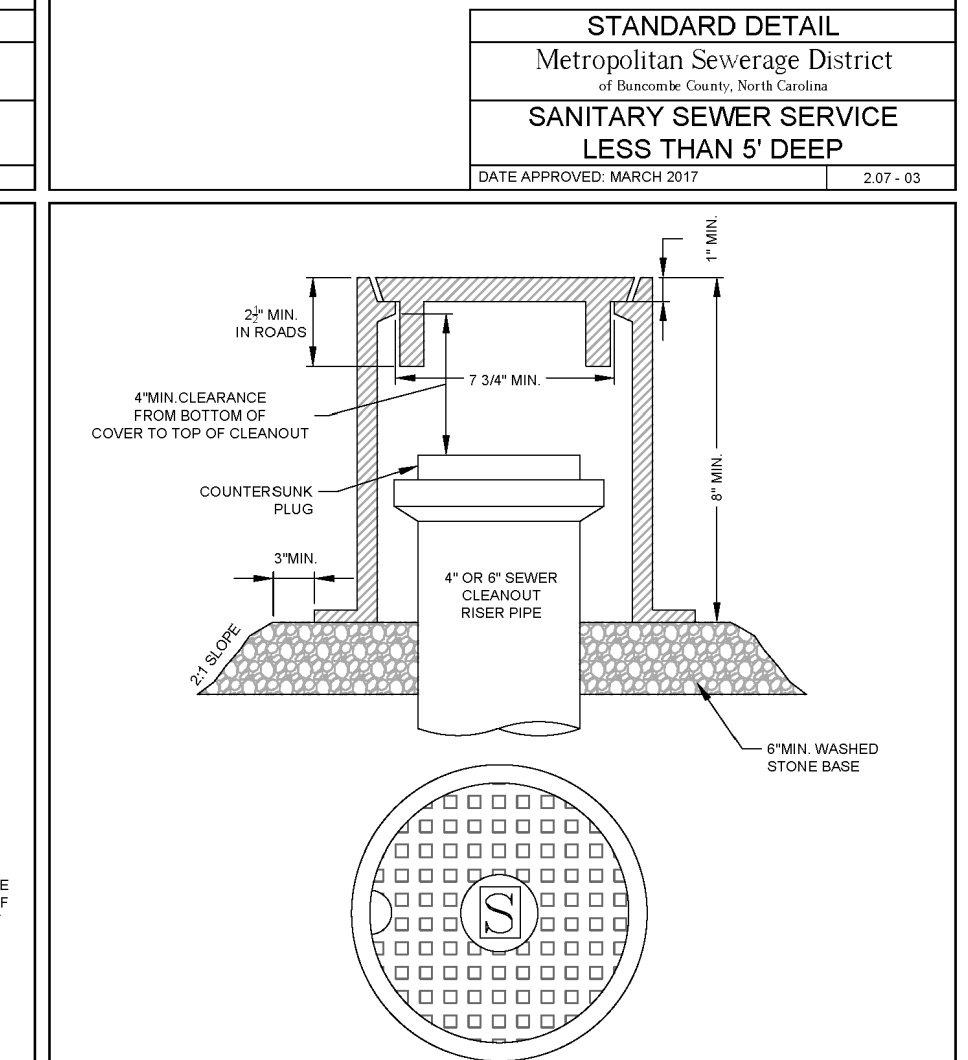
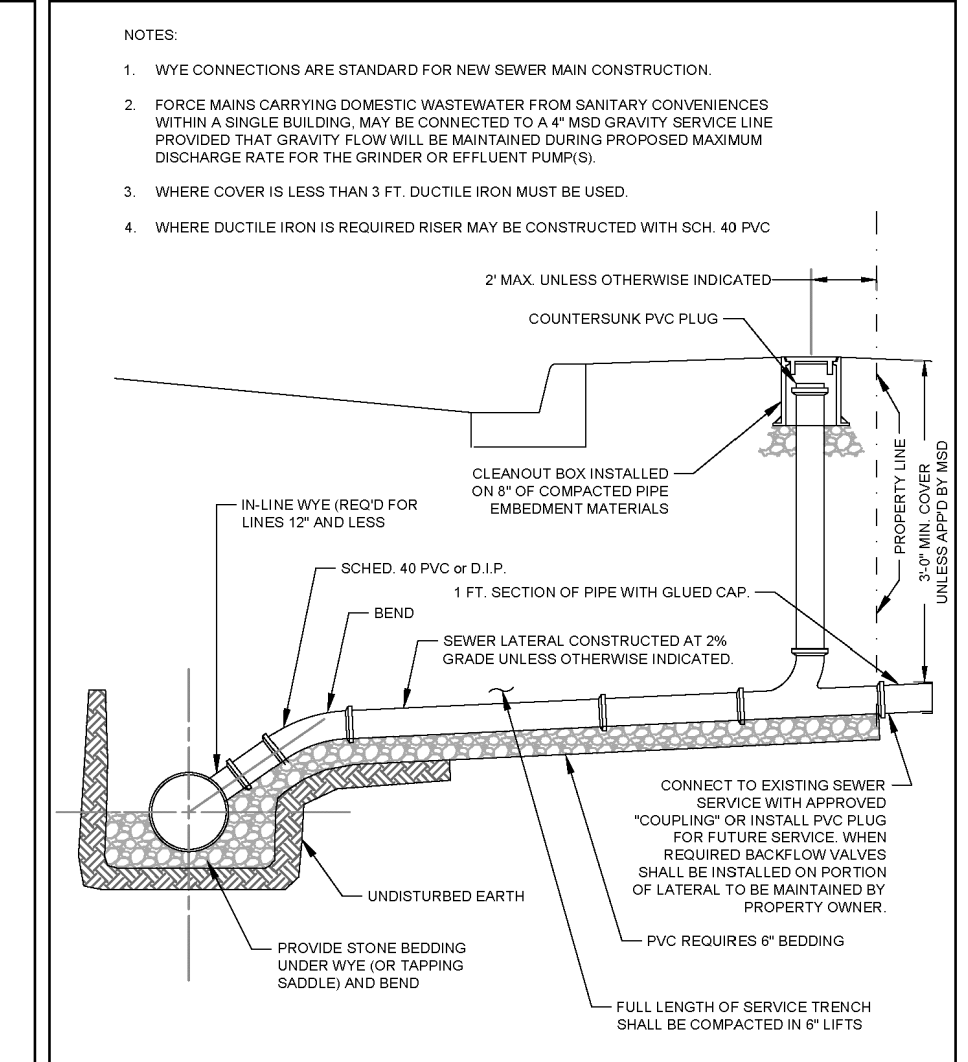
TYPICAL SEWER MANHOLE INVERT (N.T.S.)



COMPACTOR PAD DETAIL (N.T.S.)

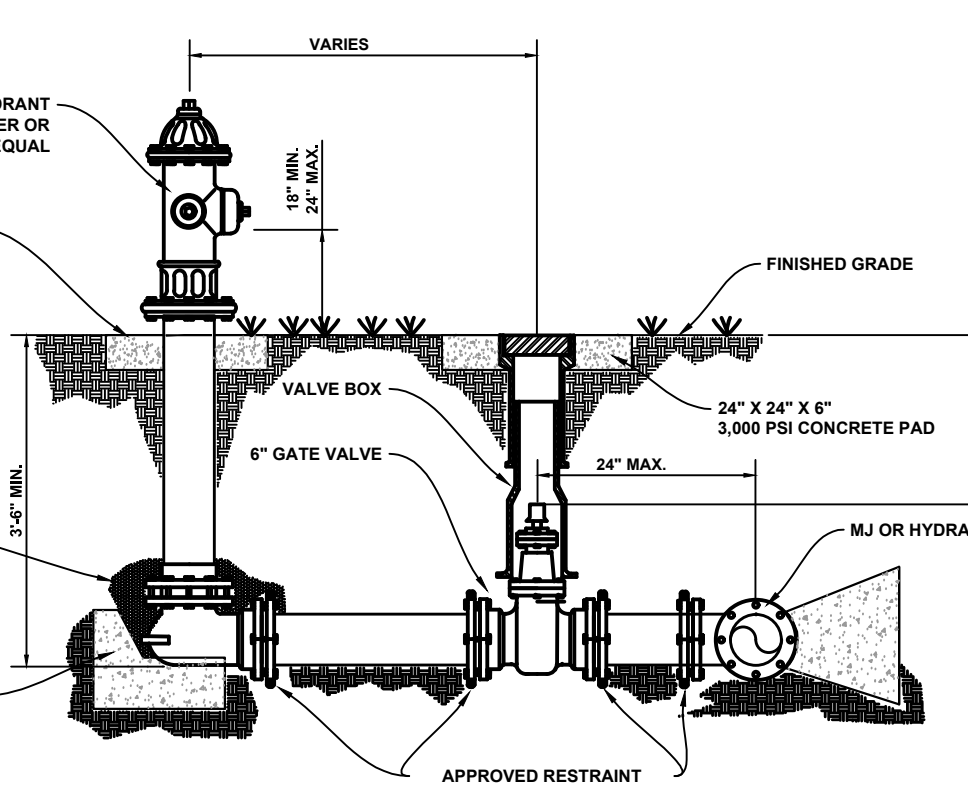


UNDERGROUND RESTRAINT DETAIL (N.T.S.)



CLEANOUT BOX (N.T.S.)

- NOTE:
- ALL SANITARY SEWER CLEANOUT BOXES AND COVERS SHALL BE MANUFACTURED FROM GRAY IRON (CAST IRON) MEETING THE REQUIREMENTS OF ANNA 110 AND ASTM A536.
 - ALL SANITARY SEWER CLEANOUT BOXES AND COVERS SHALL CONFORM TO PARAGRAPH 2.016 OF ITEM 4, SECTION VI OF MSD'S TECHNICAL SPECIFICATIONS (MADE IN THE U.S.A.).
 - NON-TRAFFIC LOCATIONS SANITARY SEWER CLEANOUT BOXES AND COVERS SHALL BE AS MANUFACTURED BY EAST JORDAN IRON WORKS MODEL 1568 (OR APPROVED EQUAL).
 - TRAFFIC LOCATIONS SANITARY SEWER CLEANOUT BOXES AND COVERS SHALL BE AS MANUFACTURED BY EAST JORDAN IRON WORKS MODEL 1574 (OR APPROVED EQUAL).



FIRE HYDRANT, VALVE AND TEE SETTING (N.T.S.)

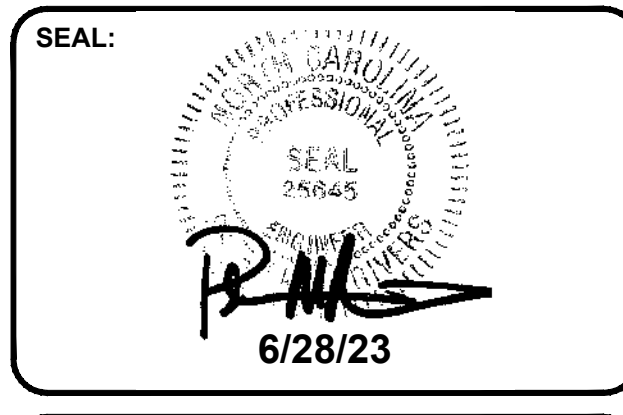
- NOTE:
- ALL UNDERGROUND PIPE TO WITHIN 10' OF OUTSIDE OF BUILDING SHALL BE D.I.P. CLASS 51.
 - FITTINGS SHALL BE SLIP JOINT OR MECHANICAL JOINT.
 - INSTALLATION SHALL BE INSPECTED AND APPROVED BY THE LOCAL INSPECTOR BEFORE COVERING.

TYPICAL HYDRANT INSTALLATION DETAIL (N.T.S.)

- NOTE:
- COLOR TO BE RED UNLESS GOVERNING AGENCY SPECIFIES A PARTICULAR COLOR.

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CORPORATE SEAL:
Metropolitan Sewerage District
SANITARY SEWER SERVICE LESS THAN 5' DEEP
DATE APPROVED: MARCH 2017 2.07-03



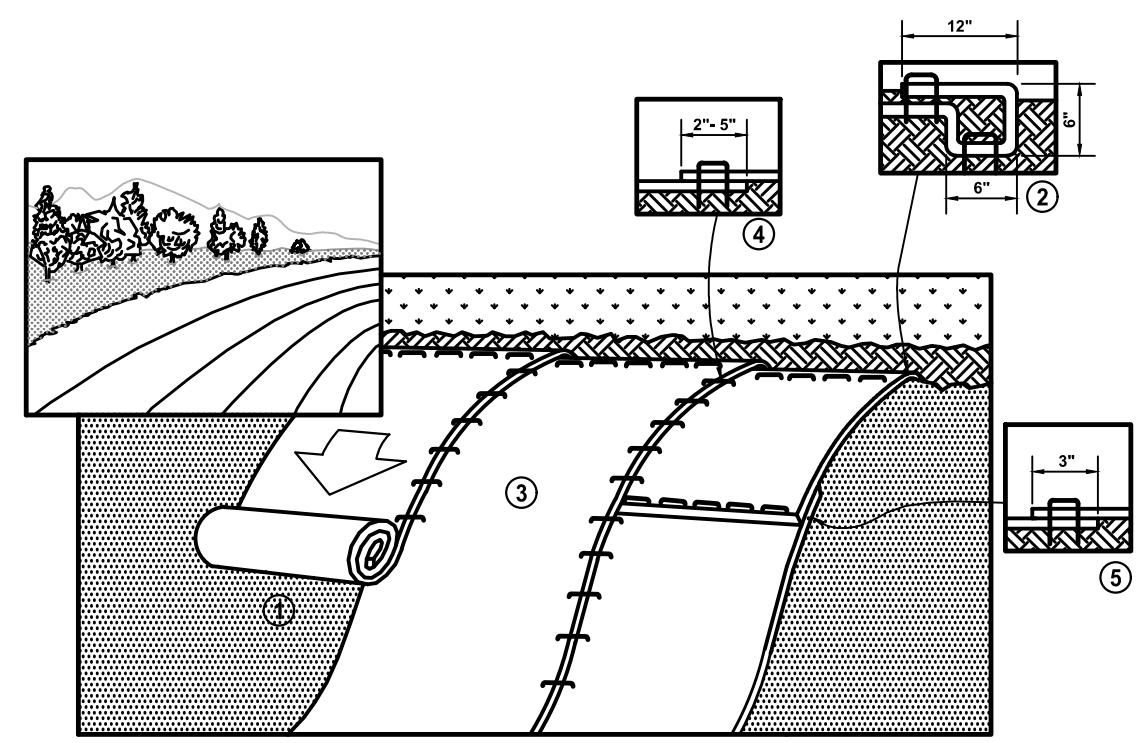
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UTILITY DETAILS
C-115
STORE #140
HENDERSONVILLE RD
FLETCHER NC



EROSIONAL CONTROL BLANKET DETAIL FOR SLOPE INSTALLATION

- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDING BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF THE BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
 3. ROLL THE BLANKETS VERTICALLY DOWN THE SLOPE. BLANKETS WILL UNROLL WITH THE APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OF TIAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" (5cm) (12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY ANCHOR THE BLANKETS.

- NCDEQ CONSTRUCTION NOTES:**
1. REMOVE AND PROPERLY DISPOSE OF ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL.
 2. ENSURE THAT THE MINIMUM CONSTRUCTED CROSS SECTION MEETS ALL DESIGN REQUIREMENTS.
 3. ENSURE THAT THE TOP OF THE DIKE IS NOT LOWER AT ANY POINT THAN THE DESIGN ELEVATION PLUS THE SPECIFIED SETTLEMENT.
 4. PROVIDE SUFFICIENT ROOM AROUND DIVERSIONS TO PERMIT MACHINE REGRADING AND CLEANOUT.
 5. VEGETATE THE RIDGE IMMEDIATELY AFTER CONSTRUCTION, UNLESS IT WILL REMAIN IN PLACE LESS THAN 30 WORKING DAYS.
- NCDEQ MAINTENANCE NOTES:**
- INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

DETAIL TEMPORARY DIVERSION BERM/DITCH (N.T.S.)

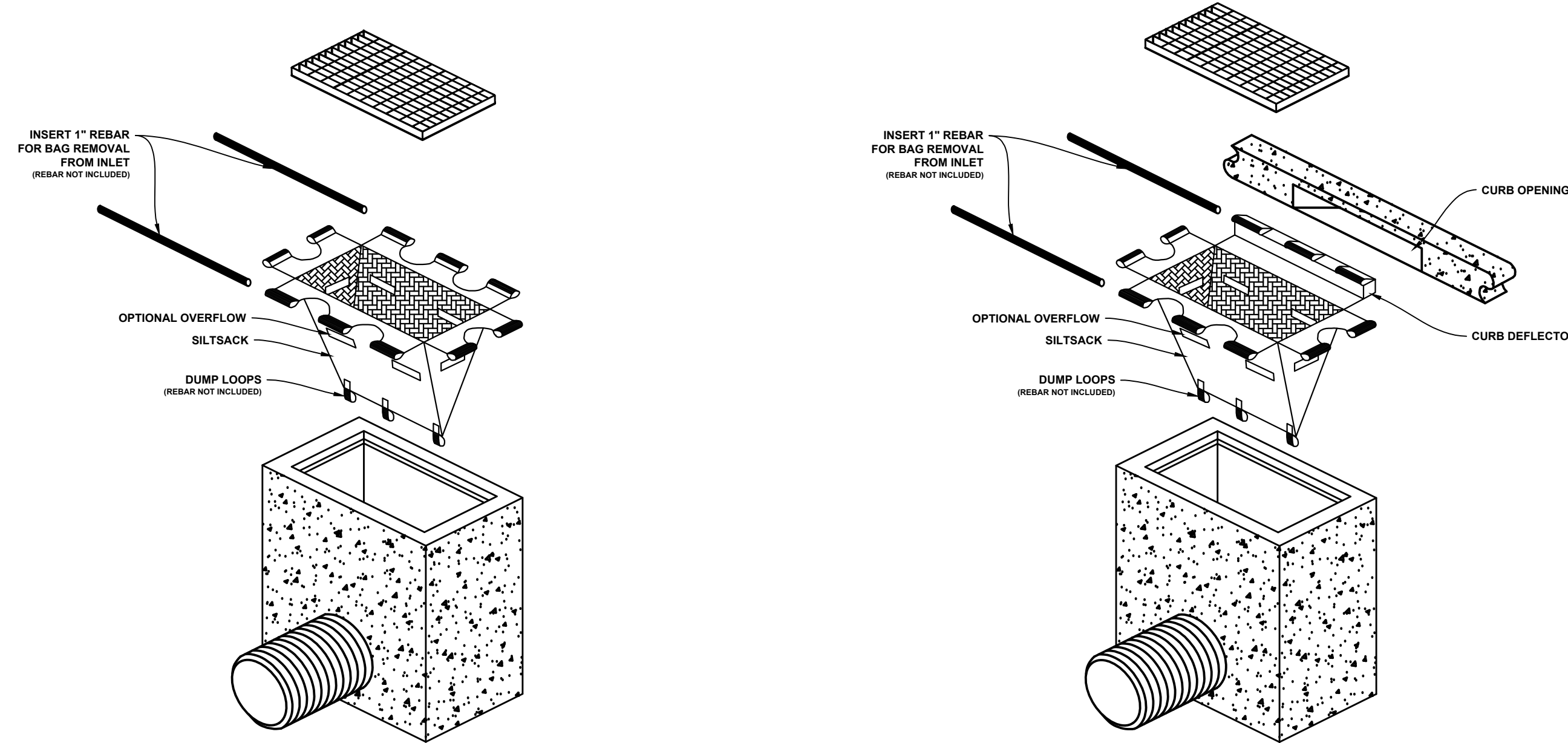
NOTE: POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. IF SLOPE EXCEEDS 2%, SEED AND MULCH DIVERSION. TRY NOT TO EXCEED 5% (HIGH RIBS/VELOCITIES RESULT). MAXIMUM DRAINAGE AREA IS 5.00 ACRES WITHOUT SUPPORTING CALCULATIONS FOR PERMANENT CHANNEL. DIVERSIONS AT THE TOPS OF SLOPES MUST BE INSTALLED ON AN APPROVED SLOPE DRAIN (SEE DETAILS). THE BERM/DITCH IS THE MOST COMMONLY USED DIVERSION.

2. MACHINE COMPACTION OF ALL FILL IS REQUIRED.
3. DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT-LOADED STORMWATER INTO SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF AREA OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AT EACH CRITICAL POINT AS INDICATED.
4. DIVERSIONS SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
5. DIVERSIONS SHOULD BE SEEDED AND MULCHED IF THEY ARE TO REMAIN IN PLACE OVER 14 DAYS.
6. CHECK DIMENSIONS AFTER EACH RAIN, OR ONCE PER WEEK WHICH EVER IS THE SHORTER DURATION. REPAIR AS NEEDED TO MAINTAIN FUNCTION.



USE DOZER TRACKS TO CREATE GROOVES PERPENDICULAR TO THE SLOPE. GROOVES WILL CATCH SEED, FERTILIZER, MULCH, RAINFALL AND DECREASE RUNOFF.

TRACKING DETAIL (N.T.S.)

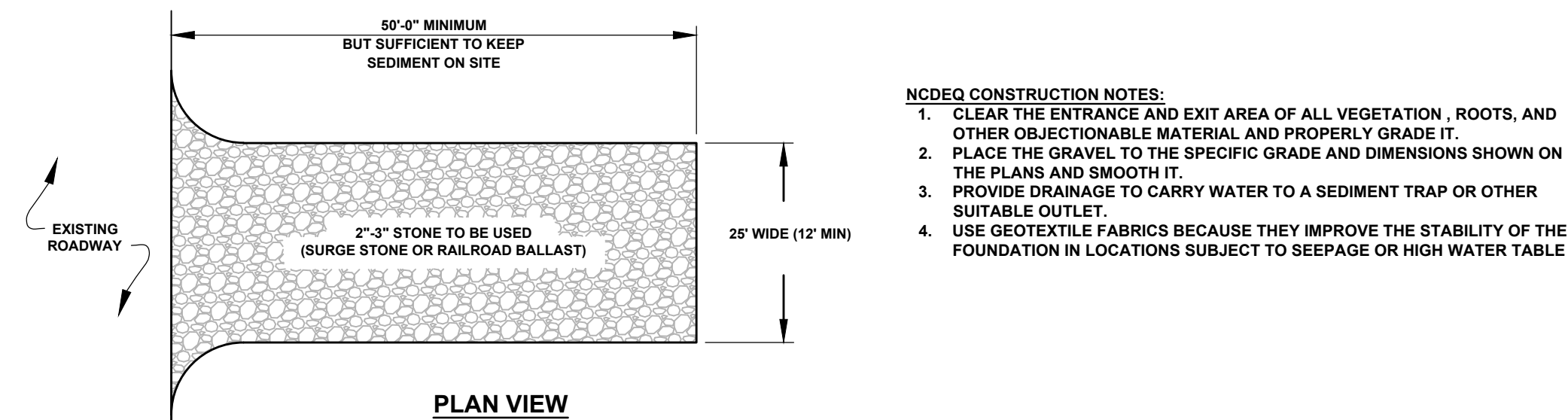


- MAINTENANCE NOTES**
- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE SILTSACK UNIT. IF THE UNIT IS MORE THAN 1/2 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, USING THE LIFTING STRAPS, LIFT THE UNIT OUT OF THE INLET AND REMOVE THE GRATE. TRANSPORT THE UNIT TO AN APPROPRIATE LOCATION FOR REMOVAL OF THE CONTENTS. HOLDING THE DUMPING STRAPS ON THE OUTSIDE AT THE BOTTOM OF THE UNIT, TURN THE UNIT UP SIDE DOWN EMPTYING THE CONTENTS. REINSTALL UNIT. DISPOSE OF UNIT AND/OR ABSORBENT IN ACCORD WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS

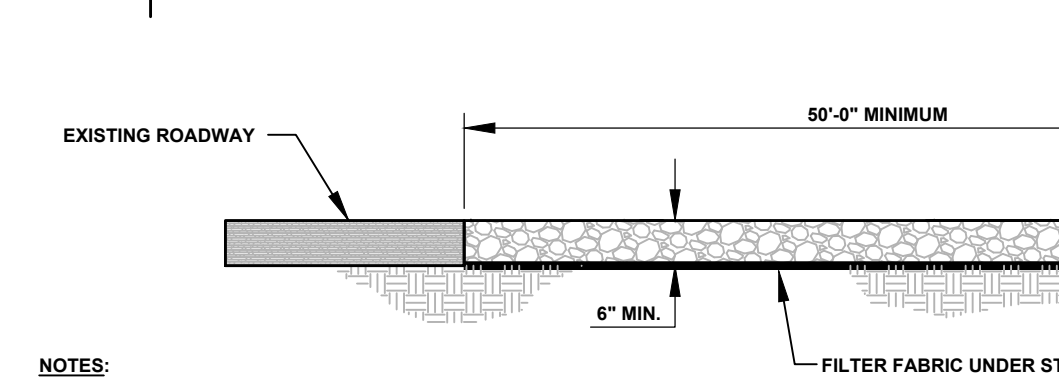
TYPICAL SILTSACK CONSTRUCTION TYPE A (N.T.S.)

- MAINTENANCE NOTES**
- REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE SILTSACK UNIT. IF THE UNIT IS MORE THAN 1/2 FULL OF ACCUMULATED SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, USING THE LIFTING STRAPS, LIFT THE UNIT OUT OF THE INLET AND REMOVE THE GRATE. TRANSPORT THE UNIT TO AN APPROPRIATE LOCATION FOR REMOVAL OF THE CONTENTS. HOLDING THE DUMPING STRAPS ON THE OUTSIDE AT THE BOTTOM OF THE UNIT, TURN THE UNIT UP SIDE DOWN EMPTYING THE CONTENTS. REINSTALL UNIT. DISPOSE OF UNIT AND/OR ABSORBENT IN ACCORD WITH APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL LAWS AND REGULATIONS

TYPICAL SILTSACK CONSTRUCTION TYPE B (N.T.S.)



PLAN VIEW

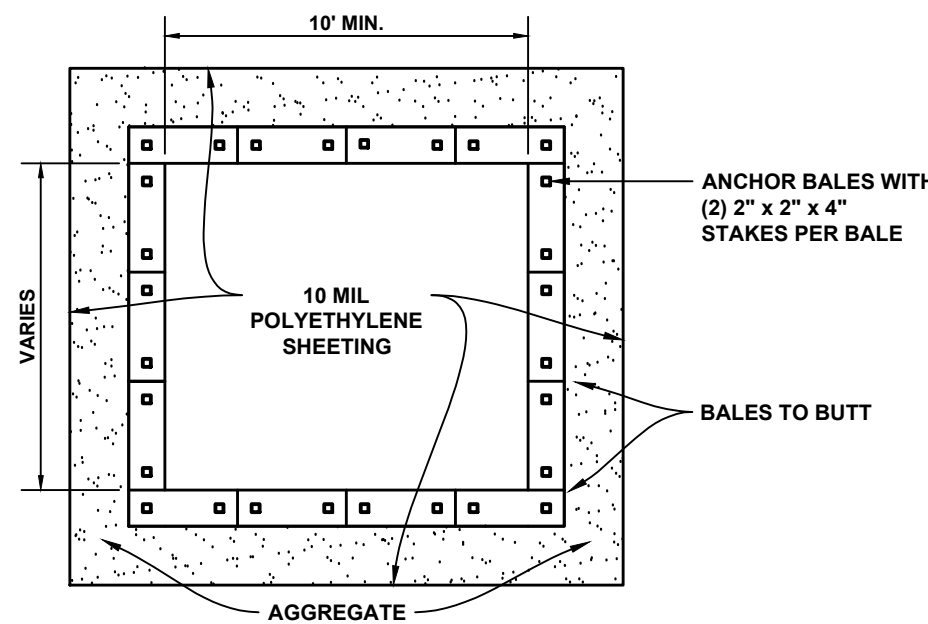


CROSS SECTION

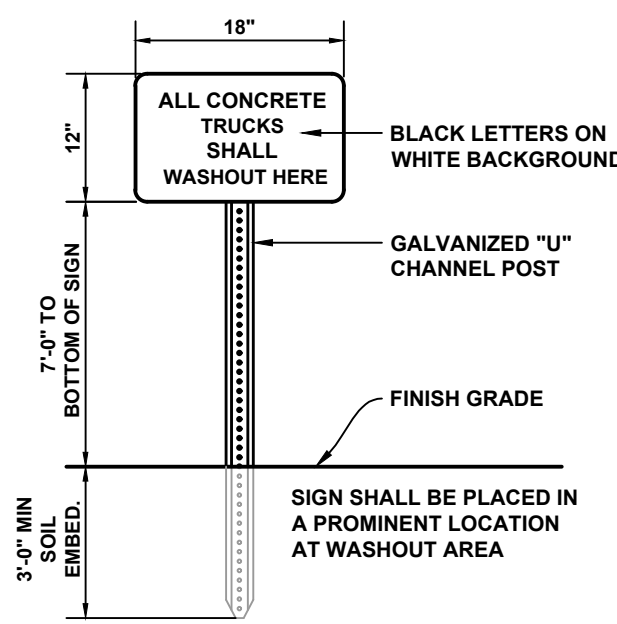
- NOTES:**
- 1) PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 - 2) IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.

- NCDEQ MAINTENANCE NOTES:**
- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2\"/>

STANDARD CONSTRUCTION ENTRANCE (N.T.S.)

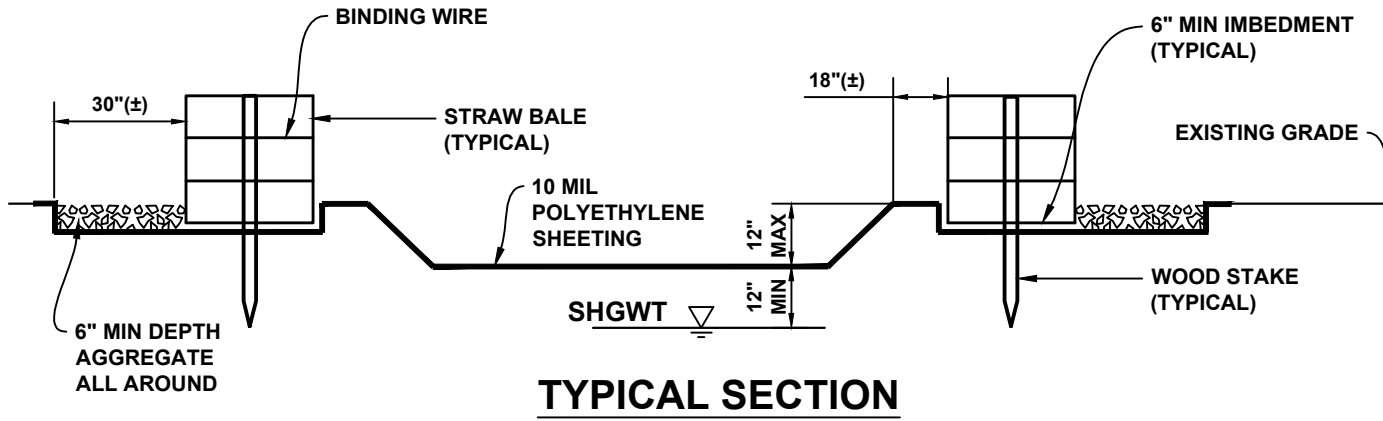


PLAN



SECTION

WASHOUT SIGN (N.T.S.)

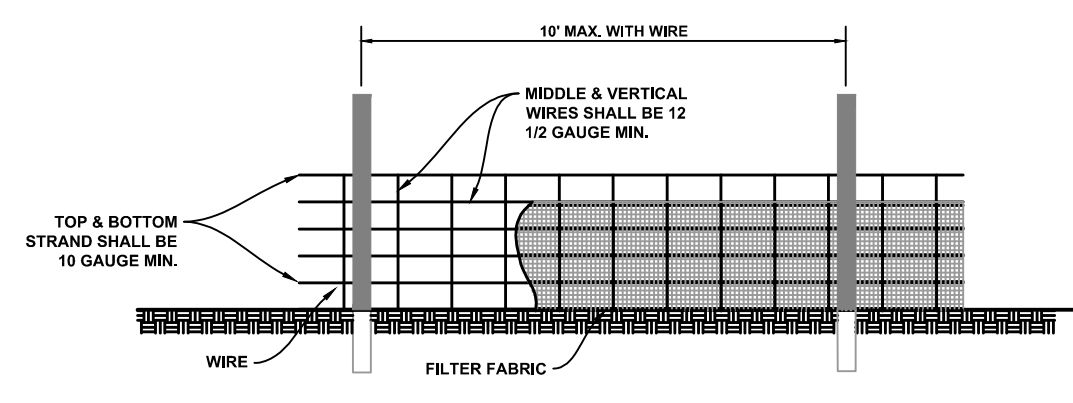


TYPICAL SECTION

1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.

- NOTES:**
1. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 2. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 3. AT LEAST WEEKLY, REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA DETAIL (N.T.S.)



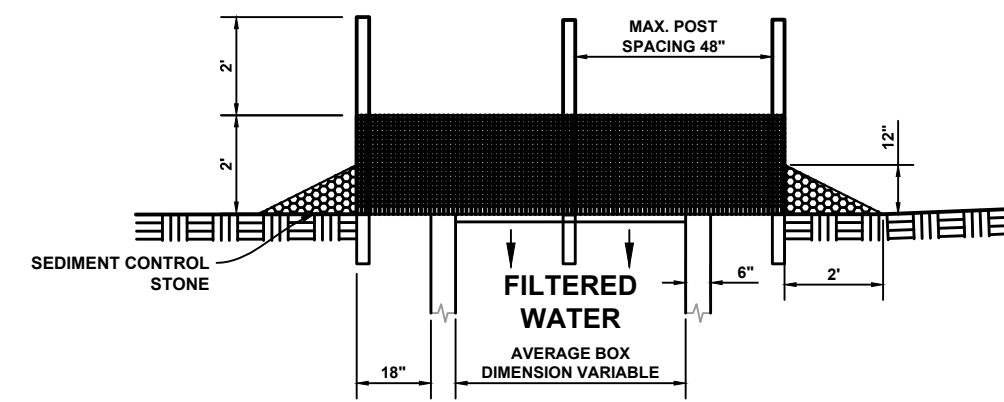
SECTION

SILT FENCE DETAIL (N.T.S.)

- NOTES:**
1. WIRE SHALL BE A MINIMUM OF 32\"/>

- NCDEQ CONSTRUCTION NOTES:**
1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRIC.
 2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 34\"/>

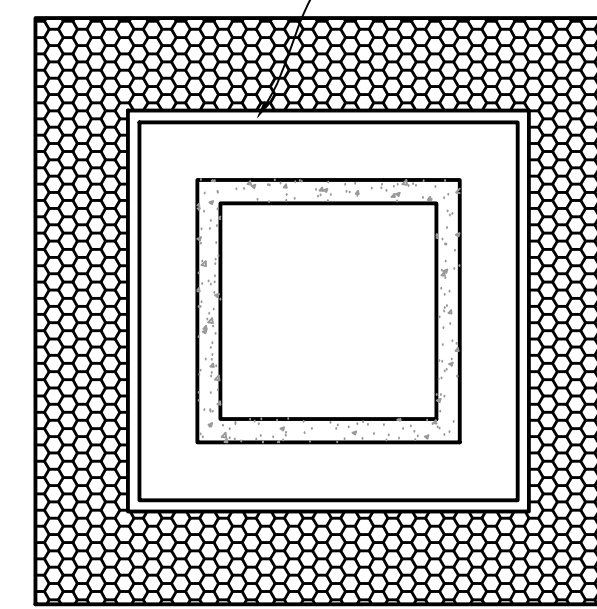
- NCDEQ MAINTENANCE NOTES:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



SECTION

INLET PROTECTION (N.T.S.)

- NOTE:**
1. SEDIMENT CONTROL STONE SHALL BE 3/4\"/>



PLAN

INLET PROTECTION (N.T.S.)

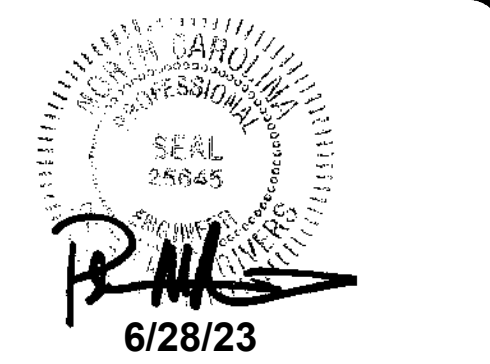
- NCDEQ CONSTRUCTION NOTES:**
1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
 2. DRIVE 8\"/>

- NCDEQ MAINTENANCE NOTES:**
- INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/4 INCH OR GREATER) RAINFALL. EVENT, CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	ADDED NCDEQ NOTES PER HENDERSON COUNTY COMMENT	SCW
2	8/28/23	REVISED DETAILS PER INGLIS	JDC

SEAL:



CORPORATE SEAL:



DBA
LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072 FAX 208.730.8214
 design@lp-nc.net

ingles

Markets Incorporated
STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

PROPERTY INFORMATION:

TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO: 9652314347
 DB 3464 PG 102

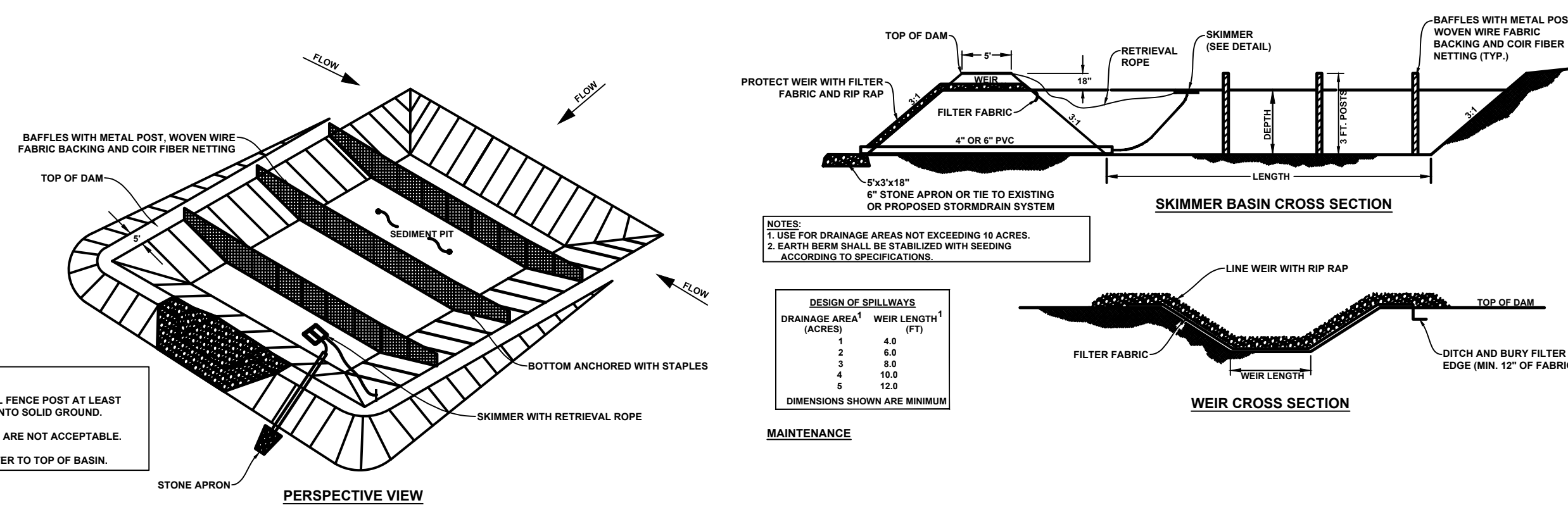
ISSUE FOR CONSTRUCTION:

PERMIT DATE:
 BID DATE:
 DRAWN BY: PCB
 DESIGN BY: JDC
 CHECKED BY: JDC
 DATE: 4/19/22
 SCALE: HORIZ. VERT.
 JOB NUMBER: 21.018

EROSION CONTROL DETAILS

C-116

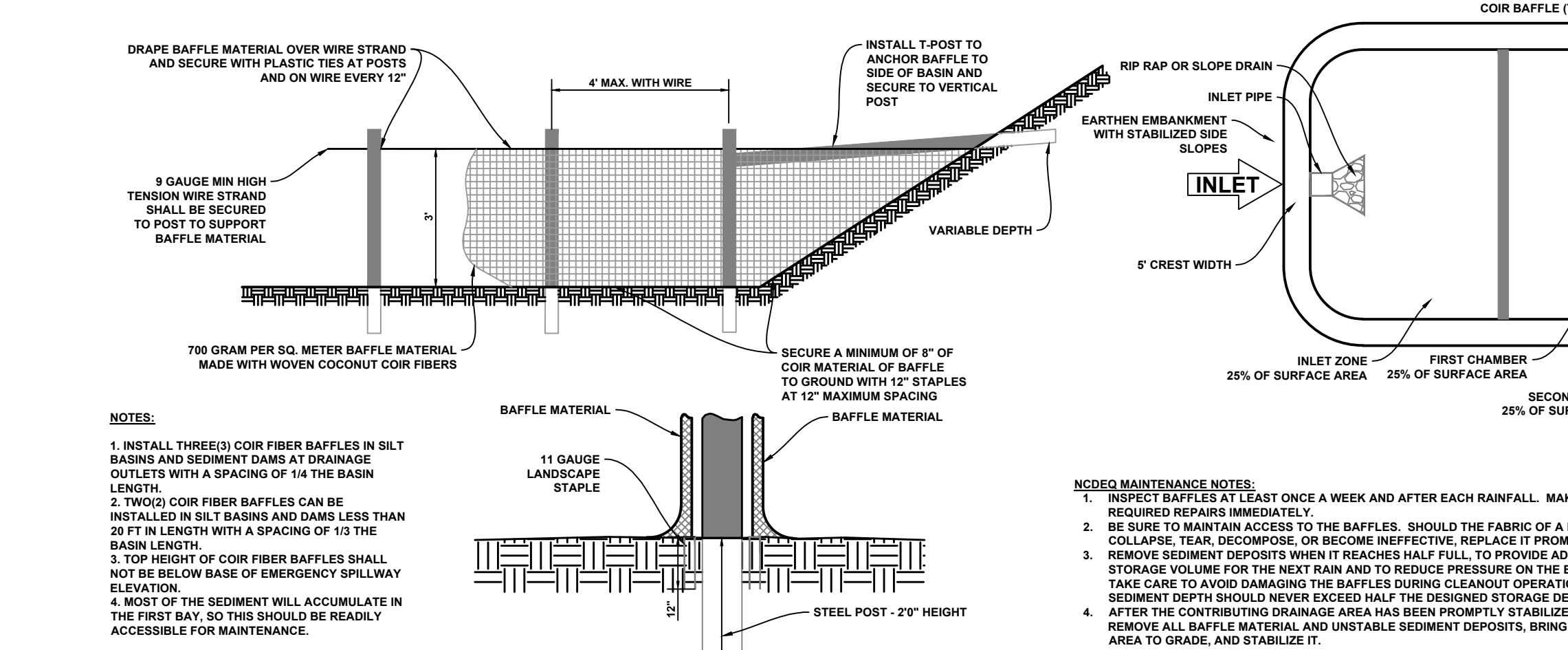
STORE #140
 HENDERSONVILLE RD
 FLETCHER NC



TEMPORARY SKIMMER BASIN

- NCDEQ CONSTRUCTION NOTES:**
1. CLEAR GRUB AND STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT. REMOVE ALL SURFACE SOIL CONTAINING HIGH AMOUNTS OF ORGANIC MATTER AND STOCKPILE OR DISPOSE OF IT PROPERLY. HAUL ALL OBJECTIONABLE MATERIAL TO THE DESIGNATED DISPOSAL AREA. PLACE TEMPORARY SEDIMENT CONTROL MEASURES BELOW BASIN AS NEEDED.
 2. ENSURE THAT FILL MATERIAL FOR THE EMBANKMENT IS FREE OF ROOTS, WOODY VEGETATION, ORGANIC MATTER, AND OTHER OBJECTIONABLE MATERIAL. PLACE THE FILL IN LIFTS NOT TO EXCEED 9", AND MACHINE COMPACT IT. OVERFILL THE EMBANKMENT 6" TO ALLOW FOR SETTLEMENT.
 3. SHAPE THE BASIN TO THE SPECIFIED DIMENSIONS. PREVENT THE SKIMMING DEVICE FROM SETTLING INTO THE MUD BY EXCAVATING A SHALLOW PIT UNDER THE SKIMMER OR PROVIDING A LOW SUPPORT UNDER THE SKIMMER OF STONE OR TIMBER.
 4. PLACE THE BARREL ON A FIRM, SMOOTH FOUNDATION OF IMPERVIOUS SOIL. DO NOT USE PEROUS MATERIAL SUCH AS SAND, GRAVEL OR CRUSHED STONE AS BACKFILL AROUND THE PIPE. PLACE THE FILL MATERIAL AROUND THE PIPE SPILLWAY IN 4" LAYERS AND COMPACT IT UNDER AND AROUND THE PIPE TO AT LEAST THE SAME DENSITY AS THE ADJACENT EMBANKMENT. CARE MUST BE TAKEN NOT TO RAISE THE PIPE FROM THE FIRM CONTACT WITH ITS FOUNDATION WHEN COMPACTING UNDER THE PIPE HAUNCHES. PLACE A MINIMUM DEPTH OF 2" OF COMPACTED BACKFILL OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT. IN NO CASE SHOULD THE PIPE CONDUIT BE INSTALLED BY CUTTING A TRENCH THROUGH THE DAM AFTER THE EMBANKMENT IS COMPLETE.
 5. ASSEMBLE THE SKIMMER FOLLOWING THE MANUFACTURERS INSTRUCTIONS, OR AS DESIGNED.
 6. LAY THE ASSEMBLED SKIMMER ON THE BOTTOM OF THE BASIN WITH THE FLEXIBLE JOINT AT THE INLET OF THE BARREL PIPE. ATTACH THE FLEXIBLE JOINT TO THE BARREL PIPE AND POSITION THE SKIMMER OVER THE EXCAVATED PIT OR SUPPORT. BE SURE TO ATTACH A ROPE TO THE SKIMMER AND ANCHOR IT TO THE SIDE OF THE BASIN. THIS WILL BE USED TO PULL THE SKIMMER TO THE SIDE FOR MAINTENANCE.
 7. EARTHEN SPILLWAYS IN UNDISTURBED SOIL TO THE GREATEST EXTENT POSSIBLE. THE ACHIEVEMENT OF PLANNED EXCAVATIONS, GRADE, DESIGN WITH, AND ENTRANCE AND EXIT SLOPES ARE CRITICAL TO THE SUCCESSFUL OPERATION OF THE SPILLWAY. THE SPILLWAY SHOULD BE LINED WITH LAMINATED PLASTIC OR IMPERMEABLE GEOTEXTILE FABRIC. THE FABRIC MUST BE WIDE AND LONG ENOUGH TO COVER THE BOTTOM AND SIDES AND EXTEND ONTO THE TOP OF THE DAM FOR ANCHORING IN A TRENCH. THE EDGES MAY BE SECURED WITH 8" STAPLES OR PINS. THE FABRIC MUST BE LONG ENOUGH TO EXTEND DOWN THE SLOPE AND EXIT ONTO STABLE GROUND. THE WIDTH OF THE FABRIC MUST BE ONE PIECE, NOT JOINED OR SPLICED. OTHERWISE WATER CAN GET UNDER THE FABRIC. IF THE LENGTH OF THE FABRIC IS INSUFFICIENT FOR THE ENTIRE LENGTH OF THE SPILLWAY, MULTIPLE SECTIONS, SPANNING THE COMPLETE WIDTH, MAY BE USED. THE UPPER SECTIONS SHOULD OVERLAP THE LOWER SECTIONS SO THAT THE WATER CANNOT FLOW UNDER THE FABRIC. SECURE THE UPPER EDGE AND SIDES OF THE FABRIC IN A TRENCH WITH STAPLES OR PINS.
 8. INLETS - DISCHARGE WATER INTO THE BASIN IN A MANNER TO PREVENT EROSION. USE TEMPORARY SLOPE DRAINS OR DIVERSIONS WITH OUTLET PROTECTION TO DIVERT SEDIMENT-LADEN WATER TO THE UPPER END OF THE POOL AREA TO IMPROVE BASIN TRAP EFFICIENCY.
 9. EROSION CONTROL - CONSTRUCT THE STRUCTURE SO THAT THE DISTURBED AREA IS MINIMIZED. DIVERT SURFACE WATER AWAY FROM BARE AREAS. COMPLETE THE EMBANKMENT ABOVE THE AREA IS REQUIRED. STABILIZE THE EROSION SPILLWAY EMBANKMENT AND ALL OTHER DISTURBED AREAS ABOVE THE CREST OF THE PRINCIPLE SPILLWAY IMMEDIATELY AFTER CONSTRUCTION.
 10. INSTALL POROUS BAFFLES AS SPECIFIED IN DETAIL.
 11. AFTER ALL THE SEDIMENT-PRODUCING AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE THE STRUCTURE AND ALL UNWANTED SEDIMENT. SMOOTH THE AREA TO BLEND WITH THE ADJOINING AREAS AND STABILIZE PROPERLY.

- NCDEQ MAINTENANCE NOTES:**
1. INSPECT SKIMMER SEDIMENT BASINS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT AND RESTORE BASIN TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT ACCUMULATES TO 1/2" OF THE HEIGHT OF THE FIRST BAFFLE. PULL THE SKIMMER TO ONE SIDE SO THAT THE SEDIMENT UNDERNEATH CAN BE EXCAVATED. EXCAVATE THE SEDIMENT FROM THE ENTIRE BASIN, NOT JUST AROUND THE SKIMMER OR THE FIRST BAFFLE. MAKE SURE VEGETATION GROWING IN THE BOTTOM OF THE BASIN DOES NOT HOLD DOWN THE SKIMMER.
 2. REPAIR BAFFLES IF THEY ARE DAMAGED. RE-ANCHOR THE BAFFLES IF WATER IS FLOWING UNDERNEATH OR AROUND THEM.
 3. IF THE SKIMMER IS CLOGGED WITH TRASH AND THERE IS WATER IN THE BASIN, USUALLY JERKING ON THE ROPE WILL MOVE THE SKIMMER UP AND DOWN AND DISLODGE THE DEBRIS AND RESTORE FLOW. IF THIS DOES NOT WORK, PULL THE SKIMMER OVER TO THE SIDE AND REMOVE DEBRIS. ALSO CHECK THE ORIFICE INSIDE THE SKIMMER TO SEE IF IT IS CLOGGED; IF SO REMOVE THE DEBRIS.
 4. IF THE SKIMMER ARM OR BARREL PIPE IS CLOGGED, THE ORIFICE CAN BE REMOVED AND THE STRUCTURE CLEARED WITH A PLUMBERS SNAKE OR BY FLUSHING WITH WATER. BE SURE AND REPLACE THE ORIFICE BEFORE REPOSITIONING THE SKIMMER.
 5. CHECK THE FABRIC LINED SPILLWAY FOR DAMAGE AND MAKE ANY REQUIRED REPAIRS WITH FABRIC THAT SPANS THE FULL WIDTH OF THE SPILLWAY. CHECK THE EMBANKMENT, SPILLWAYS, AND OUTLET FOR EROSION DAMAGE, AND INSPECT THE EMBANKMENT FOR PIPING AND SETTLEMENT. MAKE ALL NECESSARY REPAIRS IMMEDIATELY. REMOVE ALL TRASH AND DEBRIS FROM THE SKIMMER AND POOL AREAS.
 6. FREEZING WEATHER CAN RESULT IN ICE FORMING IN THE BASIN. SOME SPECIAL PRECAUTIONS SHOULD BE TAKEN IN THE WINTER TO PREVENT THE SKIMMER FROM PLUGGING WITH ICE.

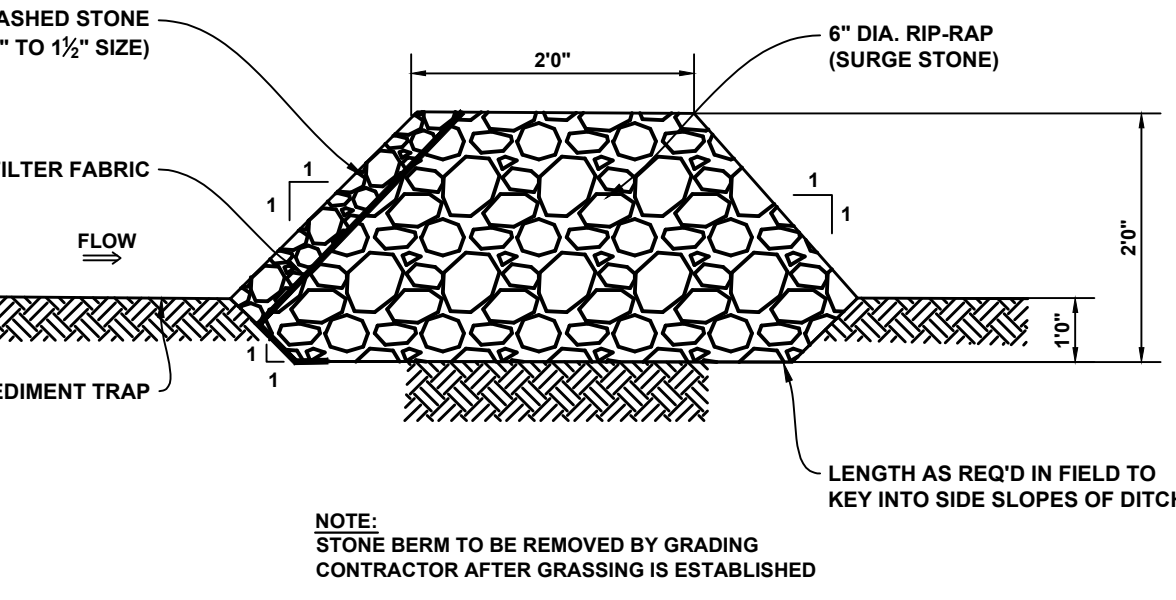


COIR FIBER BAFFLE DETAIL

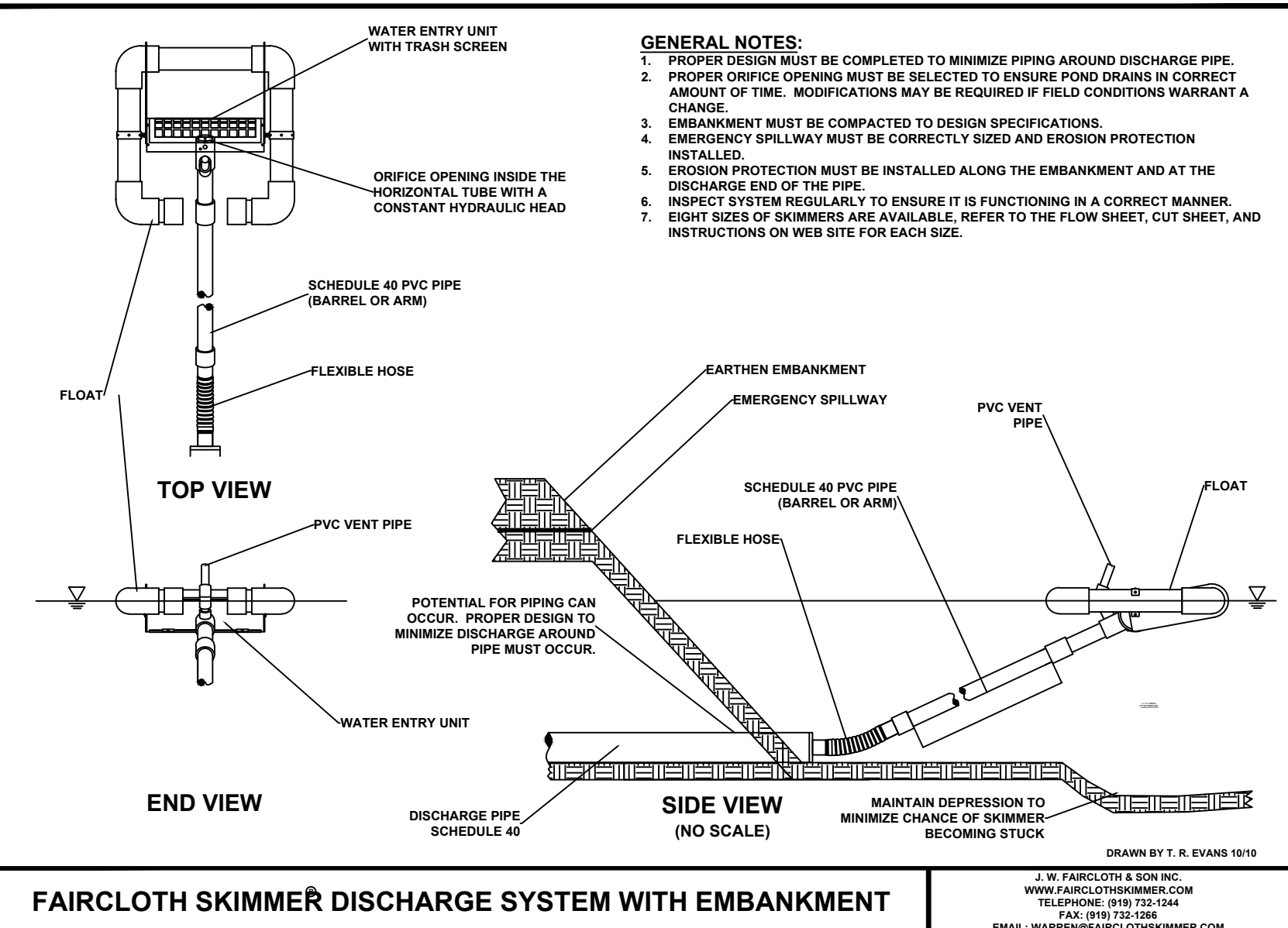
- NCDEQ CONSTRUCTION NOTES:**
1. GRADE THE BASIN TO THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
 2. INSTALL THE COIR FIBER BAFFLES IMMEDIATELY UPON EXCAVATION OF THE BASINS.
 3. INSTALL POSTS ACROSS THE WIDTH OF THE BASIN.
 4. STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF 24" AND SPACED AT A MAXIMUM OF 4' APART. THE TOP OF THE FABRIC SHOULD BE A MINIMUM OF 6" HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE A MINIMUM OF 2" LOWER THAN THE TOP OF THE EARTHEN EMBANKMENT.
 5. INSTALL AT LEAST 3 ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. BASINS LESS THAN 20' MAY USE 2 BAFFLES.
 6. ATTACH A GAUGE HIGH TENSION WIRE STRAND TO THE STEEL POSTS AT A HEIGHT OF 6" ABOVE THE SPILLWAY ELEVATION WITH PLASTIC TIES OR WIRE FASTENERS TO PREVENT SAGGING. IF THE TEMPORARY SEDIMENT BASIN WILL BE CONVERTED TO A PERMANENT STORMWATER BASIN OF A GREATER DEPTH, THE BAFFLE HEIGHT SHOULD BE BASED ON THE POOL DEPTH DURING USE AS A TEMPORARY SEDIMENT BASIN.
 7. EXTEND 3 GAUGE MINIMUM HIGH TENSION WIRE STRAND TO SIDE OF BASIN OR INSTALL STEEL POSTS TO ANCHOR BAFFLE TO SIDE OF BASIN AND SECURE TO VERTICAL END POST.
 8. DRAPE THE COIR FIBER MAT OVER THE WIRE STRAND MOUNTED AT A HEIGHT OF 6" ABOVE THE SPILLWAY ELEVATION. SECURE THE COIR FIBER MAT TO THE WIRE STRAND WITH PLASTIC TIES OR WIRE FASTENERS. ANCHOR THE MATTING TO THE SIDES AND FLOOR OF THE BASIN WITH 12" WIRE STAPLES, APPROXIMATELY 1' APART, ALONG THE BOTTOM AND SIDE SLOPES OF THE BASIN.
 9. DO NOT SPLICE THE FABRIC, BUT USE A CONTINUOUS PIECE ACROSS THE BASIN.
 10. ADJUSTMENTS MAY BE REQUIRED IN THE STAPLING REQUIREMENTS TO FIT INDIVIDUAL SITE CONDITIONS.

- NCDEQ CONSTRUCTION NOTES:**
1. PLACE STONE TO THE LINES AND DIMENSIONS SHOWN IN THE PLAN ON A FILTER FABRIC FOUNDATION.
 2. KEEP THE CENTER STONE SECTION AT LEAST 9" BELOW NATURAL GROUND LEVEL WHERE THE DAM ABUTS THE CHANNEL BANKS.
 3. EXTEND STONE AT LEAST 1.5' BEYOND THE DITCH BANK TO KEEP WATER FROM CUTTING AROUND THE ENDS OF THE CHECK DAM.
 4. SET STAGING BETWEEN DAMS TO ASSURE THAT THE ELEVATION AT THE TOP OF THE LOWER DAM IS THE SAME ELEVATION OF THE UPPER DAM.
 5. PROTECT THE CHANNEL AFTER THE LOWEST CHECK DAM FROM HEAVY FLOW THAT COULD CAUSE EROSION.
 6. MAKE SURE THAT THE CHANNEL REACH ABOVE THE MOST UPSTREAM DAM IS STABLE.
 7. ENSURE THAT OTHER AREAS OF THE CHANNEL, SUCH AS CULVERT ENTRANCES BELOW THE CHECK DAMS, ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

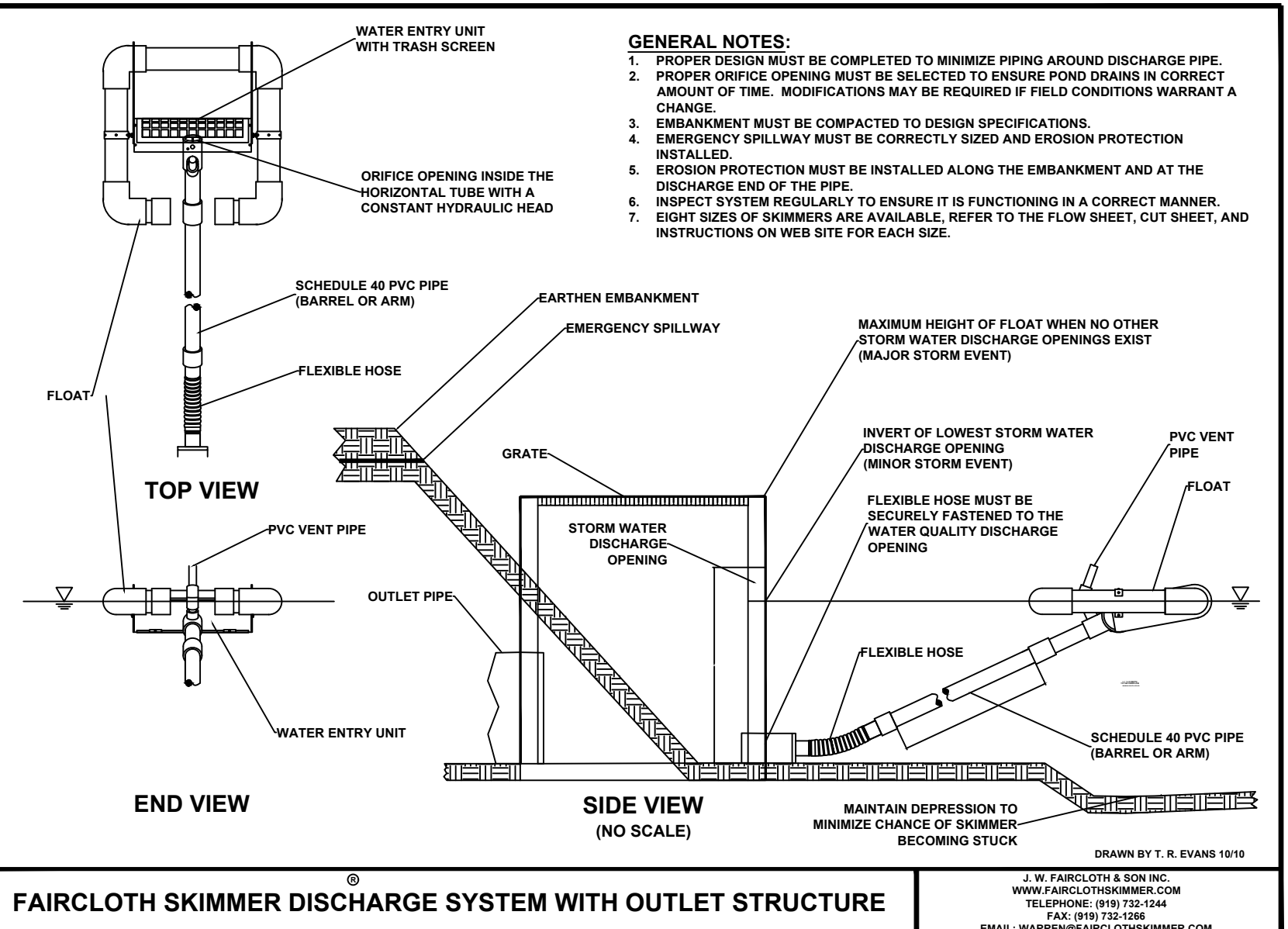
- NCDEQ MAINTENANCE NOTES:**
1. INSPECT CHECK DAMS AND CHANNELS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. CLEAN OUT SEDIMENT, STRAW, LIMBS, OR OTHER DEBRIS THAT COULD CLOG THE CHANNEL WHEN NEEDED.
 2. ANTICIPATE SUBMERGENCE AND DEPOSITION ABOVE THE CHECK DAM AND EROSION FROM HIGH FLOWS AROUND THE EDGES OF THE DAM. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION OCCURS BETWEEN DAMS, ADDITIONAL MEASURES CAN BE TAKEN SUCH AS, INSTALLING A PROTECTIVE RIP RAP LINER IN THAT PORTION OF THE CHANNEL.
 3. REMOVE SEDIMENT ACCUMULATED BEHIND THE DAMS AS NEEDED TO PREVENT DAMAGE TO CHANNEL VEGETATION, ALLOW THE CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM, AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM. ADD STONES TO DAMS AS NEEDED TO MAINTAIN DESIGN HEIGHT AND CROSS SECTION.



TYPICAL SECTION THRU STONE CHECK DAM



FAIRCLOTH SKIMMER DISCHARGE SYSTEM WITH EMBANKMENT



FAIRCLOTH SKIMMER DISCHARGE SYSTEM WITH OUTLET STRUCTURE

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCDEQ CONSTRUCTION GENERAL PERMIT

SECTION I: GROUND STABILIZATION

Site Area Description	Stabilize within this time frame	Timeframe variations
(a) Perimeter ditches, berms, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
(d) Slopes 3:1 to 4:1	14	7 days for perimeter ditches, berms, ditches, perimeter slopes and ROW Zones 10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 6:1	14	7 days for perimeter ditches, berms, ditches, perimeter slopes and ROW Zones 10 days for Falls Lake Watershed unless there is a slope

SECTION II: RECORDKEEPING AND REPORTING

PART I: SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspection must be performed during normal business hours in accordance with the table below. When adverse weather or site conditions would affect the safety of the inspection, the permittee may, at his/her discretion, suspend the self-inspection until the next business day in which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection that is performed upon the commencement of the next business day. Any times when inspections were delayed shall be noted in the Inspection Record.

SECTION B: RECORDKEEPING

The approved EISC plan shall be kept on-site at all times during normal business hours. The approved EISC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EISC shall be kept on-site and available for inspection at all times during normal business hours:

Item to Document

- (a) Each EISC inspection must include:
 - 1. Date and time of inspection
 - 2. Name of the person conducting the inspection
 - 3. Name of the person reviewing the inspection
 - 4. Description of the inspection results for the location, dimensions and material elevations
 - 5. Description of any corrective actions taken, and when completed
 - 6. Description of any other actions taken, and when completed
 - 7. Name of the person reviewing the inspection
 - 8. Name of the person conducting the inspection
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 - 99. Name of the person reviewing the inspection
 - 100. Name of the person conducting the inspection

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	8/26/22	ADDED NCDEQ NOTES PER HENDERSON COUNTY COMMENT	SCW
2	6/28/23	REVISED DETAILS PER INGLIS	JDC

SEAL:

CORPORATE SEAL:

LAND PLANNING ASSOCIATES

CIVIL ENGINEERING

DBA
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110 WEST 1ST AVENUE - SUITE A
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864.242.6072 FAX 208.730.8214
design@pa-inc.net

ingles

Markets Incorporated

STORE #140

5620 HENDERSONVILLE ROAD
FLETCHER NC

PROPERTY INFORMATION:

TAX MAP NUMBER: 9652316641, 9652316277

REFERENCE D.B. & PG: DB 3396 PG 597

ADDITIONAL INFO: 9652314347, DB 3464 PG 102

ISSUE FOR CONSTRUCTION:

PERMIT DATE:

BID DATE:

DRAWN BY: PCB

DESIGN BY: JDC

CHECKED BY: JDC

DATE: 4/19/22

SCALE: HORIZ. VERT.

JOB NUMBER: 21.018

EROSIONS CONTROL DETAILS

C-117

STORE #140
HENDERSONVILLE RD
FLETCHER NC

6.10 TEMPORARY SEEDING

Definition Planting rapid-growing annual grasses, small grains, or legumes to provide initial, temporary cover for erosion control on disturbed areas.
Purpose To temporarily stabilize denuded areas that will not be brought to final grade for a period of more than 30 working days.
Conditions Where Practice Applies On any cleared, unvegetated, or sparsely vegetated soil surface where vegetative cover is needed for less than 1 year.

Table 6.10c Temporary Seeding

Table with 3 columns: Species, Rate (lb/acre), and Seeding dates. Includes rows for Rye (grain) and Annual Lespedeza.

Planning Considerations Annual plants, which sprout and grow rapidly and survive for only one season, are suitable for establishing initial or temporary vegetative cover.

Specifications Complete grading before preparing seedbeds and install all necessary erosion control practices, such as dikes, waterways and basins. Minimize steep slopes because they make seedbed preparation difficult and increase the erosion hazard.

SEEDBED PREPARATION Good seedbed preparation is essential to successful plant establishment. The good seedbed is well-pulverized, loose, and uniform. Where hydroseeding methods are used, the surface may be left with a more irregular surface of large clods and stones.

Limiting - Apply lime according to soil test recommendations. If the pH (activity) of the soil is not known, an application of ground agricultural limestone at the rate of 1 to 1 1/2 tons/acre on coarse-textured soils and 2-3 tons/acre on fine-textured soils is usually sufficient.

Fertilizer - Base application rates on soil tests. When these are not possible, apply a 10-10-10 grade fertilizer at 700-1,000 lb/acre. Both fertilizer and lime should be incorporated into the top 4-6 inches of soil.

Surface roughening - If recent tillage operations have resulted in a loose surface, additional roughening may not be required except to break up large clods. If rainfall causes the surface to become sealed or crusted, loosen it just prior to seeding by disking, raking, harrowing, or other suitable methods.

PLANT SELECTION Select an appropriate species or species mixture from Table 6.10a, for seeding in late winter and early spring, Table 6.10b for summer, and Table 6.10c for fall.

SEEDING Evenly apply seed using a cyclone seeder (broadcast), drill, cultipacker seeder, or hydroseeder. Use seeding rates given in Tables 6.10a-6.10c.

MULCHING The use of an appropriate mulch will help ensure establishment under normal conditions and is essential to seeding success under harsh site conditions (Practice 6.14, Mulching).

Maintenance Reseed and mulch areas where seedling emergence is poor, or where erosion occurs, as soon as possible. Do not mow. Protect from traffic as much as possible.

Table 6.10a Temporary Seeding Recommendations for Summer

Table with 3 columns: Species, Rate (lb/acre), and Seeding dates. Includes rows for Rye (grain), German millet, and Annual Lespedeza.

Table 6.10b Temporary Seeding Recommendations for Summer

Table with 3 columns: Species, Rate (lb/acre), and Seeding dates. Includes rows for German millet and Annual Lespedeza.

PERMANENT SEEDING

Definition Controlling runoff and erosion on disturbed areas by establishing perennial vegetative cover with seed.
Purpose To reduce erosion and decrease sediment yield from disturbed areas, to permanently stabilize soil areas in a manner that is economical, adapts to site conditions, and allows selection of the most appropriate plant materials.

Conditions Where Practice Applies Fine-grained areas on which permanent, long-lived vegetative cover is the most practical or most effective method of stabilizing the soil. Permanent seeding may also be used on rough-graded areas that will not be brought to final grade for a year or more.

Introduction During the initial phase of all land disturbing projects, the protective layer, either natural or man-made, is removed from the earth's surface. As the protective layer is removed, the resulting bare areas are exposed to the natural force of rainfall, flooding, thawing, and wind.

This design manual presents many alternative strategies for preventing erosion and reducing sediment loss during the construction process. Establishment of protective vegetative cover during the construction project, however, is the crucial step in achieving soil stabilization, controlling soil erosion, and preventing sedimentation of waterways.

Sections of this practice standard address many of these various situations and set forth selection criteria for the appropriate cover based on purpose and adaptability. Some sediment and erosion control practices recommended in earlier editions of the manual may no longer be applicable.

Rev. 508 6.11.1 6.11.2

Practice Standards and Specifications

Areas to be Seeded:
- Till or disc the prepared areas to be seeded to a minimum depth of four (4) inches. Remove stones larger than three (3) inches on any side, sticks, roots and other extraneous materials that surface.

Areas to be Sprigged, Seeded, and/or Planted:
- At the time of planting till or disc the prepared areas to a depth of four (4) to six (6) inches below the approved finished grade. Remove all stones larger than three (3) inches on any side, sticks, roots and other extraneous materials that surface.

VEGETATION Availability of seed and plant materials is an important consideration of any construction stabilization effort. Throughout North Carolina, climate, economics, construction schedule delays and accelerations, and other factors present difficult challenges in specifying the different vegetation needed for site stabilization.

Immediate Stabilization - nurse crop varieties (Note: Temporary mulching may be utilized for immediate stabilization if outlined on the approved plans and construction sequence).

Immediate vegetative cover will always require additional fertilization, soil amendments, soil tests, overseeding and/or other horticultural maintenance until primary vegetative cover is established.

Rev. 508 6.11.4 6.11.5

Practice Standards and Specifications

It is imperative that disturbed soils be totally protected from erosion and sediment loss during construction and before a project is considered complete and acceptable. Installing appropriate vegetation is an immediate and timely fashion is the optimal means of achieving this stabilization.

The vegetative measures presented in this chapter include application of seed, sod and sprigs. Use of field and container grown plants are not addressed in this manual. Planting of these types of vegetation is typically spreading and materials that will provide the required protective cover.

SOIL PREPARATION Proper soil preparation is necessary for successful seed germination and root establishment. It is also necessary for establishment of rooted sprigs, sod and woody plants.

General Requirements:
- Preparation for primary/permanent stabilization shall not begin until all construction and utility work within the preparation area is complete. However, it may be necessary to prepare for nurse crops prior to completion of construction and installation of utilities.

SOIL BLANKETS Soil blankets can be an acceptable and effective method of temporary sediment and erosion control in lieu of nurse crops. See Section 6.17 of the manual for descriptions of this product and how it can be used in conjunction with this section.

Rev. 508 6.11.3 6.11.4

Practice Standards and Specifications

Where provisions are made for regular maintenance, primary vegetative cover may be the end result. An example of primary vegetative cover being acceptable as an end use would be lawns in residential and commercial developments that are established, monitored and complemented with regular and approved horticultural maintenance practices.

Complete stabilization requires using at least two, and most times, all three vegetative phases. The design professional must clearly communicate this point in their specifications, construction sequence, and in direct communications to owners and installers.

The acid-base characteristic of the soil is a primary component of soil fertility. If the soil acidity is not in the proper range, other nutrients will be ineffective, resulting in less productive plant growth.

The base elements are easily found in bulk quantities. Lime can also be obtained in large quantities. They all must be thoroughly incorporated into the soil through appropriate mechanical means.

Rev. 508 6.11.5 6.11.6

Practice Standards and Specifications

Soil tests will indicate the texture of the given soil but will not provide recommendations for amendments that will improve the soil texture. Generally, the addition of organic materials will improve the proximity of heavy clay soils and improve the water holding capacity of extremely sandy soils.

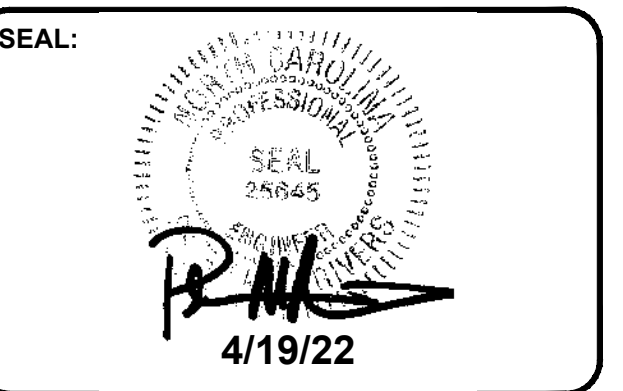
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Rev. 508 6.11.3 6.11.4

Table with 4 columns: NO., DATE, DESCRIPTION, BY. Used for tracking revisions.



CORPORATE SEAL: LAND PLANNING ASSOCIATES CIVIL ENGINEERING

DBA LAND PLANNING ASSOCIATES CIVIL ENGINEERING. STORE #140, 5620 HENDERSONVILLE ROAD, FLETCHER NC.

ingles Markets Incorporated. STORE #140, 5620 HENDERSONVILLE ROAD, FLETCHER NC.

PROPERTY INFORMATION: TAX MAP NUMBER: 9652316641, REFERENCE D.B. & PG: DB 3396 PG 597, ADDITIONAL INFO: 9652314347, DB 3464 PG 102

ISSUE FOR CONSTRUCTION: PERMIT DATE, BID DATE, DRAWN BY: PCB, DESIGN BY: JDC, CHECKED BY: JDC, DATE: 4/19/22, SCALE: HORIZ. VERT., JOB NUMBER: 21.018

SEEDING NOTES C-118 STORE #140 HENDERSONVILLE RD FLETCHER NC

Practice Standards and Specifications

PROTECTIVE MATTING

Protective matting consists of an impervious cover secured to the soil surface in lieu of vegetative cover. It is used to protect and stabilize the surface where the process of seeding or planting forms of vegetation may cause more erosion and off-site sedimentation than application of the mat. It is also used where a marked area is intended to lay fallow for a period of time before additional construction or land disturbance takes place. If a previous matting is selected, a combination of vegetation and matting is required. Seeding on an applied mat requires pre-seeding of the matting only after proper seedbed preparation has been provided. Also, live stakes, dormant sprigs, and other vegetation forms can be inserted in the previous matting once it has been installed. Pre-seeded previous matting may be used for quicker root establishment and stabilization only if certified dating and germination guarantees are provided. The reviewing agency must approve all pre-seeded matting on site prior to installation. Matting that incorporates plastic mesh and/or plastic twine should not be used in wetlands, riparian buffers or floodplains due to the potential of animal mortality. See Section 6.17 for detailed specifications and recommended product applications.

STABILIZATION IN WETLANDS, RIPARIAN BUFFERS, AND FLOODPLAINS

Land disturbing activity involving streams, wetlands or other waterbodies may also require permitting by the U.S. Army Corps of Engineers or the N.C. Division of Water Quality. Approval of an erosion and sedimentation control plan is conditioned upon the applicant's compliance with federal and State water quality laws, regulations, and rules. Additionally, a draft plan should be developed if implementation of the plan would result in a violation of rules adopted by the Environmental Management Commission to protect riparian buffers along surface waters. Care should be taken in selecting vegetative stabilization of wetlands and riparian buffers to comply with permitting requirements of other agencies, as well as provide adequate ground cover.

Planning Considerations for Land Disturbing Activities Within Wetland, Riparian, and Floodplain Areas

Wetlands, riparian areas, floodplains, and/or terrestrial areas between streams and uplands, serve to buffer surface water and provide habitat for aquatic and terrestrial flora and fauna. When cleared and disturbed, these sensitive areas are difficult to protect. Because of their proximity to water courses, relatively high ground water tables, and flooding potential, detailed analysis and design is necessary to determine the appropriate erosion control measures during construction. Determining the appropriate and most expeditious means of permanent vegetative stabilization in these areas requires equally detailed analysis and design. The following considerations for erosion control and stabilization should be taken into account during the design phase of the land disturbing project where sensitive areas are involved.

- Obtain soil tests to determine the soil type, pH, texture and available nutrients.
Based on the soil tests provide a schedule of nutrients and other soil amendments that will be required.

Rev. 5/08

6.11.7

6

PROTECTIVE MATTING

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Based on the soil tests provide a schedule of nutrients and other soil amendments that will be required.

6.11.8

Practice Standards and Specifications

Native Seed and Plant Selection for Stabilization of Wetlands, Riparian Areas, and Floodplains

Upon the completion of the land disturbing activity, vegetative cover must be established on all areas not stabilized by other means. If work in these areas stops for more than 15 working days, temporary vegetative cover and/or matting must be applied to all disturbed areas. The goal is to protect these areas from erosion and to prevent sedimentation of adjacent streams, wetlands, lakes, and other water bodies.

Planting considerations for wetlands, riparian areas and floodplains will require additional research, detail and specifications. Native grasses are usually required as a condition of a 401 Water Quality Certification or a treat buffer variance.

Native seed and plant species that naturally occur in the region in which they evolved. These plants are adapted to local soil types and climatic variations. Because most native species do not germinate and establish as readily as some introduced species, it is necessary to provide a non-native nurse crop or matting to stabilize the soil until the native crop can become established as the dominant cover. Once established, the native plants will produce an extensive root structure that, if properly maintained, will stabilize soils and reduce excessive forces of rainfall and overland stormwater flow. Many of these plants also possess characteristics that, when established, allow them to not only to survive, but also to thrive under local conditions.

Seeding a mixture of perennial native grasses, rushes, and sedges is a way to establish permanent ground cover within wetlands, riparian areas and floodplains. The use of propagated plants is another method of reestablishing natives in these environments. Selecting a seed mixture and/or propagated plants of different species with complementary characteristics will provide vegetation to fill select niches on sites with varying physical conditions. The design professional should note that because most native species do not germinate and establish as readily as some introduced species, it is necessary to provide a non-native nurse crop or matting to stabilize the soil until the native crop can become established as the dominant cover. For additional information about acceptable nurse crop varieties, consult the planting list in Appendix 8.02, local seed and plant suppliers, the North Carolina Cooperative Extension Service or a qualified design professional to assure the proper selection and plant mix.

Rev. 5/08

6.11.9

6

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Rev. 5/08

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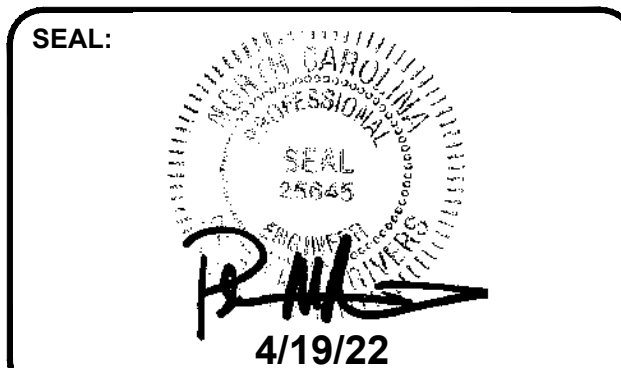
- Obtain soil tests to determine the soil type, pH, texture and available nutrients.
Based on the soil tests provide a schedule of nutrients and other soil amendments that will be required.

Rev. 5/08

6.11.11

REVISIONS:

Table with columns: NO., DATE, DESCRIPTION, BY



CORPORATE SEAL:
Soil test prior to grading (price per each test).
Soil test during grading operations (price per each test).
Soil test to completion of grading and/or prior to seeding, sprigging, sodding and application of fertilizer, lime, and other soil amendments (price per each test).

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5620 HENDERSONVILLE ROAD
FLETCHER NC

PROPERTY INFORMATION:
TAX MAP NUMBER: 9652316641
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ISSUE FOR CONSTRUCTION:
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CHECKED BY: JDC
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SCALE: HORIZ. VERT.
JOB NUMBER: 21.018

SEEDING NOTES
C-119
STORE #140
HENDERSONVILLE RD
FLETCHER NC

Practice Standards and Specifications

Information is provided for seeding rates, optimum planting dates in the state's three regions, sun and shade tolerance, invasive characteristics, compatibility in wetlands and riparian buffers, and installation maintenance considerations. By going through the lists the design professional can select the nurse and primary seed varieties and maintenance characteristics they feel are best suited for their site conditions, vegetation management expertise and maintenance capabilities.

To use the information in the seeding charts the plan preparer must:

- Determine what nurse crop best fits their site, soil conditions, and permanent seed mix.
Obtain soil tests for all areas to be seeded.
Know the site's region: mountains, piedmont, or coastal plain.
Know if the areas to be seeded are sunny, part shade, or full shade.
Know if the areas are well or poorly drained.
Know if wetlands or riparian buffers are included in the areas to be seeded.
Know if a chosen crop is invasive and if so, what potential impacts it will have on the site and adjacent properties.

With this knowledge the plan preparer may proceed utilizing the charts provided to provide the overall seed mixes that will be applicable to the different areas requiring stabilization.

Practice Standards and Specifications

- Seeding (price per square foot).
Mulching (price per square foot).
Repair seeding (price per square foot).
Repair mulching (price per square foot).
Matting (price per square yard).
Watering (price per thousand gallons).
Mowing (price per square foot).

SEEDING RECOMMENDATIONS

The following tables list herbaceous plants recommended for use as nurse crops for immediate stabilization and primary crops for initial and long-term stabilization. Nurse crops are expected to develop in two to five weeks and, with adequate maintenance, be an effective maintenance for stabilization for a period of six months to one year. Nurse crops are not effective as primary long-term cover, however if properly maintained they can be an adequate cover and protection for the development of primary crops.

The goal for a primary crop is for it to develop over a three-week to one-year period and be effective up to three years with a well-defined maintenance program. The long-term goal for a primary crop is the initial step toward a sustainable protective cover without the need of maintenance. Where the primary crop is intended for a managed lawn and landscape aesthetics, the effective period can be extended for a more intense maintenance program. Where native species are utilized and become established during the placement maintenance program, a permanent cover that will support future succession species should exist and require little or no additional maintenance or management.

In uses of both nurse and primary crops, the development periods listed on the tables are optimal based on normal climatic conditions for the planning state listed. The sediment and erosion control maintenance program must recognize that optimum temperatures and rainfall are the exception rather than the rule. The design professional needs to provide flexibility in the stabilization plan to address the potential ranges of temperature and moisture conditions we experience in North Carolina.

6.11.12

Rev. 5/08

6.11.13

HERBACEOUS PLANTS-Seeding recommendations for immediate stabilization/nurse crops (2 to 6 weeks for development, effectiveness goal: 6 months to 1 year stabilization)

Table 6.11.10: HERBACEOUS PLANTS-Seeding recommendations for immediate stabilization/nurse crops. Includes columns for Common Name, Botanical Name, Seeding Rate, etc.

NOTES:
1. Seeding sites are for field control unless otherwise noted.
2. Fertilize a landscape - refer to the separate document of site lists. Recommended application rate assumes significantly disturbed sites with little or no residual cover.
3. Most sites require a nurse crop to provide a protective cover until maintenance can be established.
4. Invasive vegetation as determined by the N.C. Exotic Plant Pest Council and N.C. Native Plant Society.
5. Seeding is not recommended for immediate stabilization unless noted as invasive, non-invasive, or non-invasive stabilization method is provided.

HERBACEOUS PLANTS-Seeding recommendations for primary stabilization (Successful development depends on planting date (effectiveness goal: 6 mo. - 3 yrs. without an ongoing maintenance program))

Table 6.11.11: HERBACEOUS PLANTS-Seeding recommendations for primary stabilization. Includes columns for Common Name, Botanical Name, Seeding Rate, etc.

HERBACEOUS PLANTS-Seeding recommendations for primary stabilization (Successful development depends on planting date (effectiveness goal: 6 mo. - 3 yrs. without an ongoing maintenance program))

Table 6.11.12: HERBACEOUS PLANTS-Seeding recommendations for primary stabilization. Includes columns for Common Name, Botanical Name, Seeding Rate, etc.

HERBACEOUS PLANTS-Seeding recommendations for primary stabilization (Successful development depends on planting date (effectiveness goal: 6 mo. - 3 yrs. without an ongoing maintenance program))

Table 6.11.13: HERBACEOUS PLANTS-Seeding recommendations for primary stabilization. Includes columns for Common Name, Botanical Name, Seeding Rate, etc.

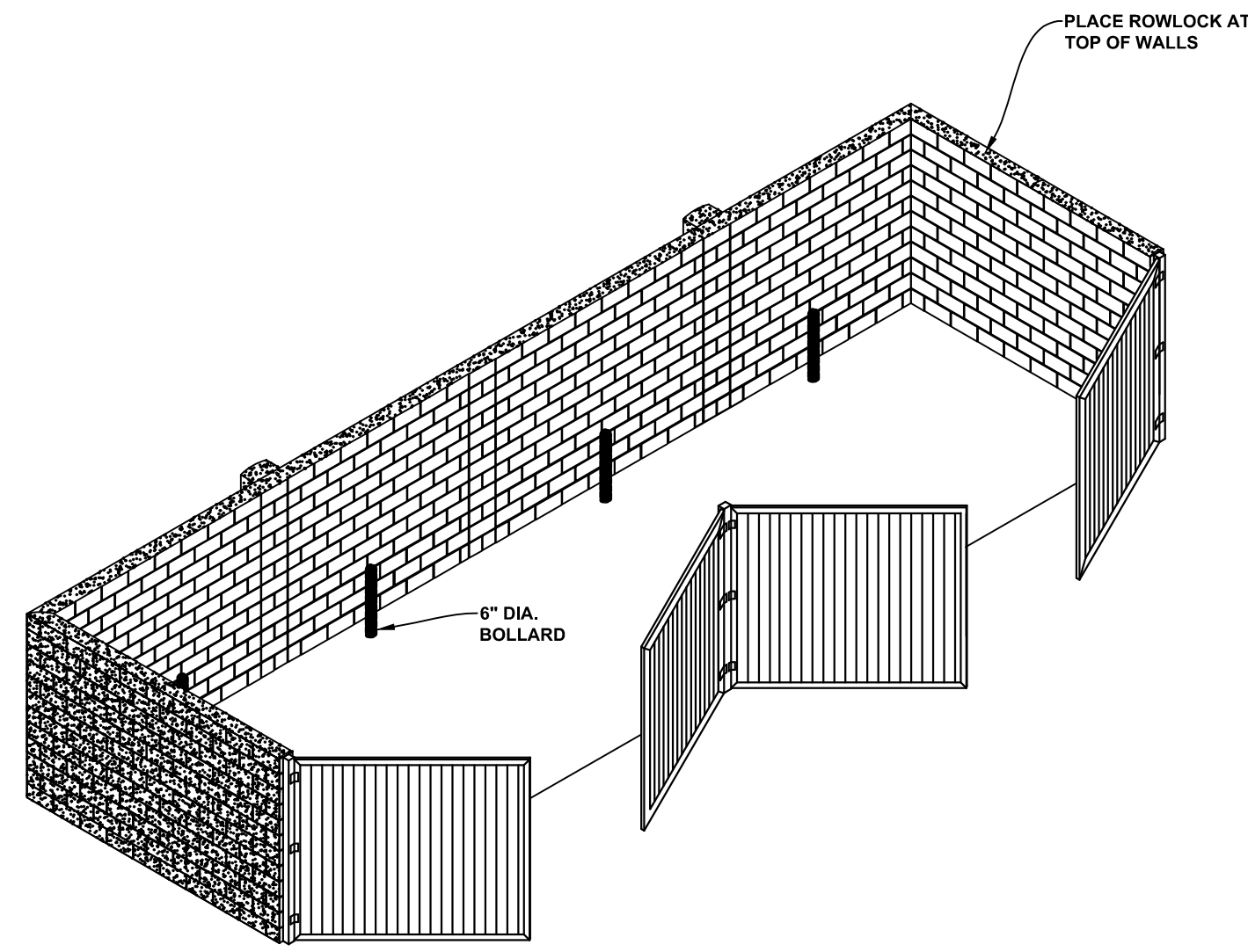
HERBACEOUS PLANTS-Seeding recommendations for primary stabilization (Successful development depends on planting date (effectiveness goal: 6 mo. - 3 yrs. without an ongoing maintenance program))

Table 6.11.14: HERBACEOUS PLANTS-Seeding recommendations for primary stabilization. Includes columns for Common Name, Botanical Name, Seeding Rate, etc.

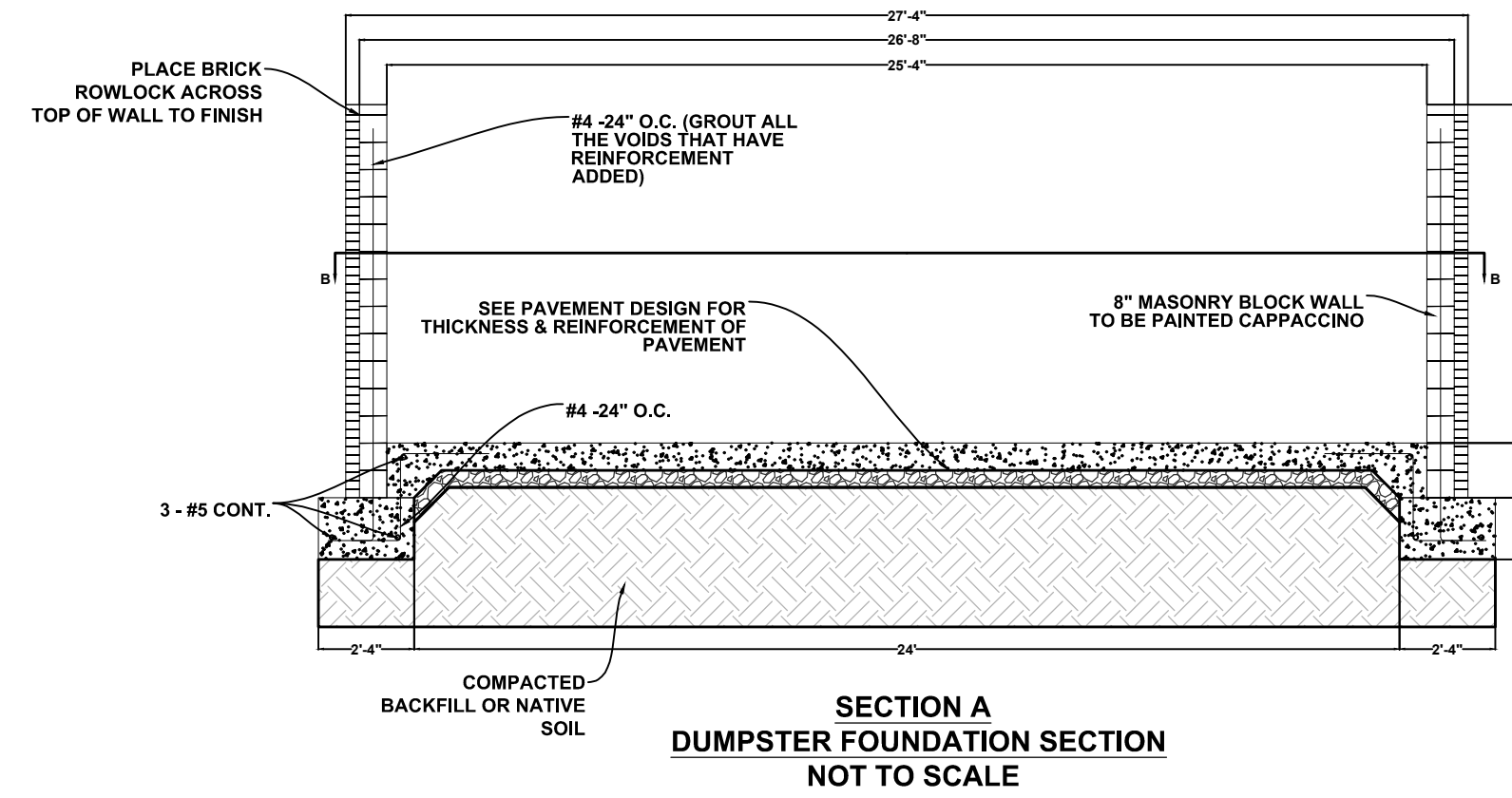
Rev. 5/08

6.11.19

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Apr 19, 2022 09:10:21 AM



MASONRY BRICK DUMPSTER ENCLOSURE
DESIGN WIND SPEED: 130 M.P.H.
NOT TO SCALE

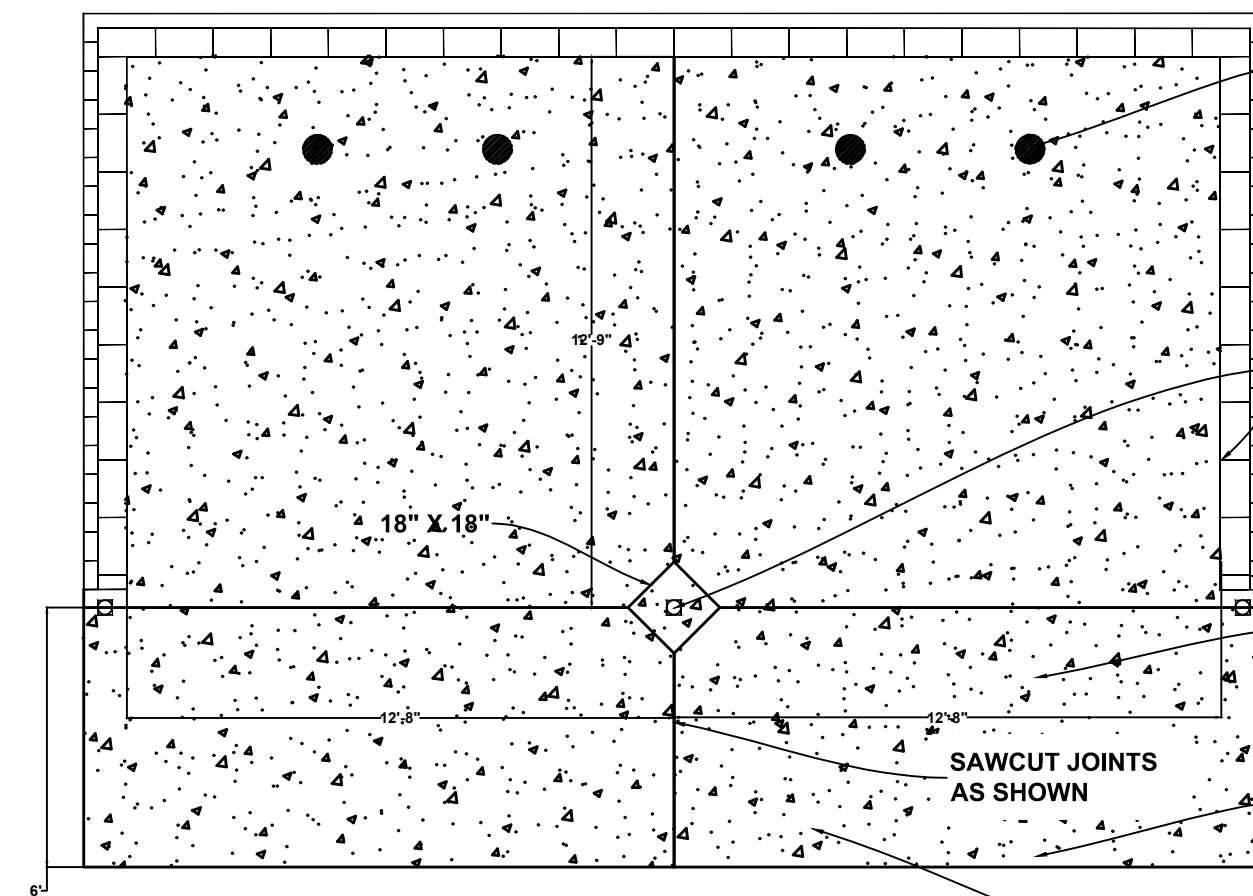


SECTION A
DUMPSTER FOUNDATION SECTION
NOT TO SCALE

PREFABRICATED METAL GATE INFORMATION

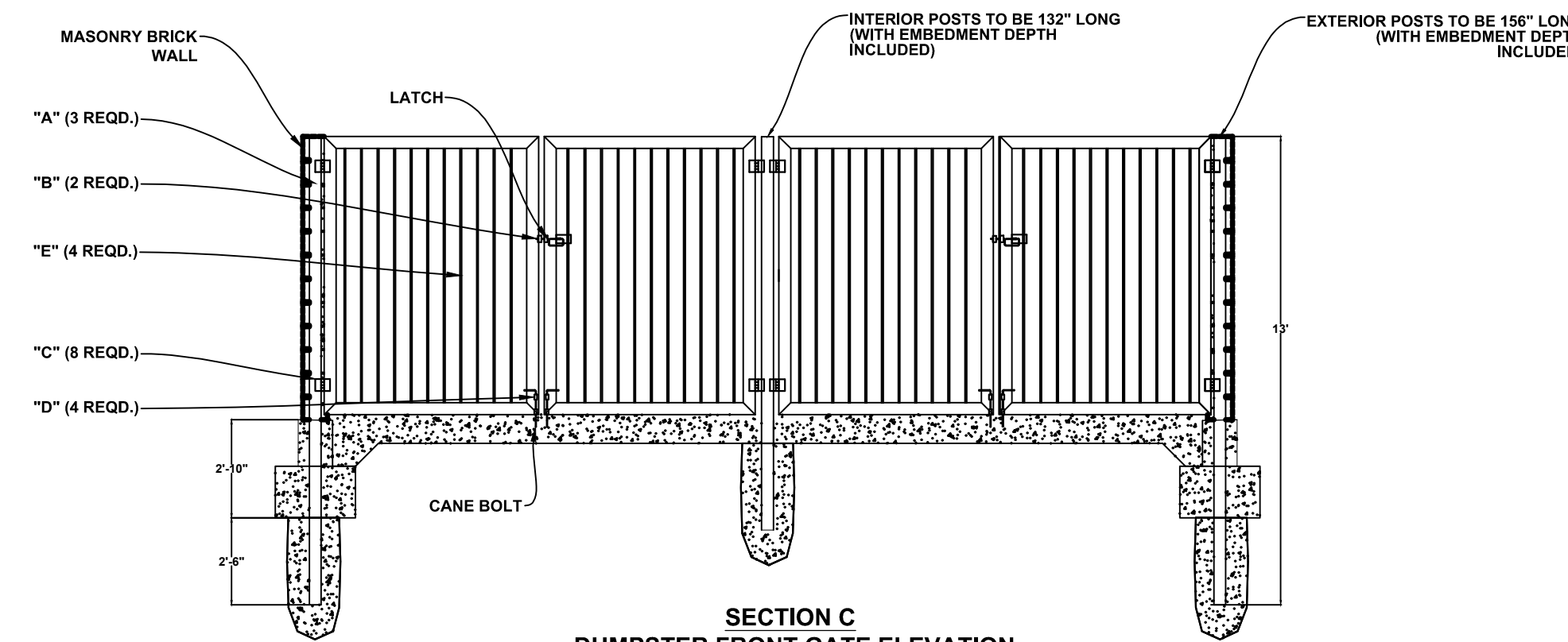
- A - MOD. 800-GP 6" x 6" x 1/4" x 96" (156" TOTAL LENGTH WITH BURIAL) SQUARE STEEL GATE POSTS. (POWDER COATED)
- B - HEAVY DUTY LATCH & KEEPER HAND
- C - LIFTMASTER ELITE POWER HINGE 2 1/2 STEEL & 1/2 ALUMINUM GATE HINGE (2 EACH GATE PANEL)
- D - CANE BOLTS W/ KEEPERS
- E - BLACK ALUMINUM GATE PANEL (INGLES TO APPROVE)

DESIGN WIND SPEED: 130 M.P.H.

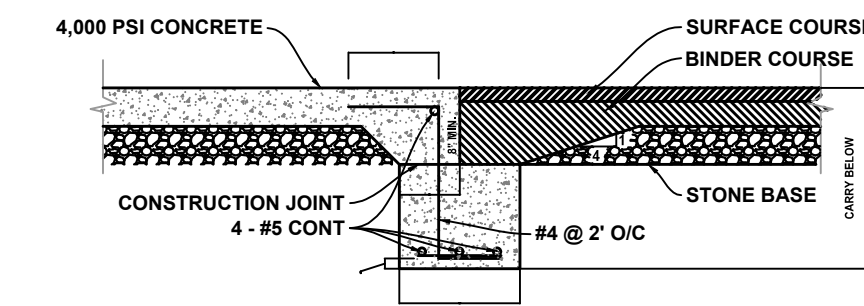


SECTION D
DUMPSTER CONCRETE DESIGN
NOT TO SCALE

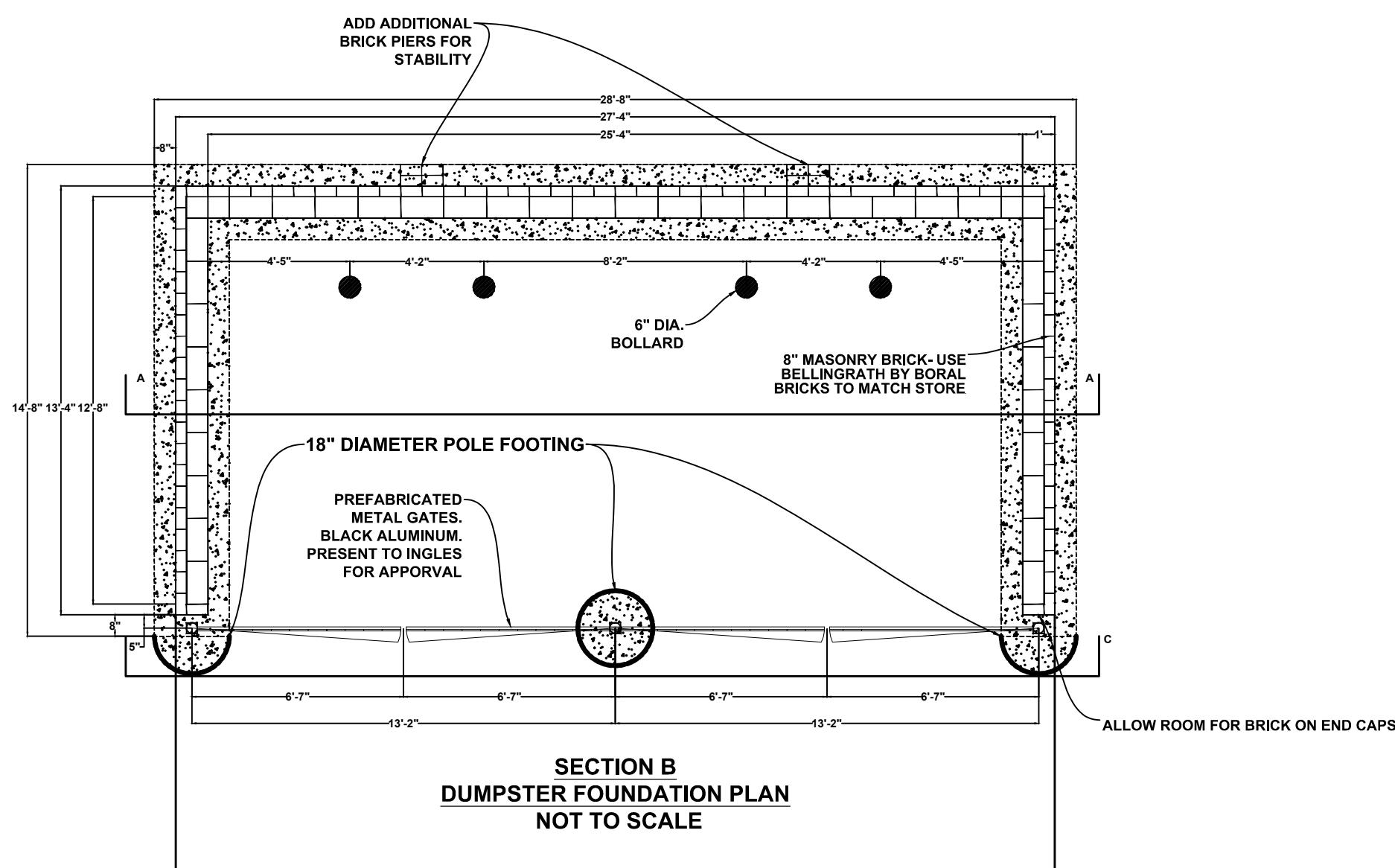
- SEE DETAIL FOR REINFORCEMENT AROUND BOLLARD. WILL INCLUDE SIX SETS OF #4 REBAR X 30" LONG - PLACED WITH MINIMUM 2" CLEAR COVER FROM THE BOLLARD, PLACED ON PROPER REBAR CHAIRS TO MAINTAIN 2" CLEAR COVER FROM THE TOP (5" CHAIR FOR 7" THICK PAVEMENTS)
- RECOMMENDED 1/2" WIDE ISOLATION JOINT WITH SEALANT AT POST BLOCKOUT SLAB PENETRATIONS AND ADJACENT TO THE MASONRY WALLS TO ALLOW FOR EXPANSIONS AND CONTRACTION.
- PROVIDE 7" OF CONCRETE ON 6" OF AGGREGATE BASE (4,000 PSI AIR ENTRAINED CONCRETE). IF PAVEMENT DESIGN PLANS HAVE BEEN PROVIDED THEY WILL SUPERSEDE THIS DETAIL AND DESIGN.
- SAWCUT JOINTS AS SHOWN
- PROVIDE AN ASPHALT / CONCRETE JOINT ALONG EDGE OF 8FT APRON (SEE DETAIL)
- SEE DETAIL FOR CRACK CONTROL STEEL. ALL CONCRETE PANELS THAT EXCEED THE MAXIMUM LENGTH TO WIDTH RATIO OF 1.25:1 SHOULD HAVE NEARSURFACE "CRACK STEEL" CONSISTING OF: #4 REBAR AT 24" O.C. BOTH DIRECTIONS WITH 2" CLEAR COVER AT THE ENDS OF BARS, 3" TO 4" COVER BETWEEN SAW CUTS, AND PLACED ON PROPER REBAR CHAIRS TO MAINTAIN 2" CLEAR COVER FROM THE TOP (5" CHAIR FOR 7" THICK PAVEMENT)



SECTION C
DUMPSTER FRONT GATE ELEVATION
NOT TO SCALE

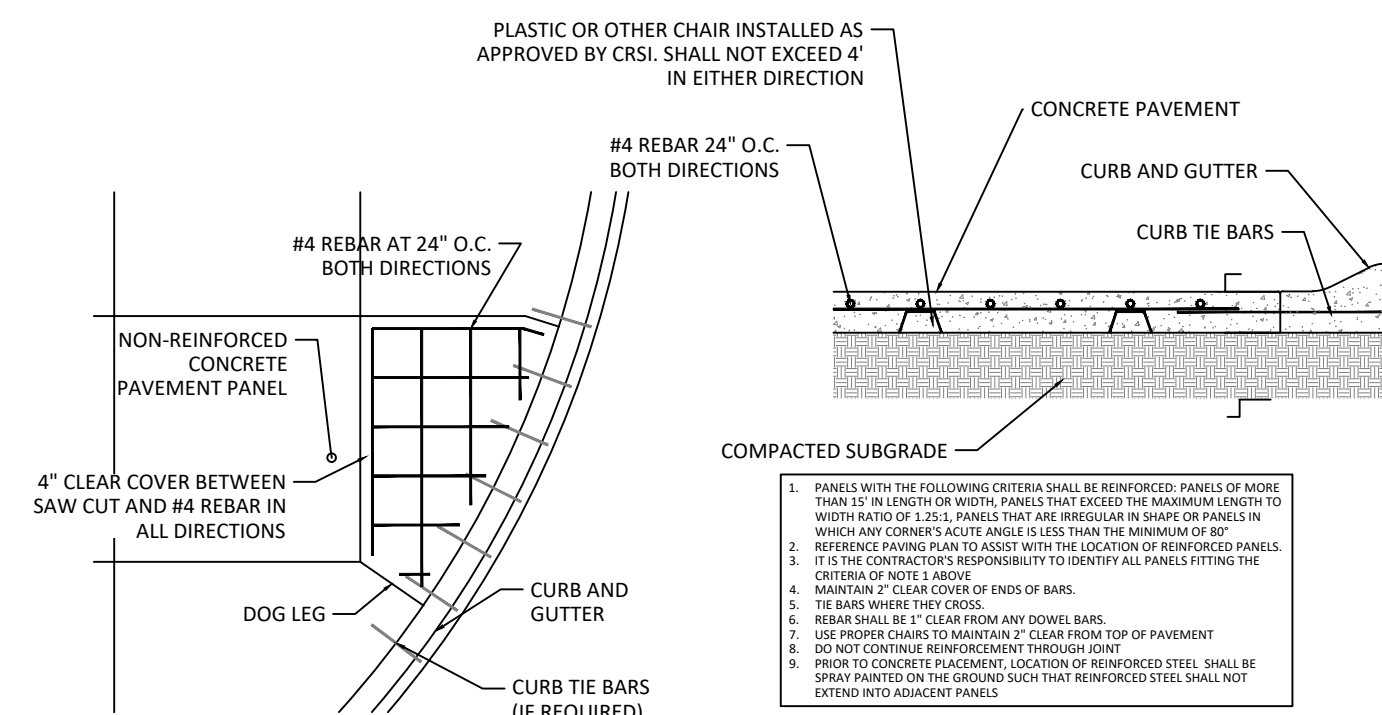


CONCRETE/ASPHALT JOINT DETAIL
(RTS)



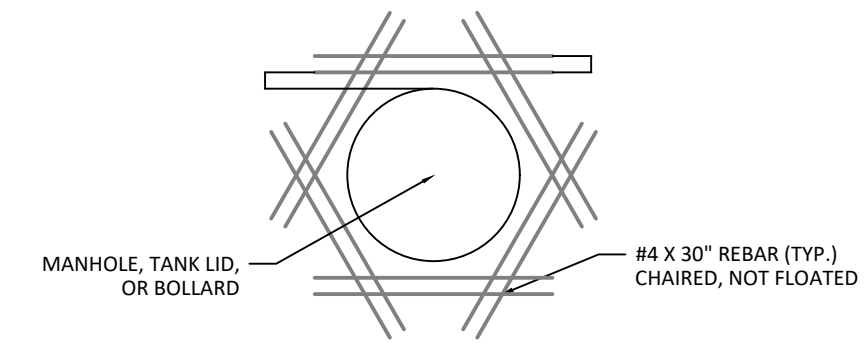
SECTION B
DUMPSTER FOUNDATION PLAN
NOT TO SCALE

PROVIDE A MINIMUM 8" CONCRETE APRON IN FRONT OF ALL DUMPSTERS, UNLESS IT IS IN A LOCATION WHERE CONCRETE PAVEMENT ALREADY EXISTS OR PAVEMENT DESIGN PLANS HAVE BEEN PROVIDED.



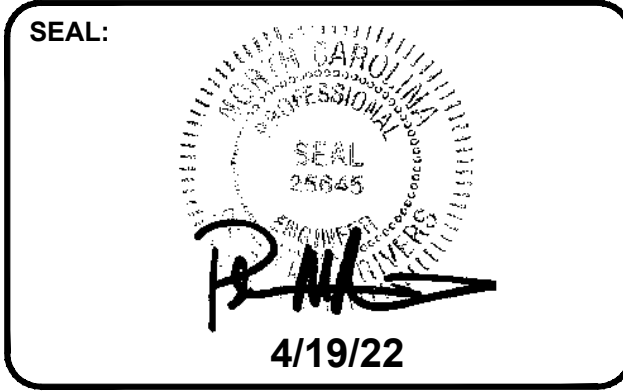
SURFACE CRACK CONTROL REINFORCEMENT (TYPICAL)
NOT TO SCALE

1. PANELS WITH THE FOLLOWING CRITERIA SHALL BE REINFORCED: PANELS OF ACRES THICK OR MORE OR MORE PANELS THAT EXCEED THE MAXIMUM LENGTH TO WIDTH RATIO OF 1.25:1. PANELS THAT ARE IRREGULAR IN SHAPE OR PANELS IN WHICH ANY CORNER'S ACUTE ANGLE IS LESS THAN THE MAXIMUM OF 80°
2. REINFORCEMENT SHALL BE PLACED WITHIN THE MAXIMUM OF 8" FROM THE SURFACE OF THE CONCRETE
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ALL PANELS FITTING THE CRITERIA OF THIS SECTION
4. MAXIMUM 1/2" CLEAR COVER OF REINFORCEMENT
5. REBAR SHALL BE 1" CLEAR FROM ANY FORMS OR BARS
6. USE PROPER CHAIRS TO MAINTAIN 2" CLEAR FROM TOP OF PAVEMENT
7. DO NOT CONTRACT REINFORCEMENT THROUGH JOINTS
8. PRIOR TO CONCRETE PLACEMENT, LOCATION OF REINFORCED STEEL SHALL BE SPRAY PAINTED ON THE GROUND SUCH THAT REINFORCED STEEL SHALL NOT EXTEND INTO ADJACENT PANELS



BOLLARD CRACK CONTROL REINFORCEMENT
NOT TO SCALE

REVISIONS:			
NO.	DATE	DESCRIPTION	BY



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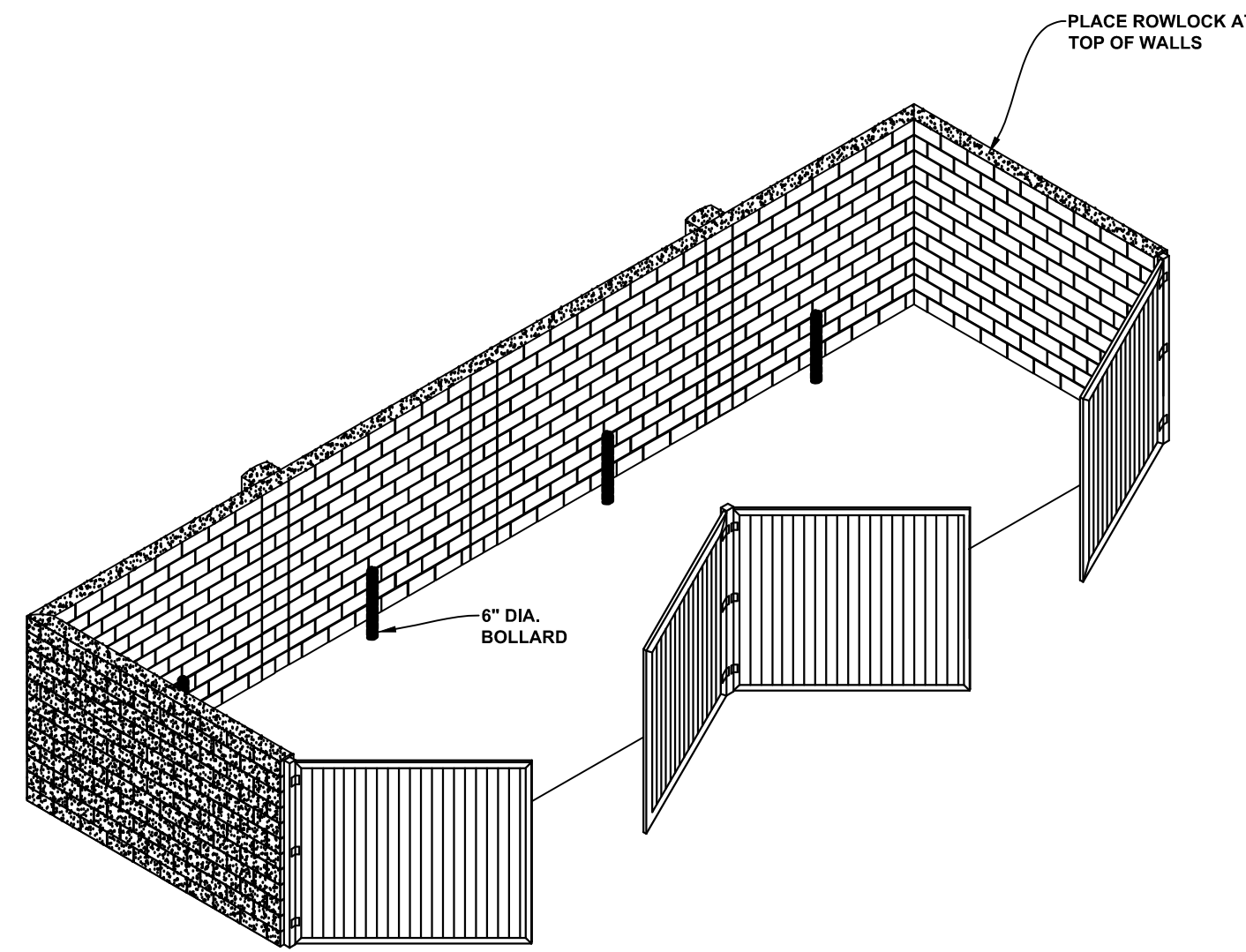
ingles
Markets Incorporated
STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER NC

PROPERTY INFORMATION:	
TAX MAP NUMBER:	9652316641
REFERENCE D.B. & PG:	DB 3396 PG 597
ADDITIONAL INFO:	
	9652314347 DB 3464 PG 102

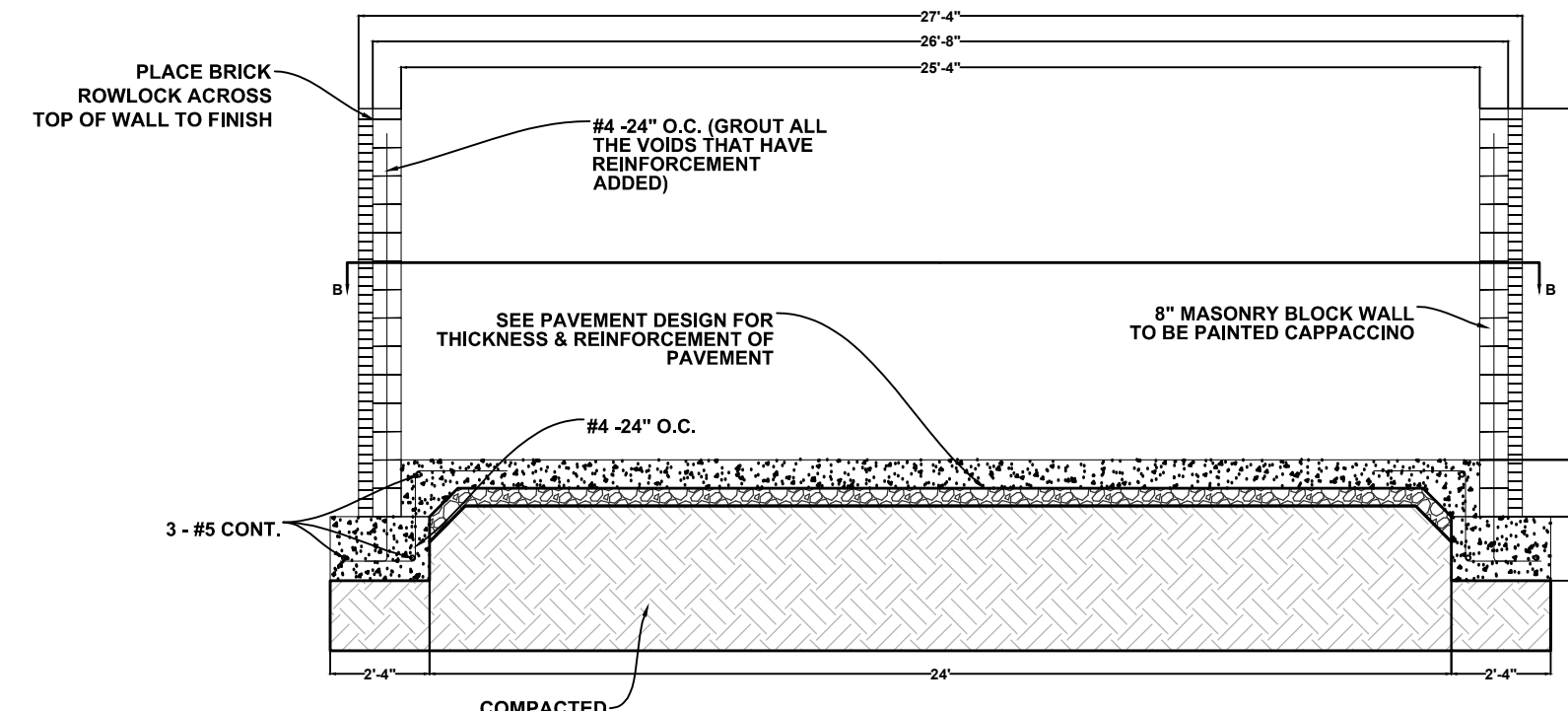
ISSUE FOR CONSTRUCTION:
PERMIT DATE:
BID DATE:

DRAWN BY:	PCB
DESIGN BY:	PCB
CHECKED BY:	JDC
DATE:	4/19/22
SCALE:	HORIZ. VERT.
JOB NUMBER:	21.018

DUMPSTER ENCLOSURE DETAILS
C-120
STORE #140
HENDERSONVILLE ROAD
FLETCHER NC



MASONRY BRICK DUMPSTER ENCLOSURE
DESIGN WIND SPEED: 130 M.P.H.
NOT TO SCALE

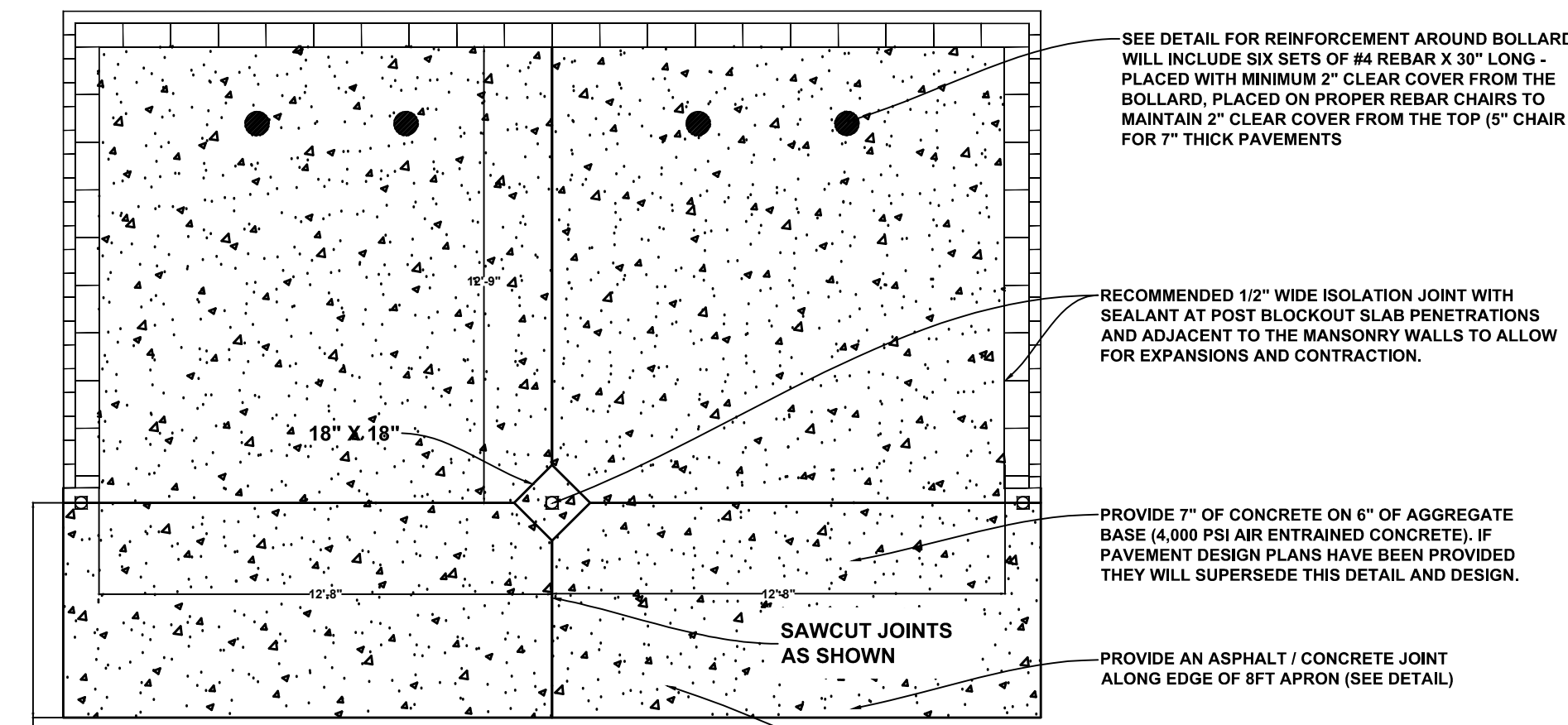


SECTION A
DUMPSTER FOUNDATION SECTION
NOT TO SCALE

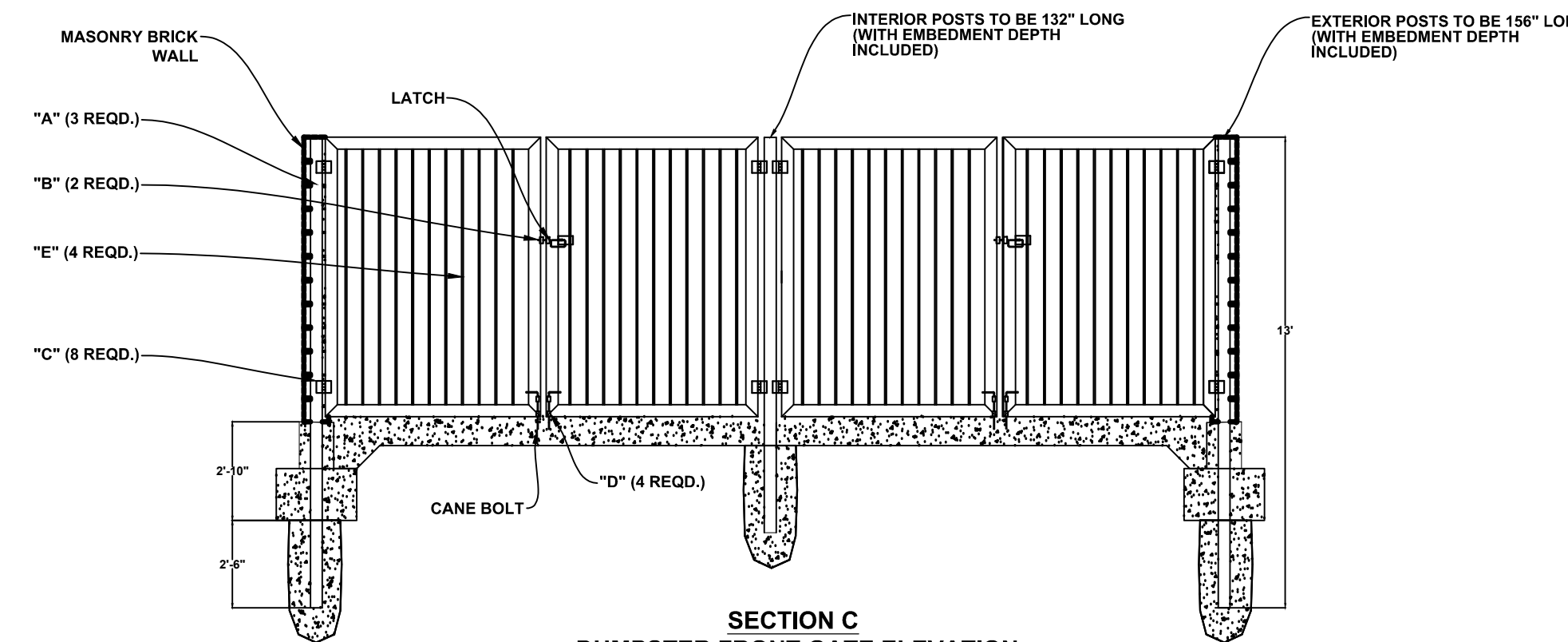
PREFABRICATED METAL GATE INFORMATION

- A - MOD. 800-GP 6" x 6" x 1/4" x 96" (156" TOTAL LENGTH WITH BURIAL) SQUARE STEEL GATE POSTS. (POWDER COATED)
- B - HEAVY DUTY LATCH & KEEPER HAND
- C - LIFTMASTER ELITE POWER HINGE 2 1/2 STEEL & 1/2 ALUMINUM GATE HINGE (2 EACH GATE PANEL)
- D - CANE BOLTS W/ KEEPERS
- E - BLACK ALUMINUM GATE PANEL (INGLES TO APPROVE)

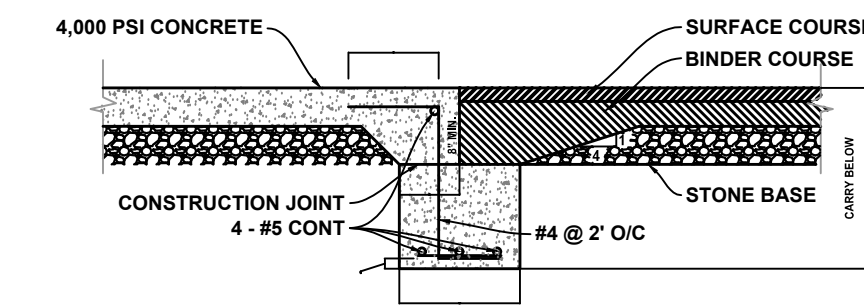
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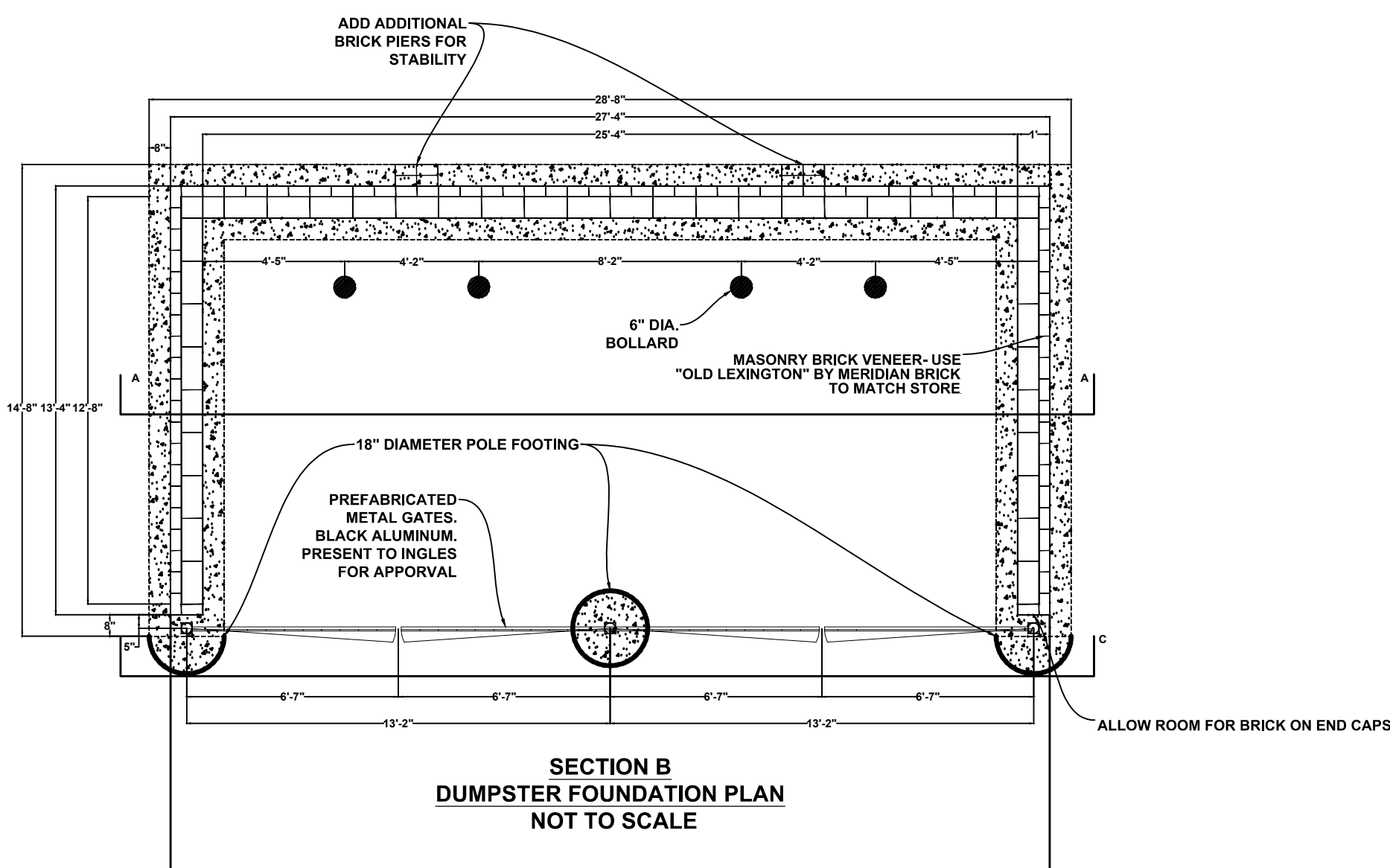
SECTION D
DUMPSTER CONCRETE DESIGN
NOT TO SCALE



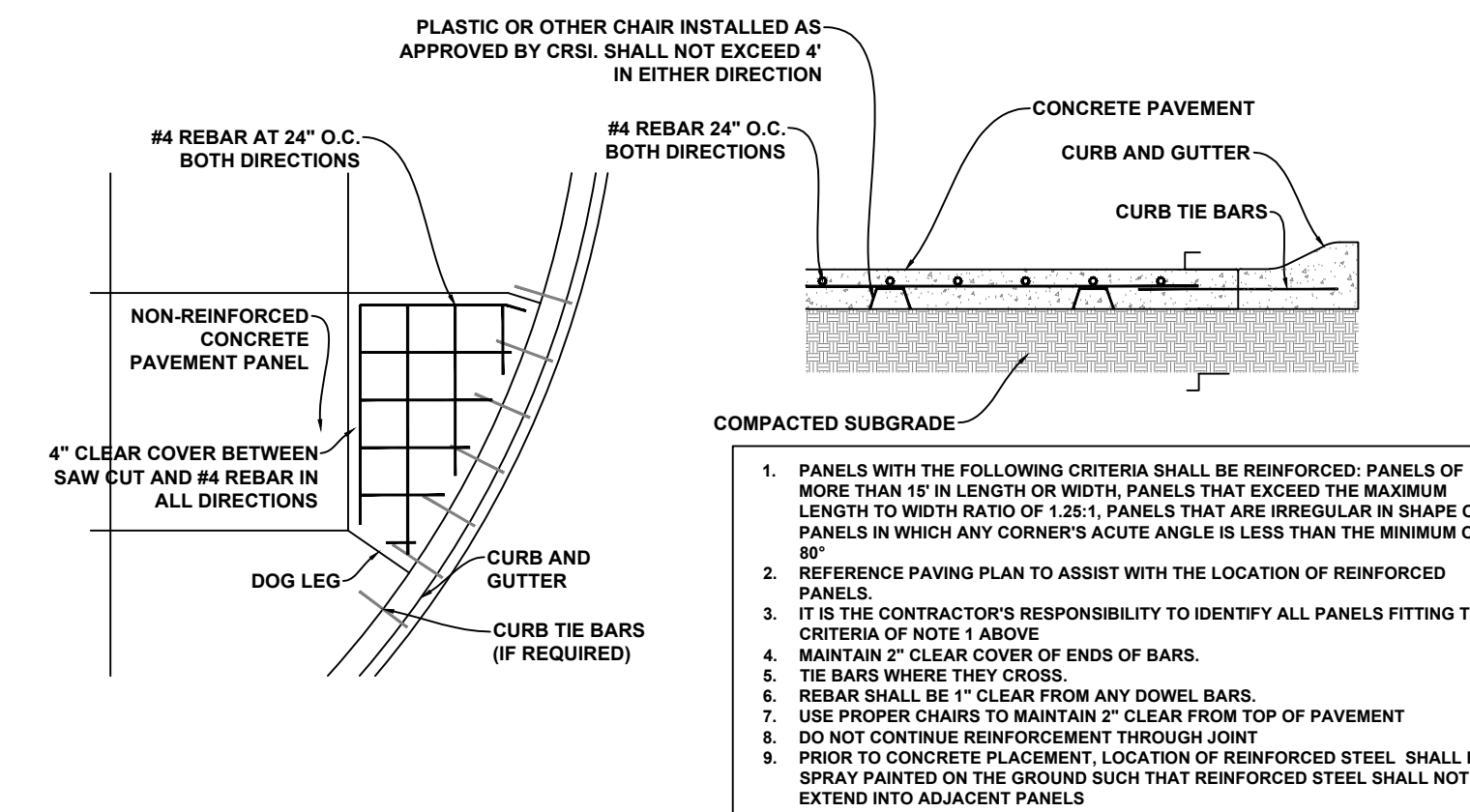
SECTION C
DUMPSTER FRONT GATE ELEVATION
NOT TO SCALE



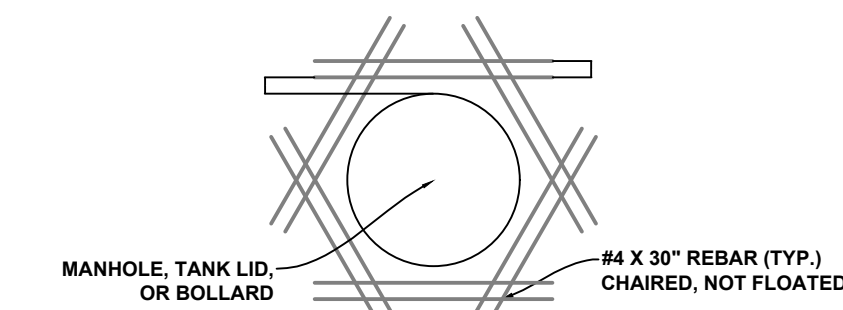
CONCRETE/ASPHALT JOINT DETAIL
(N.T.S.)



SECTION B
DUMPSTER FOUNDATION PLAN
NOT TO SCALE

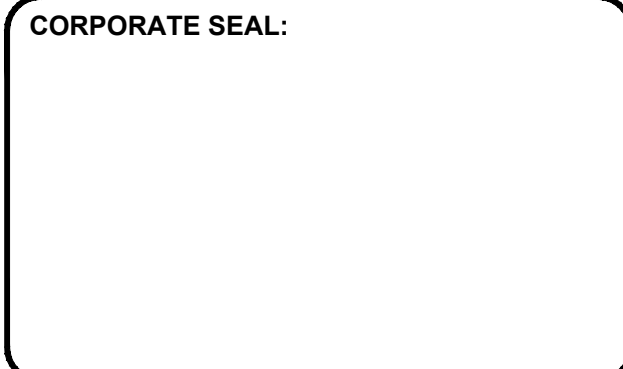
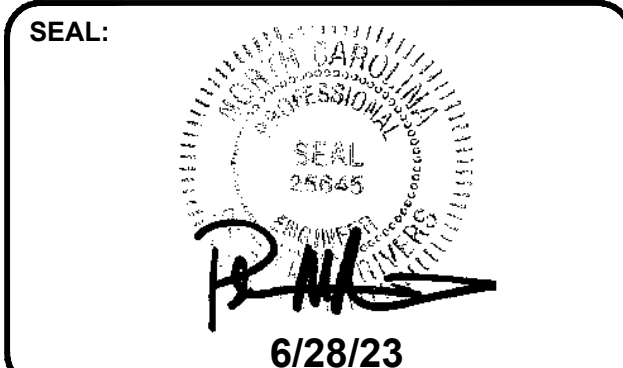


SURFACE CRACK CONTROL REINFORCEMENT (TYPICAL)
(N.T.S.)



BOLLARD CRACK CONTROL REINFORCEMENT
(N.T.S.)

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1	6/28/23	REVISED DETAILS PER INGLES	JDC



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FLETCHER NC

PROPERTY INFORMATION:
TAX MAP NUMBER: 9652316641, 9652316277
REFERENCE D.B. & PG: DB 3396 PG 597

ADDITIONAL INFO: 9652314347
DB 3464 PG 102

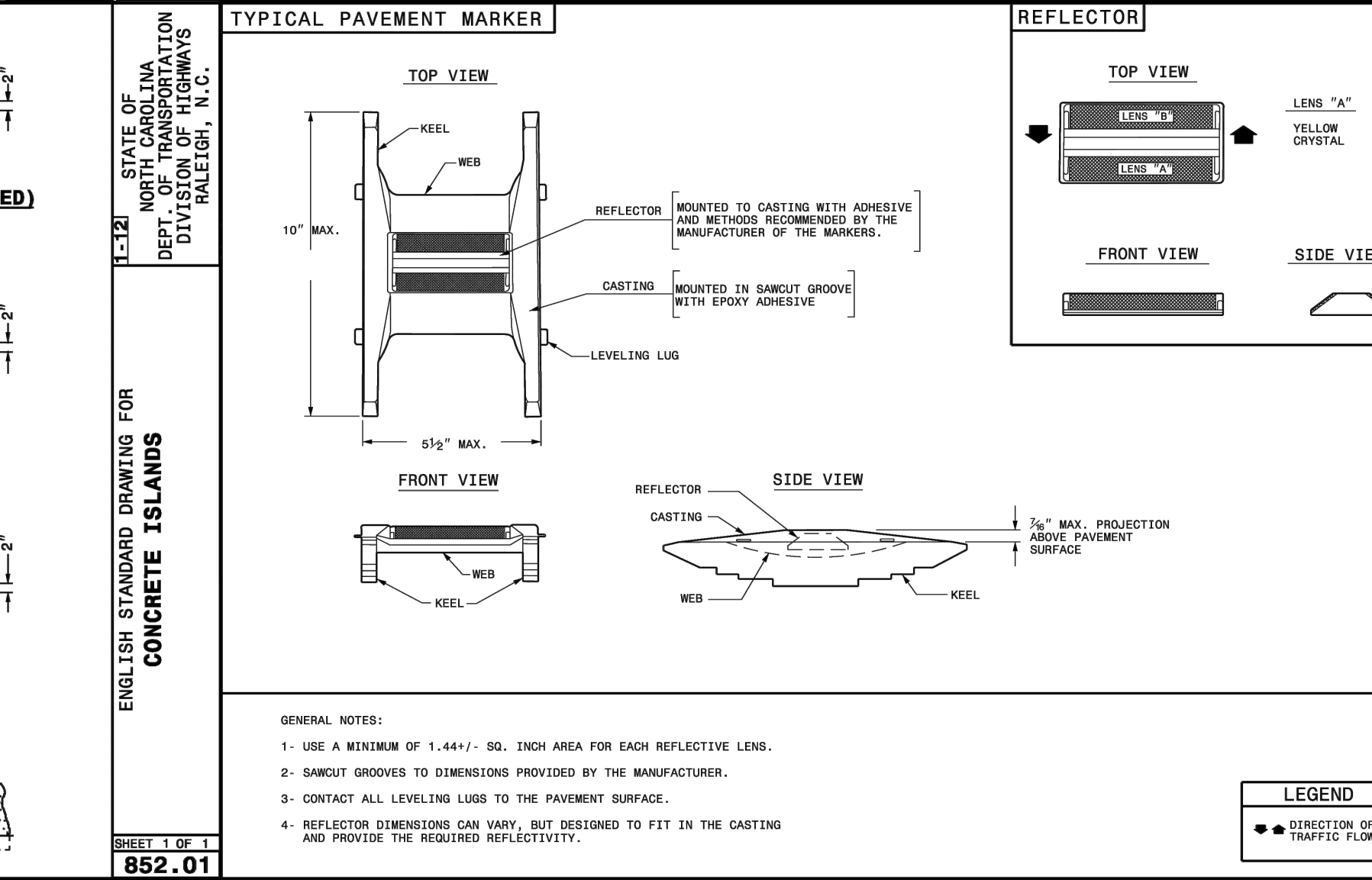
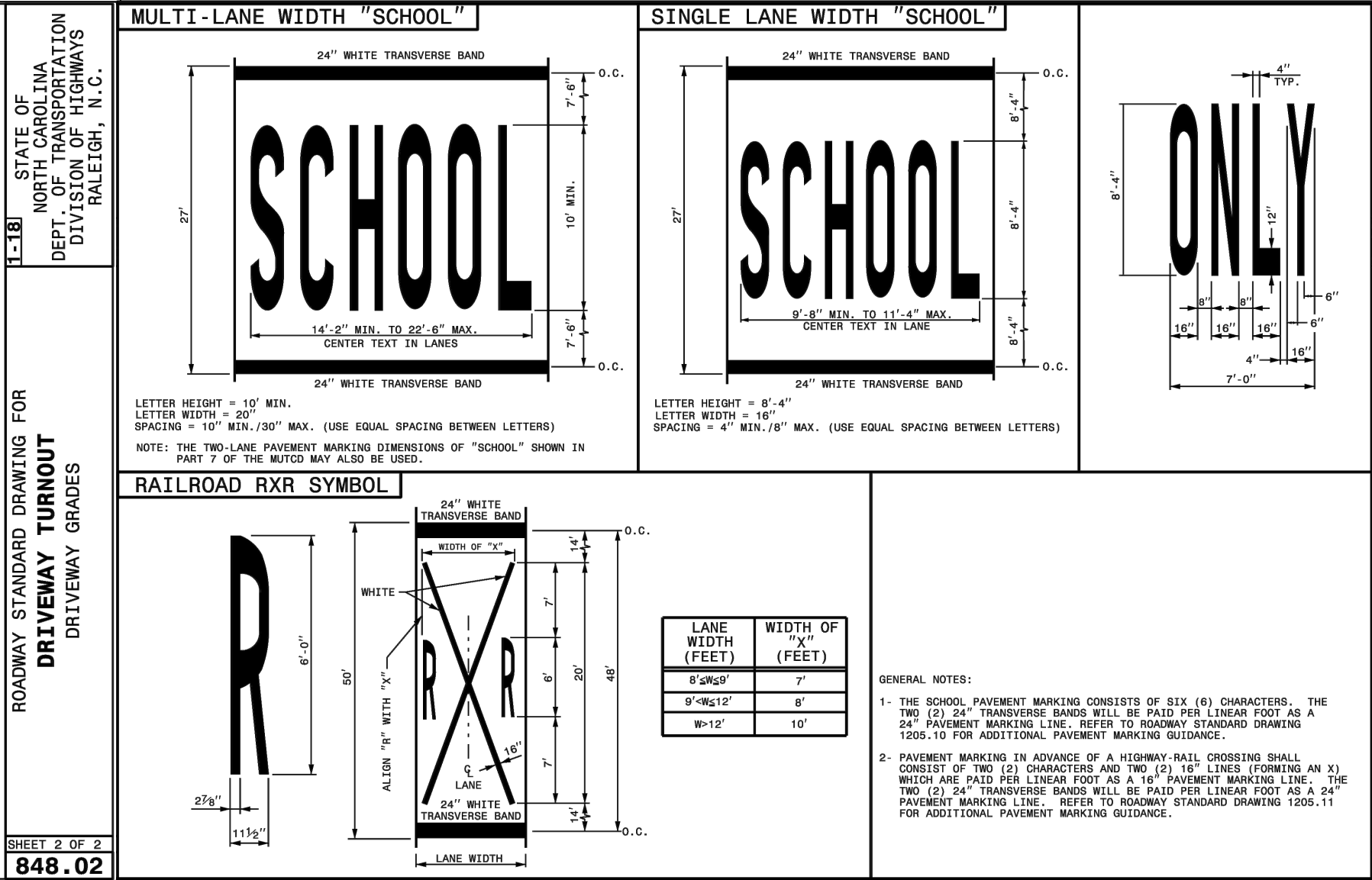
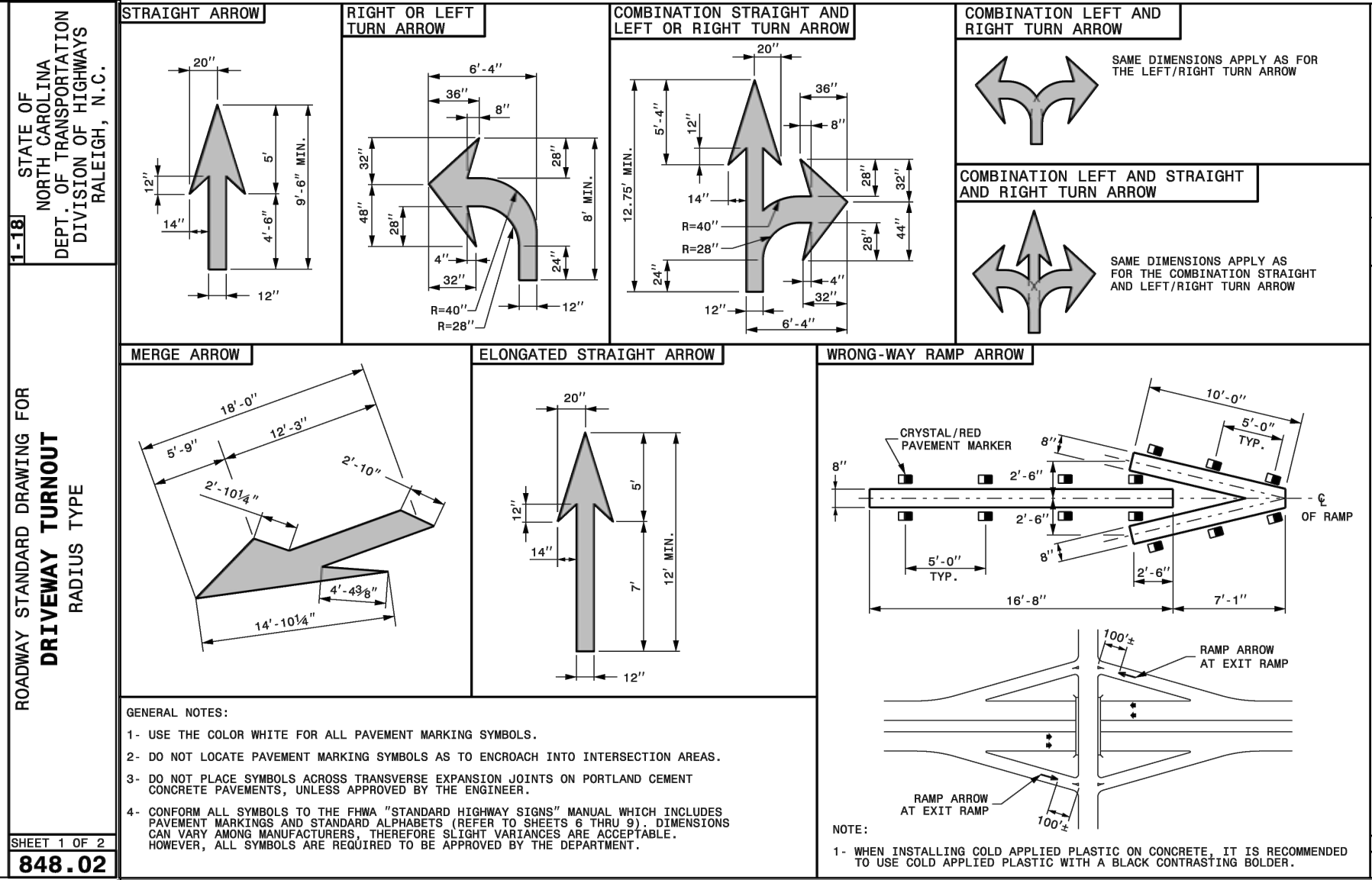
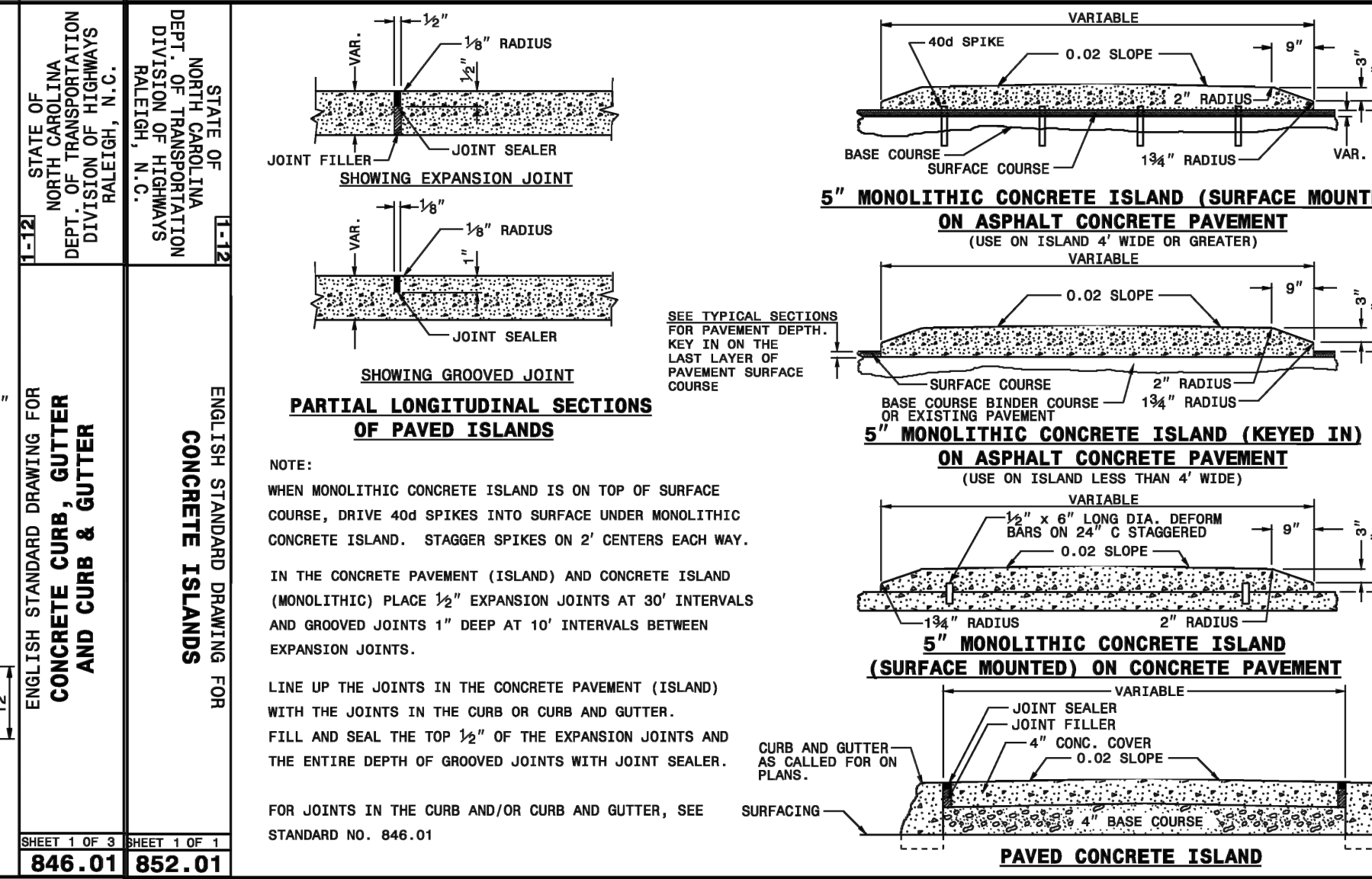
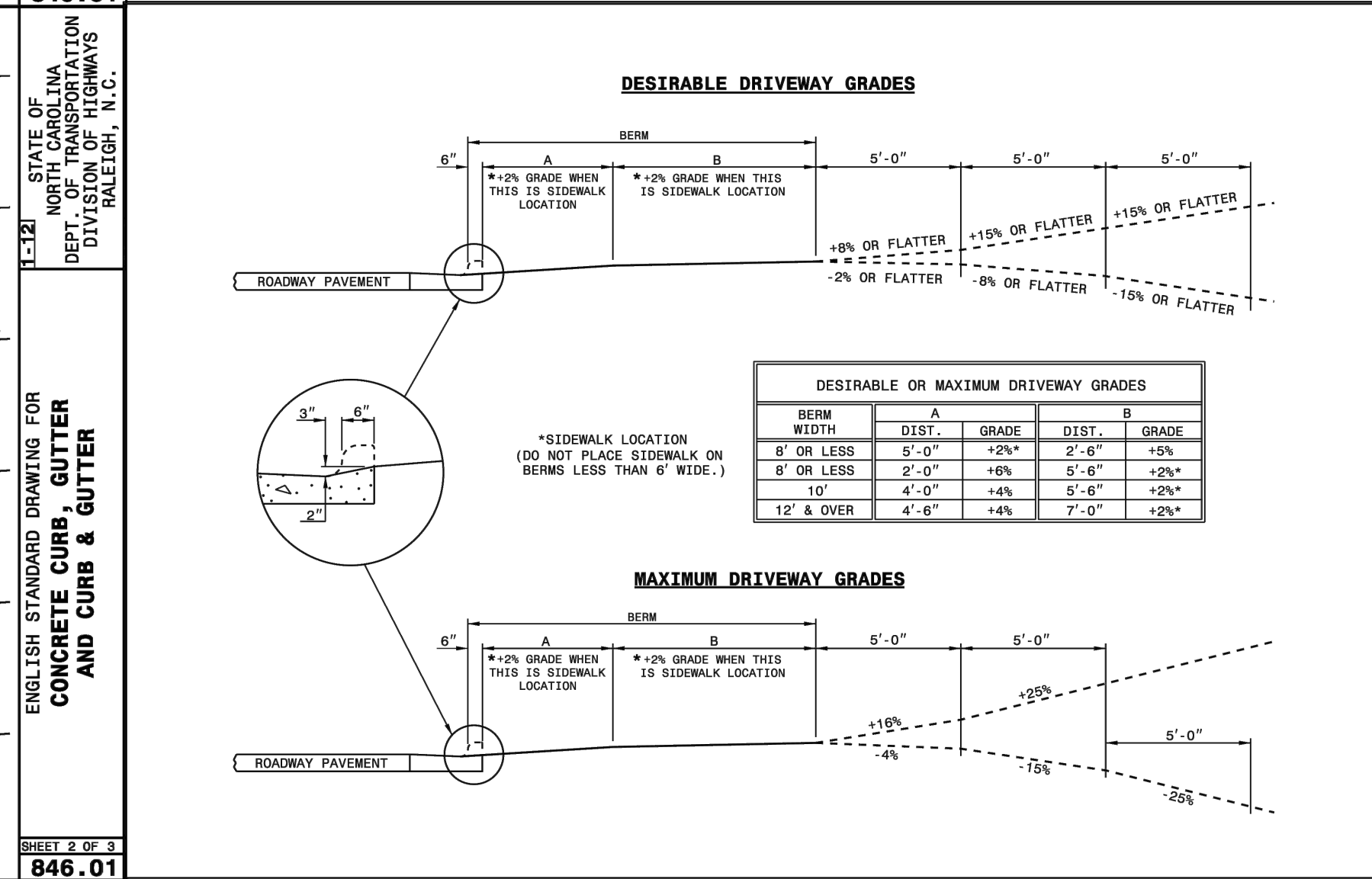
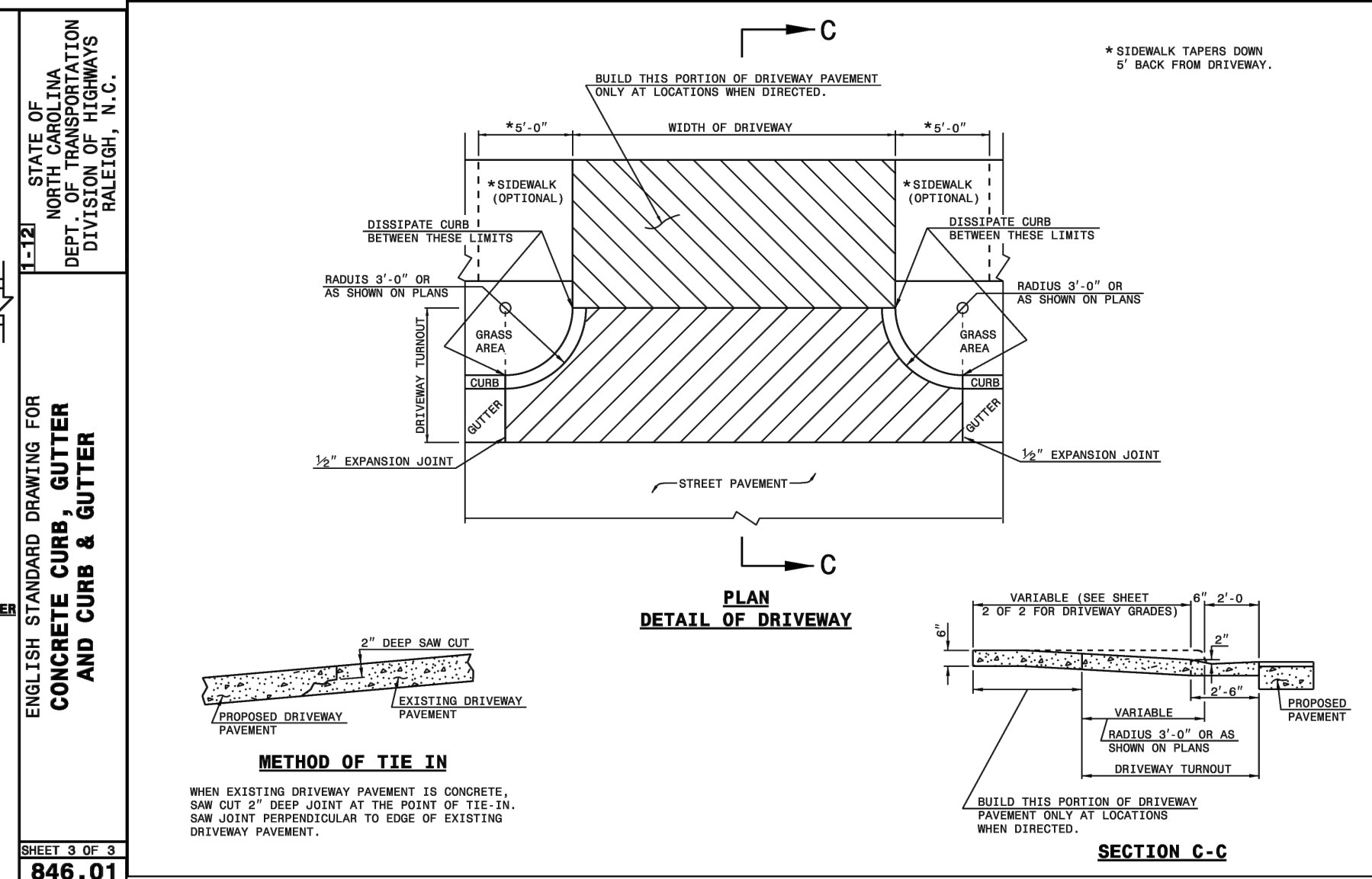
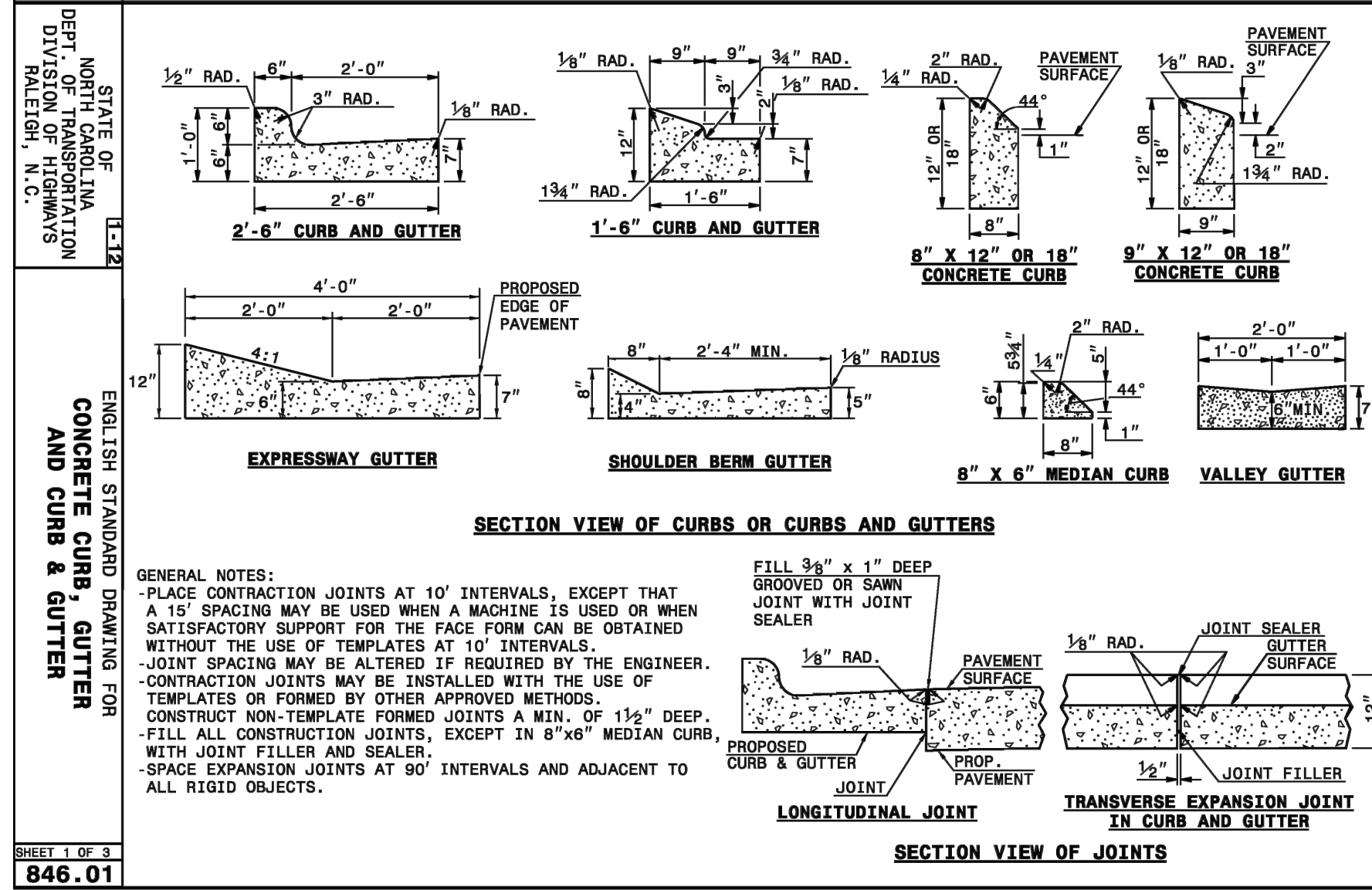
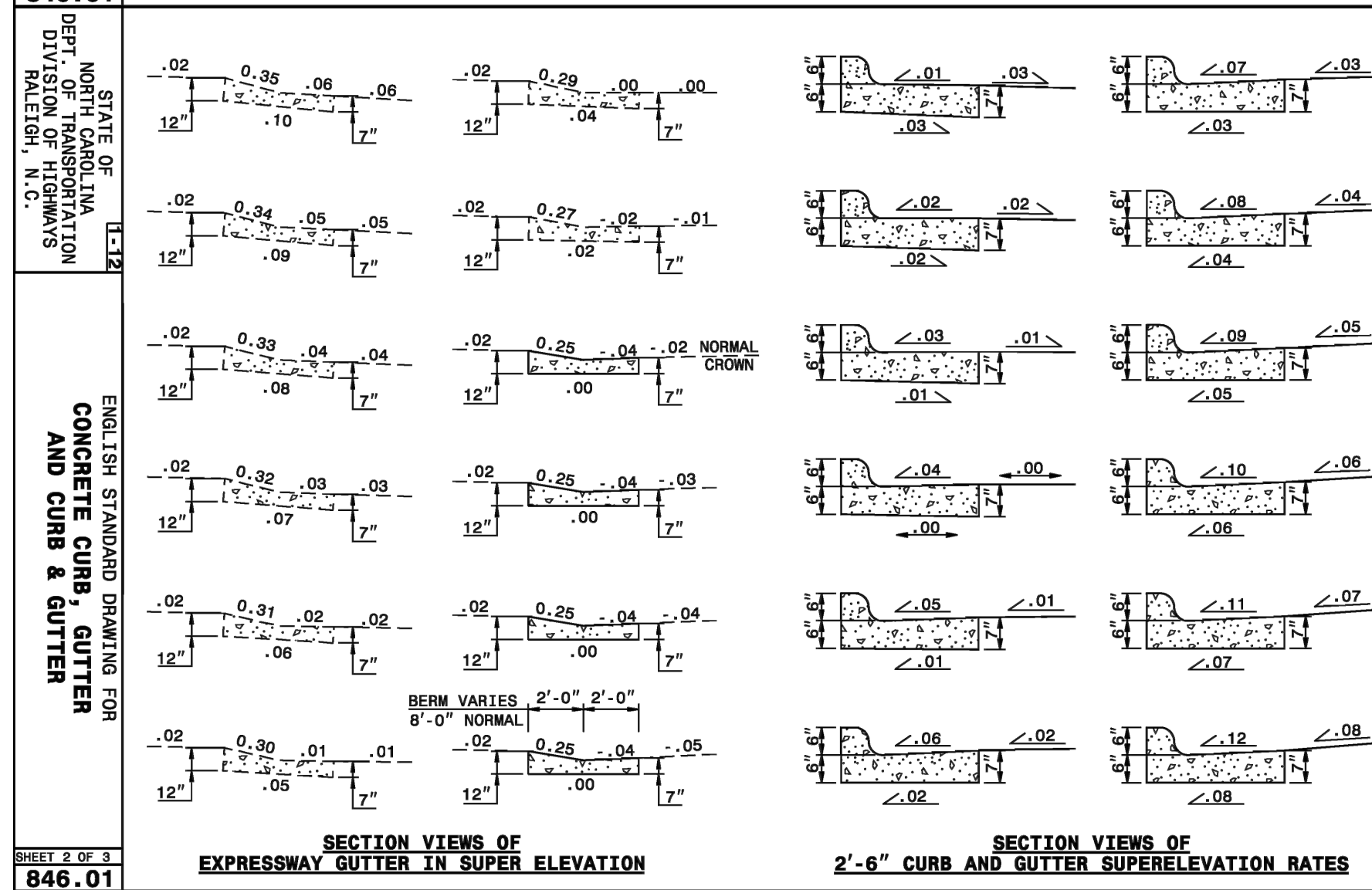
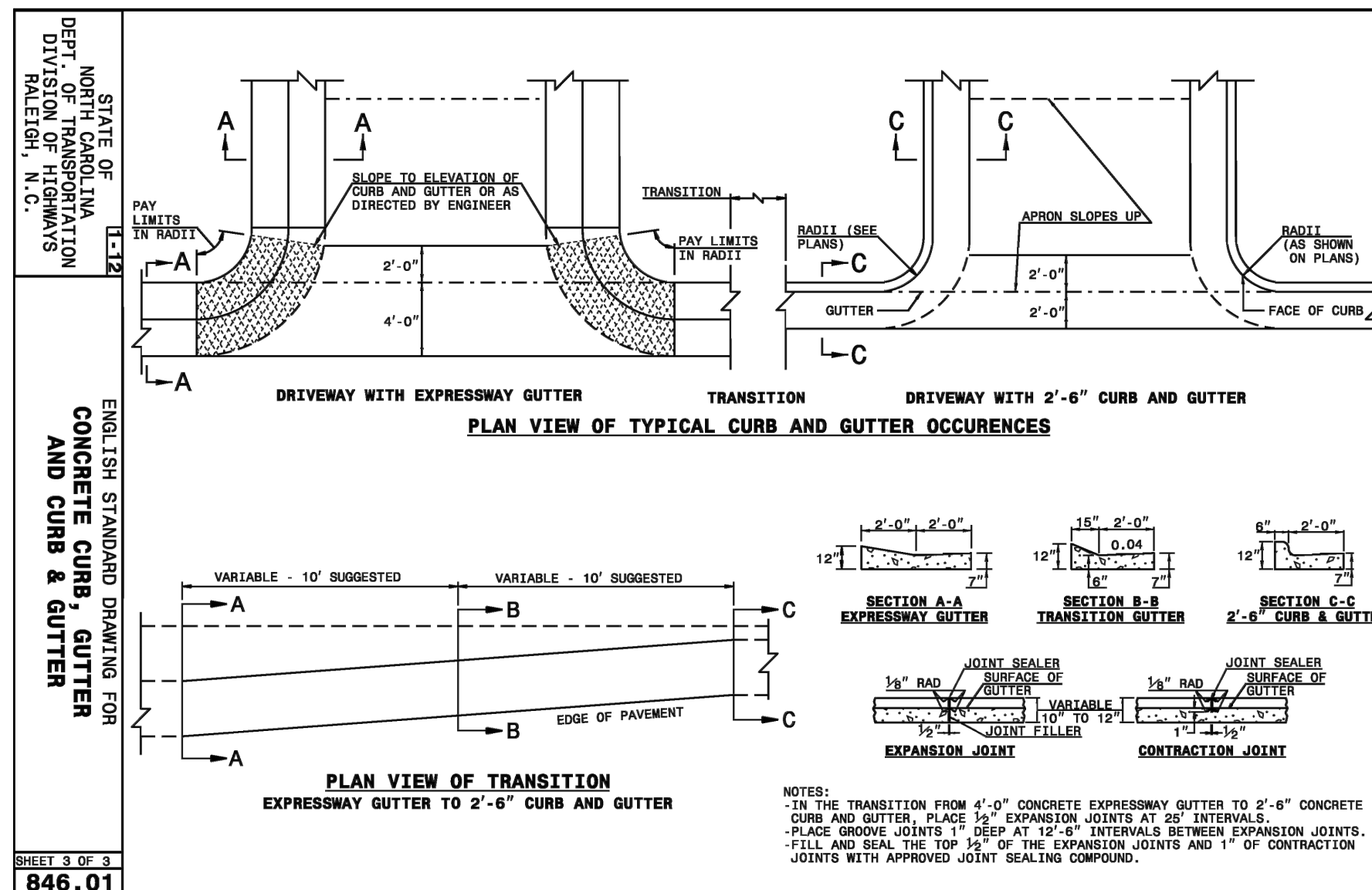
ISSUE FOR CONSTRUCTION:
PERMIT DATE:
BID DATE:

DRAWN BY: PCB
DESIGN BY: PCB
CHECKED BY: JDC
DATE: 4/19/22
SCALE: HORIZ. VERT.
JOB NUMBER: 21.018

DUMPSTER ENCLOSURE DETAILS

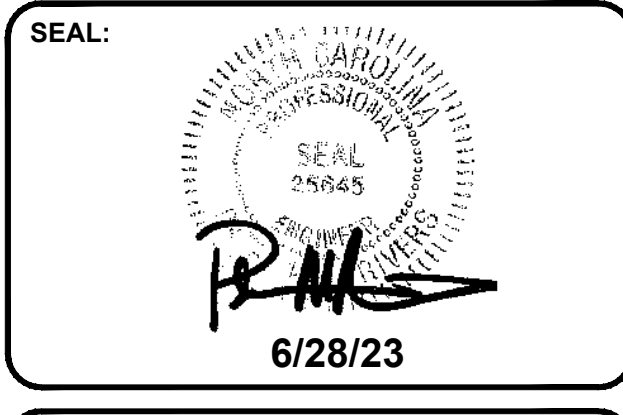
C-120
STORE #140
HENDERSONVILLE ROAD
FLETCHER NC

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 Jul 04, 2023 at 11:05 by jpb



REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	6/28/23	REVISED PER DOT COMMENTS	JDC



CORPORATE SEAL:

LAND PLANNING ASSOCIATES
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PROPERTY INFORMATION:
 TAX MAP NUMBER: 9652316641, 9652316277
 REFERENCE D.B. & PG: DB 3396 PG 597
 ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:
 PERMIT DATE:
 BID DATE:
 DRAWN BY: PCB
 DESIGN BY: PCB
 CHECKED BY: JDC
 DATE: 4/19/22
 SCALE: HORIZ. VERT.
 JOB NUMBER: 21.018

NCDOT
 DETAILS
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

P:\0118\18145_Fletcher, NC - King Auto\DWG\Civil Drawings\C-121 NCDOT DETAILS.dwg | Layout: C-121A NCDOT DETAILS |
 Jul.03.2023 11:41:10 by jpb

ROADWAY STANDARD DRAWING FOR CONCRETE OPEN THROAT CATCH BASIN 12" THRU 48" PIPE

NOTES: USE CLASS "B" CONCRETE THROUGHOUT. PROVIDE ALL CATCH BASINS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66. OPTIONAL CONSTRUCTION - MONOLITHIC POUR, 2" KEYWAY, OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER. USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB. IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00. FOR 6" TO 18" IN HEIGHT OR LESS USE 3" WALLS AND BOTTOM SLAB. ADJUST QUANTITIES ACCORDINGLY. CONSTRUCT WITH PIPE CROWNS MATCHING. INSTALL 2" WEEP HOLES AS DIRECTED BY THE ENGINEER. INSTALL STONE GRAINS, OF A MINIMUM OF 1 CUBIC FOOT OF NO. 78M STONE IN A POROUS FABRIC BAG OR HOOP, AT EACH WEEP HOLE OR AS DIRECTED BY THE ENGINEER. CHAMFER ALL EXPOSED CORNERS 1". INCREASE THE SIZE OF THE 6" OPENING TO 8" MAX. AS DIRECTED BY THE ENGINEER BY ADDING ABOVE THE WALL HEIGHT ABOVE THE TOP ELEVATION. ADJUST QUANTITIES ACCORDINGLY. DRAWING NOT TO SCALE.

DIMENSIONS OF BOX & PIPE		MIN. DIMENSIONS AND QUANTITIES FOR CONCRETE CATCH BASIN (BASED ON MIN. HEIGHT, H)		CUBIC YARDS		DEDUCTIONS FOR CONG. IN BOX		R.C.	
PIPE DIA.	SPAN	WIDTH	HEIGHT	NO. BARS	NO. BARS	NO. BARS	NO. BARS	NO. BARS	R.C.
12"	3'-0"	2'-0"	2'-0"	4	4	0.222	0.222	0.648	0.036
15"	3'-0"	2'-3"	2'-3"	4	4	0.222	0.222	0.648	0.036
18"	3'-0"	2'-6"	2'-6"	4	4	0.222	0.222	0.648	0.036
24"	3'-0"	2'-10"	2'-10"	4	4	0.222	0.222	0.648	0.036
30"	3'-0"	3'-4"	3'-4"	4	4	0.222	0.222	0.648	0.036
36"	3'-0"	3'-8"	3'-8"	4	4	0.222	0.222	0.648	0.036
42"	3'-0"	4'-2"	4'-2"	4	4	0.222	0.222	0.648	0.036
48"	3'-0"	4'-6"	4'-6"	4	4	0.222	0.222	0.648	0.036

SHEET 1 OF 2
840.04

ROADWAY STANDARD DRAWING FOR METHOD FOR PLACEMENT OF DROP INLETS IN CONCRETE ISLANDS

NOTES: REFER TO STD. NO. 840.14 AND 840.15 FOR DRAINAGE STRUCTURE. REFER TO STD. NO. 840.16 FOR GRATE AND FRAME.

SHEET 1 OF 1
852.06

ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS TWO-LANE AND MULTI-LANE ROADWAYS

GENERAL NOTES:
 1- EDGE LINES ARE NOT REQUIRED ALONG CURB AND GUTTER LOCATIONS.
 2- CONTINUE EDGE LINES THROUGH MINOR DRIVEWAYS. DO NOT CONTINUE EDGE LINES AT INTERSECTIONS AND MAJOR DRIVEWAYS. SEE ROADWAY STANDARD DRAWING 1205.05 FOR ADDITIONAL GUIDANCE.
 3- REFER TO ROADWAY STANDARD DRAWINGS 1205.01 AND 1205.08 FOR ADDITIONAL PAVEMENT MARKING GUIDANCE.

LEGEND
 W = WIDTH OF TRAVEL LANE
 E.O.T. = EDGE OF TRAVEL
 - - - - - TRAFFIC FLOW
 - - - - - PAVEMENT MARKING SYMBOL

SHEET 1 OF 2
1205.02

ROADWAY STANDARD DRAWING FOR CONCRETE DROP INLET 12" THRU 30" PIPE

GENERAL NOTES: USE CLASS "B" CONCRETE THROUGHOUT. PROVIDE ALL DROP INLETS OVER 3'-6" IN DEPTH WITH STEPS 12" ON CENTER. USE STEPS WHICH COMPLY WITH STD. DRAWING 840.66. OPTIONAL CONSTRUCTION - MONOLITHIC POUR, 2" KEYWAY OR #4 BAR DOMELS AT 12" CENTERS AS DIRECTED BY THE ENGINEER. USE FORMS FOR THE CONSTRUCTION OF THE BOTTOM SLAB. IF REINFORCED CONCRETE PIPE IS SET IN BOTTOM SLAB OF BOX, ADD TO SLAB AS SHOWN ON STD. NO. 840.00. CONSTRUCT WITH PIPE CROWNS MATCHING. SEE STANDARD DRAWING 840.25 FOR ATTACHMENT OF FRAMES AND GRATES NOT SHOWN. INSTALL 2" WEEP HOLES AS DIRECTED BY THE ENGINEER. INSTALL STONE GRAINS, OF A MINIMUM OF 1 CUBIC FOOT OF NO. 78M STONE IN A POROUS FABRIC BAG OR HOOP, AT EACH WEEP HOLE OR AS DIRECTED BY THE ENGINEER. CHAMFER ALL EXPOSED CORNERS 1". DRAWING NOT TO SCALE.

DIMENSIONS OF BOX & PIPE		MIN. DIMENSIONS AND QUANTITIES FOR CONCRETE CATCH BASIN (BASED ON MIN. HEIGHT, H)		CUBIC YARDS		DEDUCTIONS FOR CONG. IN BOX		R.C.	
PIPE DIA.	SPAN	WIDTH	HEIGHT	NO. BARS	NO. BARS	NO. BARS	NO. BARS	NO. BARS	R.C.
12"	3'-0"	2'-0"	2'-0"	4	4	0.222	0.222	0.648	0.036
15"	3'-0"	2'-3"	2'-3"	4	4	0.222	0.222	0.648	0.036
18"	3'-0"	2'-6"	2'-6"	4	4	0.222	0.222	0.648	0.036
24"	3'-0"	2'-10"	2'-10"	4	4	0.222	0.222	0.648	0.036
30"	3'-0"	3'-4"	3'-4"	4	4	0.222	0.222	0.648	0.036

SHEET 1 OF 1
840.14

ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS LINE TYPES AND OFFSETS

GENERAL NOTES:
 1- USE 6" LANE, EDGE, AND CENTER LINES ON ALL FULL CONTROL OF ACCESS FACILITIES AND OTHER ROADS AS DIRECTED BY THE ENGINEER.
 2- LANE LINES INDICATED AS "WIDE" ON THE ROADWAY STANDARD DRAWINGS SHALL BE AT LEAST TWICE THE WIDTH OF THE NORMAL LINE.
 3- GORE LINES SHALL BE TWICE THE WIDTH OF THE NORMAL LINE.

SHEET 1 OF 2
1205.01

ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS INTERSECTIONS

GENERAL NOTES:
 1- PLACEMENT OF STOP BARS AT NON-SIGNALIZED INTERSECTIONS IS OPTIONAL AND USED WHERE IT IS IMPORTANT TO INDICATE THE POINT WHICH VEHICLES ARE REQUIRED TO STOP. PLACE STOP BARS NO LESS THAN 4 FEET AND NO MORE THAN 30 FEET FROM THE NEAREST EDGE OF THE INTERSECTING ROADWAY. USE 10 FEET AS THE TYPICAL SETBACK DISTANCE OR AS DIRECTED BY THE ENGINEER.
 2- MINI-SKIP LANE LINE EXTENSIONS SHOULD BE USED AT INTERSECTIONS THAT HAVE REDUCED VISIBILITY CONDITIONS SUCH AS OFFSET, SKINNY, OR CURVED ROADWAYS.
 3- MINI-SKIP EDGE LINE EXTENSIONS MAY BE PLACED THROUGH INTERSECTIONS AND MAJOR DRIVEWAYS.
 4- REFER TO ROADWAY STANDARD DRAWINGS 1205.01, 1205.02, 1205.05, 1205.08 AND 1205.09 FOR ADDITIONAL PAVEMENT MARKING GUIDANCE.

LEGEND
 STOP SIGN
 STATIONARY SIGN
 - - - - - DIRECTION OF TRAFFIC FLOW
 - - - - - PAVEMENT MARKING SYMBOLS
 - - - - - OPTIONAL

SHEET 2 OF 2
1205.04

ROADWAY STANDARD DRAWING FOR DROP INLET FRAME AND GRATES FOR USE WITH STD. DWG.S 840.14 AND 840.15

SHEET 1 OF 1
840.16

ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS LINE TYPES AND OFFSETS

TABLE 1
 EDGE LINE OFFSETS FOR 2-LANE, 2-WAY ROADWAYS WITH UNPAVED SHOULDERS

WIDTH (W) OF TRAVEL LANE (FT.)	MAX. EDGE LINE OFFSET FROM E.O.T. (FT.)	MINIMUM LANE WIDTH (W) (FT.)
10'	2'	9'
12'	2'	10'
14'	2'	11'
16'	2'	12'
18'	2'	13'
20'	2'	14'
22'	2'	15'
24'	2'	16'
26'	2'	17'
28'	2'	18'
30'	2'	19'
32'	2'	20'

LEGEND
 W = WIDTH OF TRAVEL LANE
 E.O.T. = EDGE OF TRAVEL
 - - - - - DIRECTION OF TRAFFIC FLOW

SHEET 2 OF 2
1205.01

ROADWAY STANDARD DRAWING FOR PAVEMENT MARKINGS TURN LANES

GENERAL NOTES:
 1- USE THE GUIDANCE SHOWN ABOVE IN CONJUNCTION WITH THE INTERSECTION GUIDANCE SHOWN ON ROADWAY STANDARD DRAWING 1205.04.
 2- THE NUMBER OF ARROWS SHOWN IS THE MINIMUM REQUIRED. USE ADDITIONAL ARROWS AS DIRECTED BY THE ENGINEER.

LEGEND
 PAVEMENT MARKING SYMBOL

SHEET 1 OF 1
1205.05

REVISIONS:

NO.	DATE	DESCRIPTION	BY

SEAL:

6/28/23

CORPORATE SEAL:

LAND PLANNING ASSOCIATES
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 REFERENCE D.B. & PG: DB 3396 PG 597

ADDITIONAL INFO:
 9652314347
 DB 3464 PG 102

ISSUE FOR CONSTRUCTION:

PERMIT DATE:
 BID DATE:

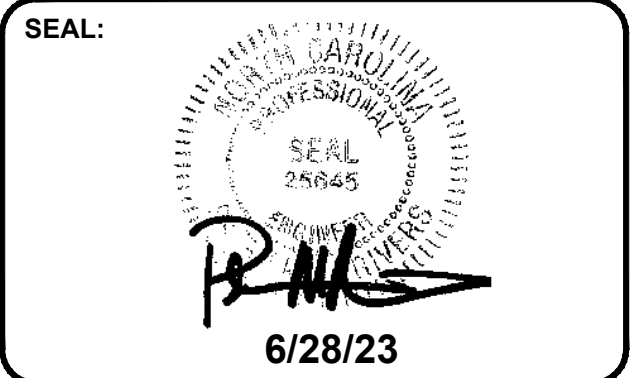
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 DESIGN BY: PCB
 CHECKED BY: JDC

DATE: 6/28/23
 SCALE: HORIZ. VERT.
 JOB NUMBER: 21.018

NCDOT DETAILS

C-121A
 STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

REVISIONS:			
NO.	DATE	DESCRIPTION	BY



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ADDITIONAL INFO:	
	9652314347 DB 3464 PG 102

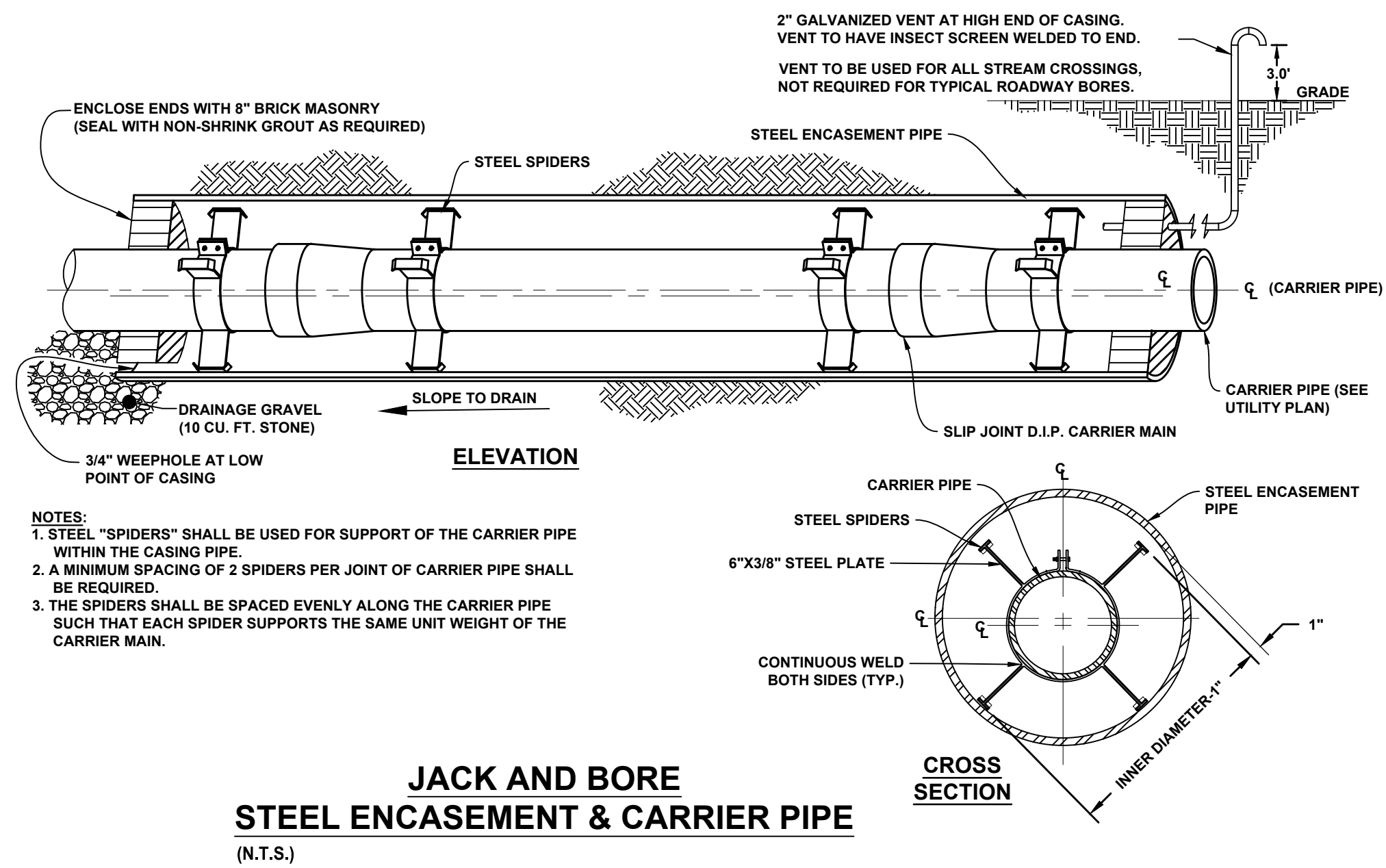
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PERMIT DATE:	
BID DATE:	

DRAWN BY:	PCB
DESIGN BY:	PCB
CHECKED BY:	JDC
DATE:	6/28/23
SCALE:	HORIZ. VERT.
JOB NUMBER:	21.018

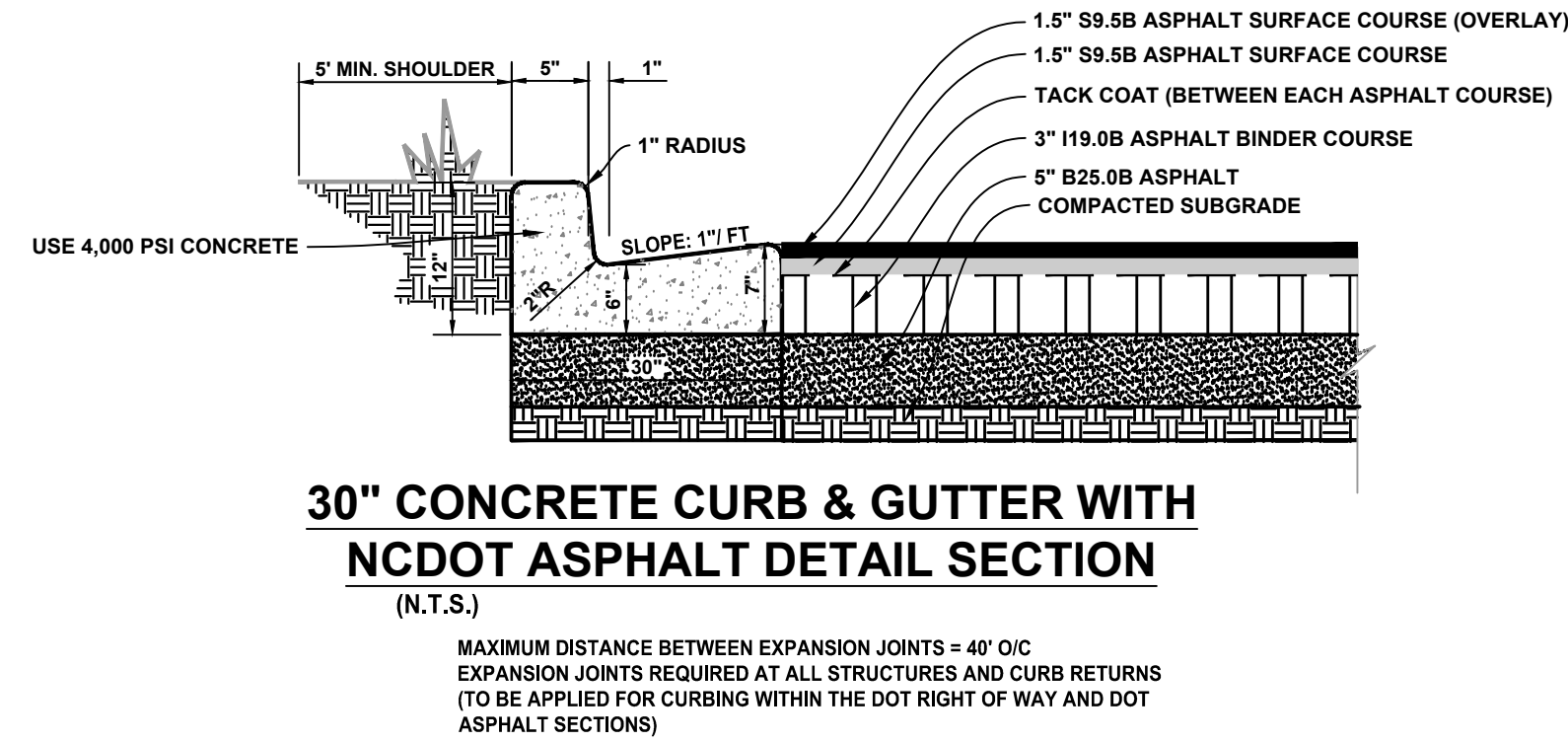
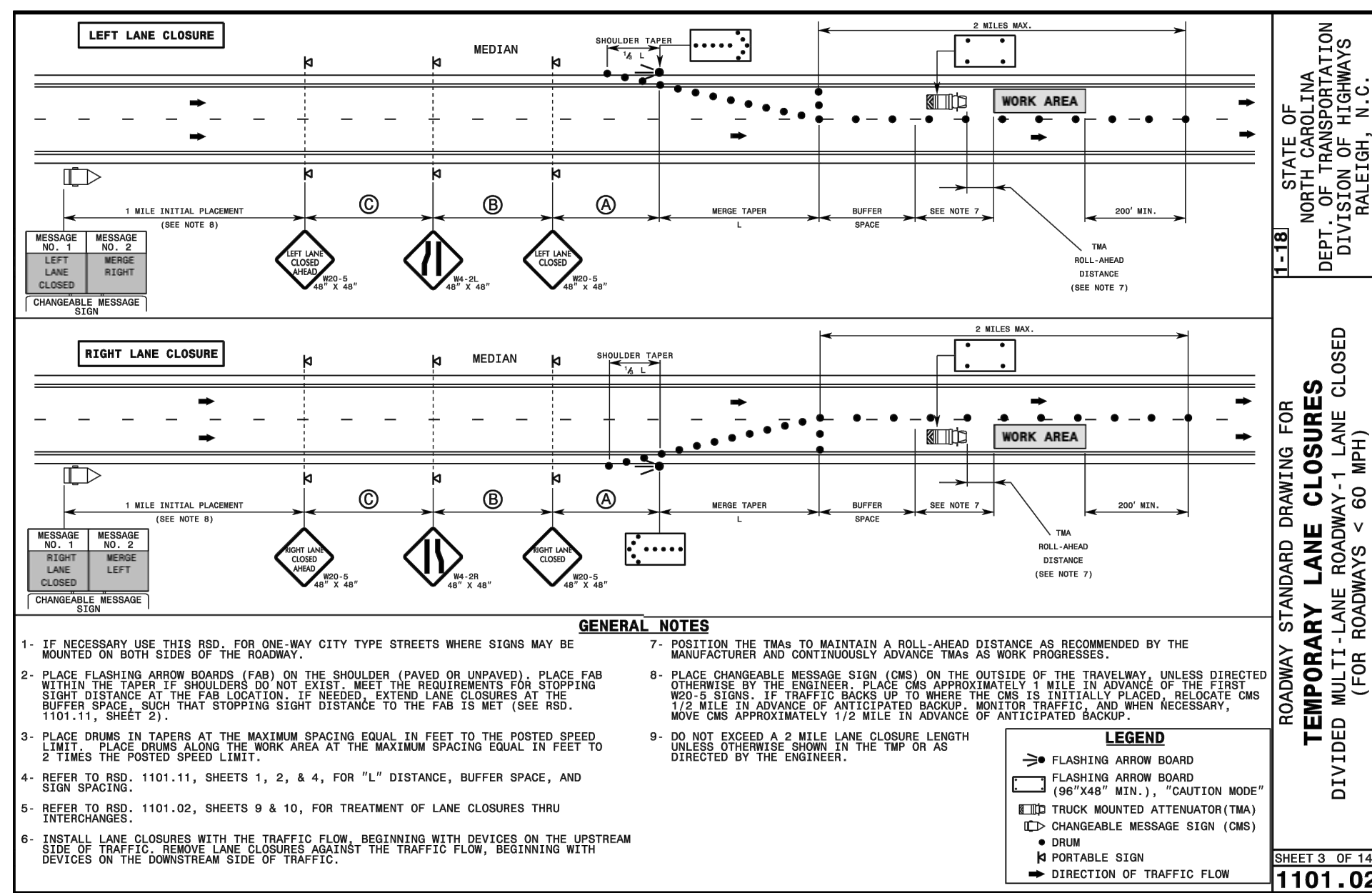
**NCDOT
 DETAILS**

C-121B

STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

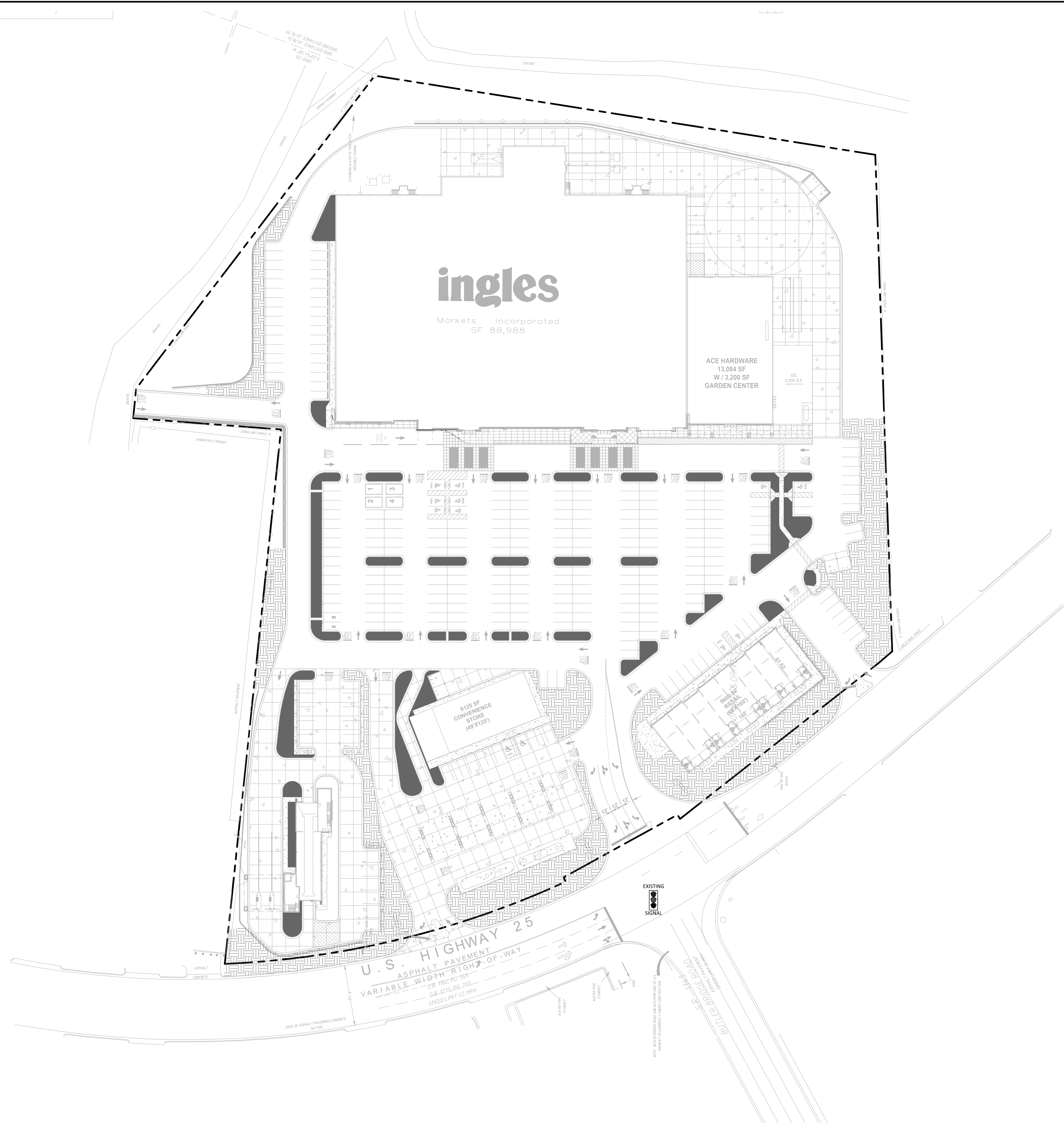


**JACK AND BORE
 STEEL ENCASEMENT & CARRIER PIPE**
 (N.T.S.)



**30" CONCRETE CURB & GUTTER WITH
 NCDOT ASPHALT DETAIL SECTION**
 (N.T.S.)

P:\01 C-122 Topsoil\Drawings\C-122 TOPSOIL PLAN.dwg | Layout C-122 TOPSOIL
 Aug 26, 2022 at 9:12 by samw



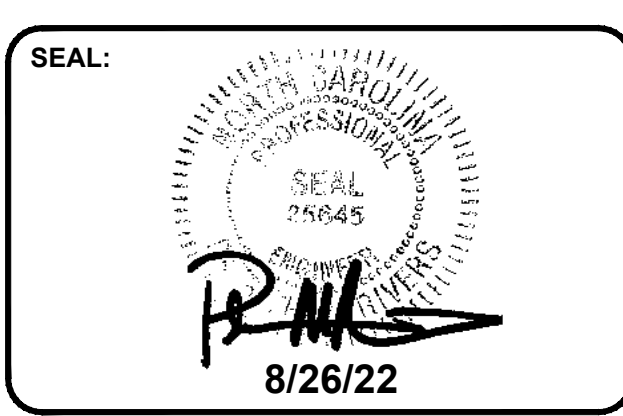
ISLAND AREAS TO RECEIVE TOPSOIL
 LAWN AREAS TO RECEIVE TOPSOIL

ISLAND AREAS = 15,387 SQFT
 LAWN AREAS = 42,692 SQFT
 TOTAL AREA = 57,543 SQFT

SHADED AREAS IN ISLANDS TO RECEIVE 6"
 OF TOPSOIL AND LAWN AREAS TO RECEIVE
 4" OF TOPSOIL.

GRAPHIC SCALE (HORIZONTAL) 1 inch = 50 feet

REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED PER SITE CHANGES	SCW



CORPORATE SEAL:

LAND PLANNING ASSOCIATES
 CIVIL ENGINEERING

DBA
 LAND PLANNING ASSOCIATES OF NC, INC.
 110 WEST 1ST AVENUE - SUITE A
 EASLEY, SC 29640
 864.242.6072
 design@lpa-inc.net

ingles
 Markets Incorporated
STORE #140
 5620 HENDERSONVILLE ROAD
 FLETCHER NC

PROPERTY INFORMATION:	
TAX MAP NUMBER:	9652316641, 9652316277
REFERENCE D.B. & PG:	DB 3396 PG 597
ADDITIONAL INFO:	9652314347 DG 3464 PG 102

ISSUE FOR CONSTRUCTION:	
PERMIT DATE:	
BID DATE:	

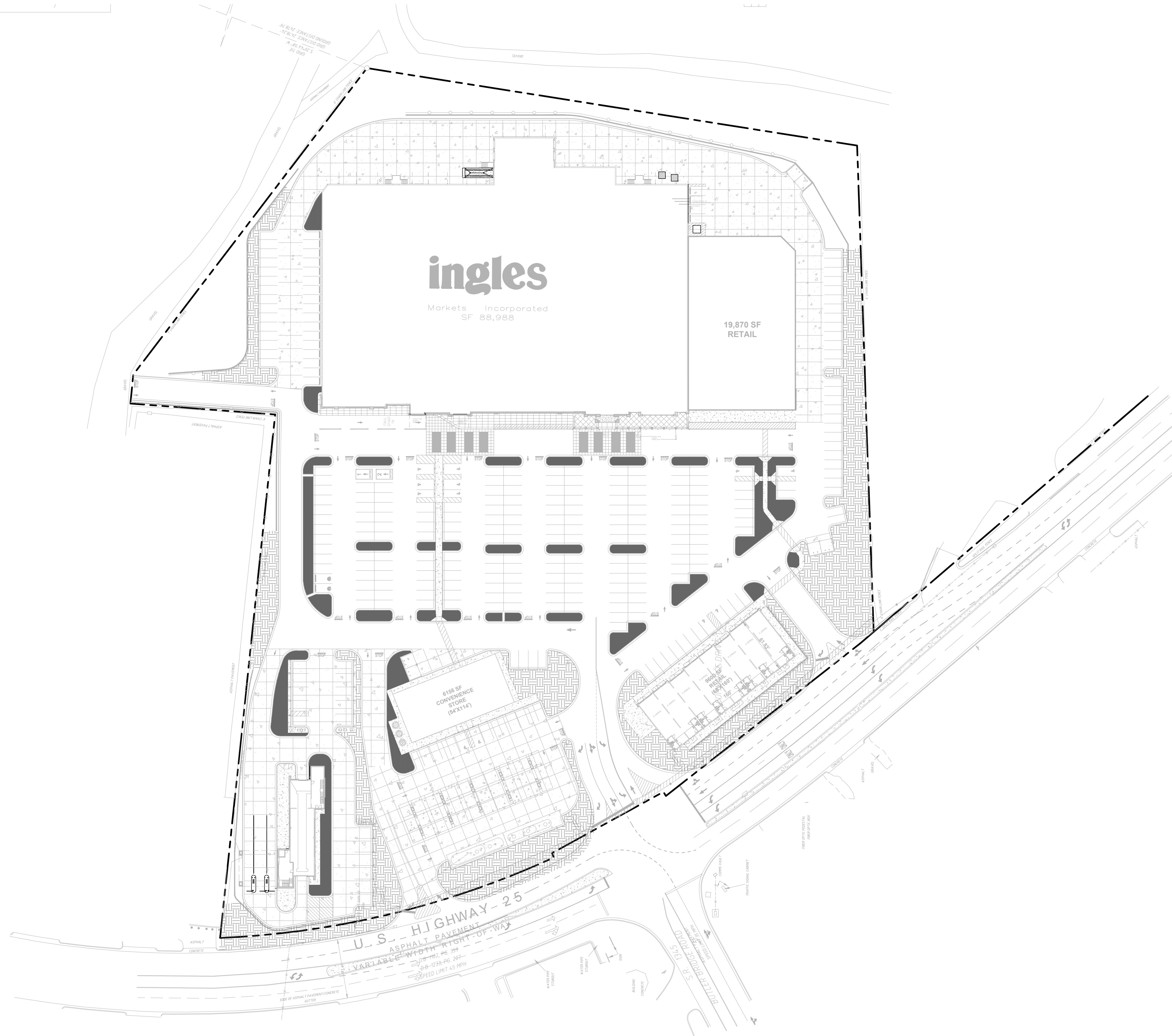
DRAWN BY:	SCW
DESIGN BY:	JDC
CHECKED BY:	PMR
DATE:	4/19/22
SCALE:	HORIZ. 1" = 50' VERT.
JOB NUMBER:	21.018



TOPSOIL PLAN

C-122

STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

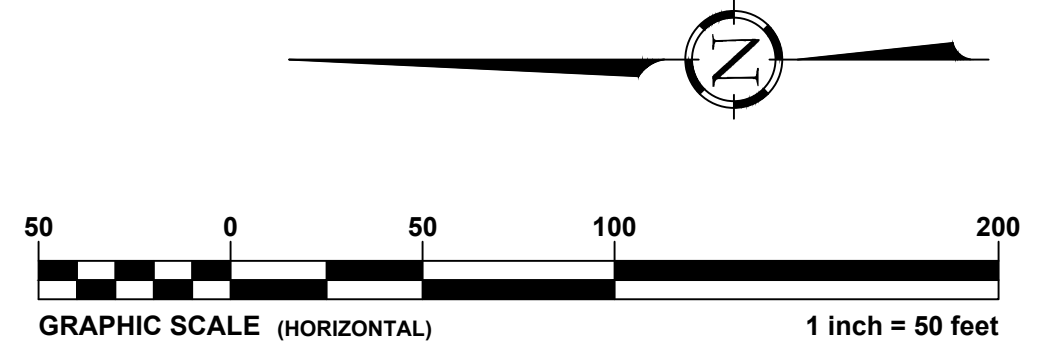
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 Jul 03, 2023 at 14:55 by jahn



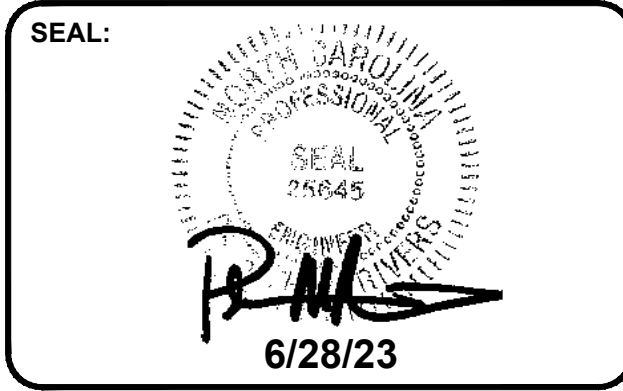
 ISLAND AREAS TO RECEIVE TOPSOIL
 LAWN AREAS TO RECEIVE TOPSOIL

ISLAND AREAS = 14,953 SQFT
 LAWN AREAS = 44,171 SQFT
 TOTAL AREA = 59,124 SQFT

SHADED AREAS IN ISLANDS TO RECEIVE 6"
 OF TOPSOIL AND LAWN AREAS TO RECEIVE
 4" OF TOPSOIL.



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	8/26/22	REVISED PER SITE CHANGES	SCW
2	6/28/23	REVISED PER SITE CHANGES	PCB



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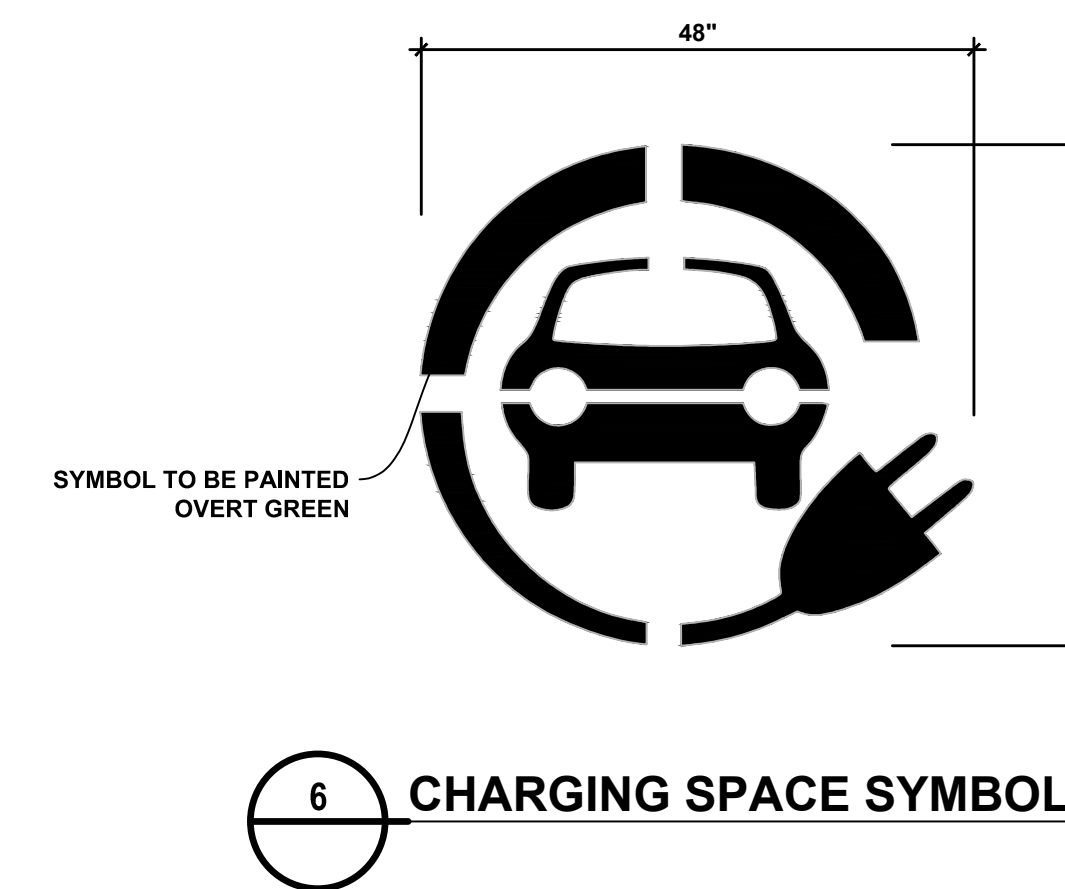
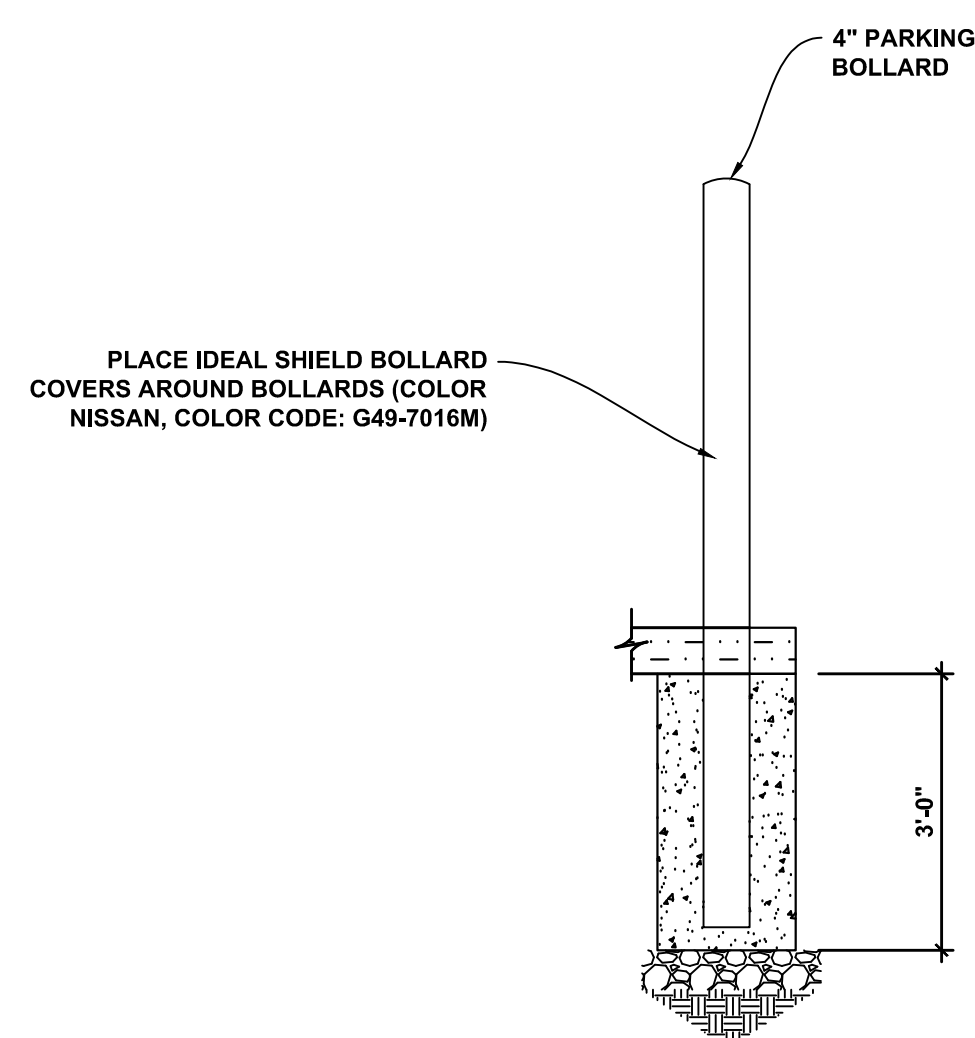
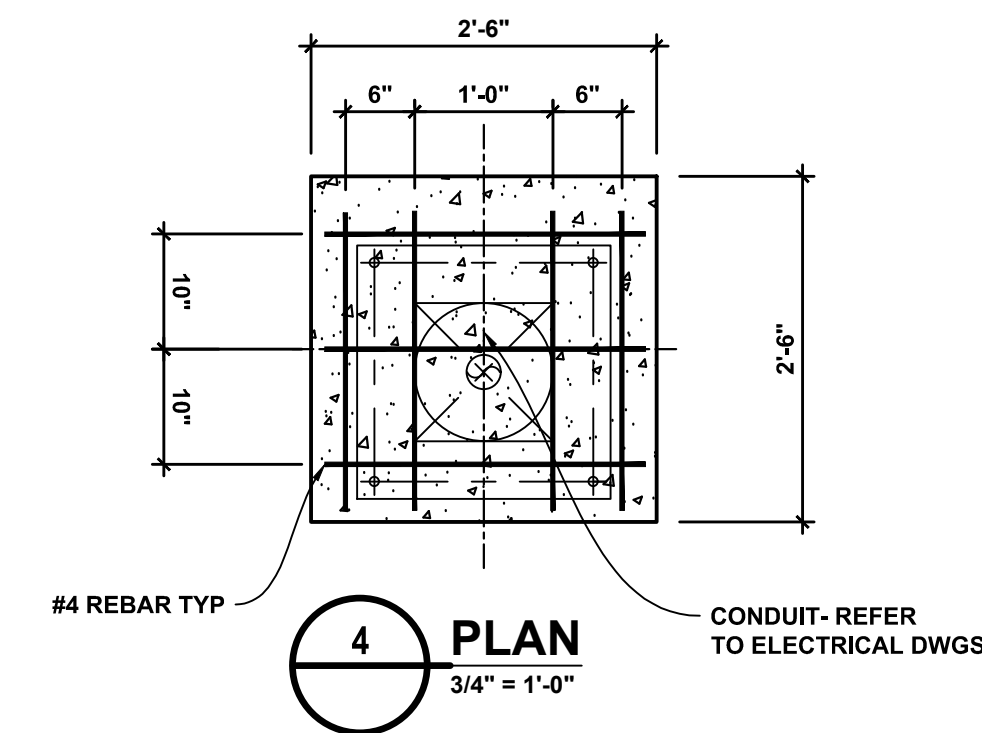
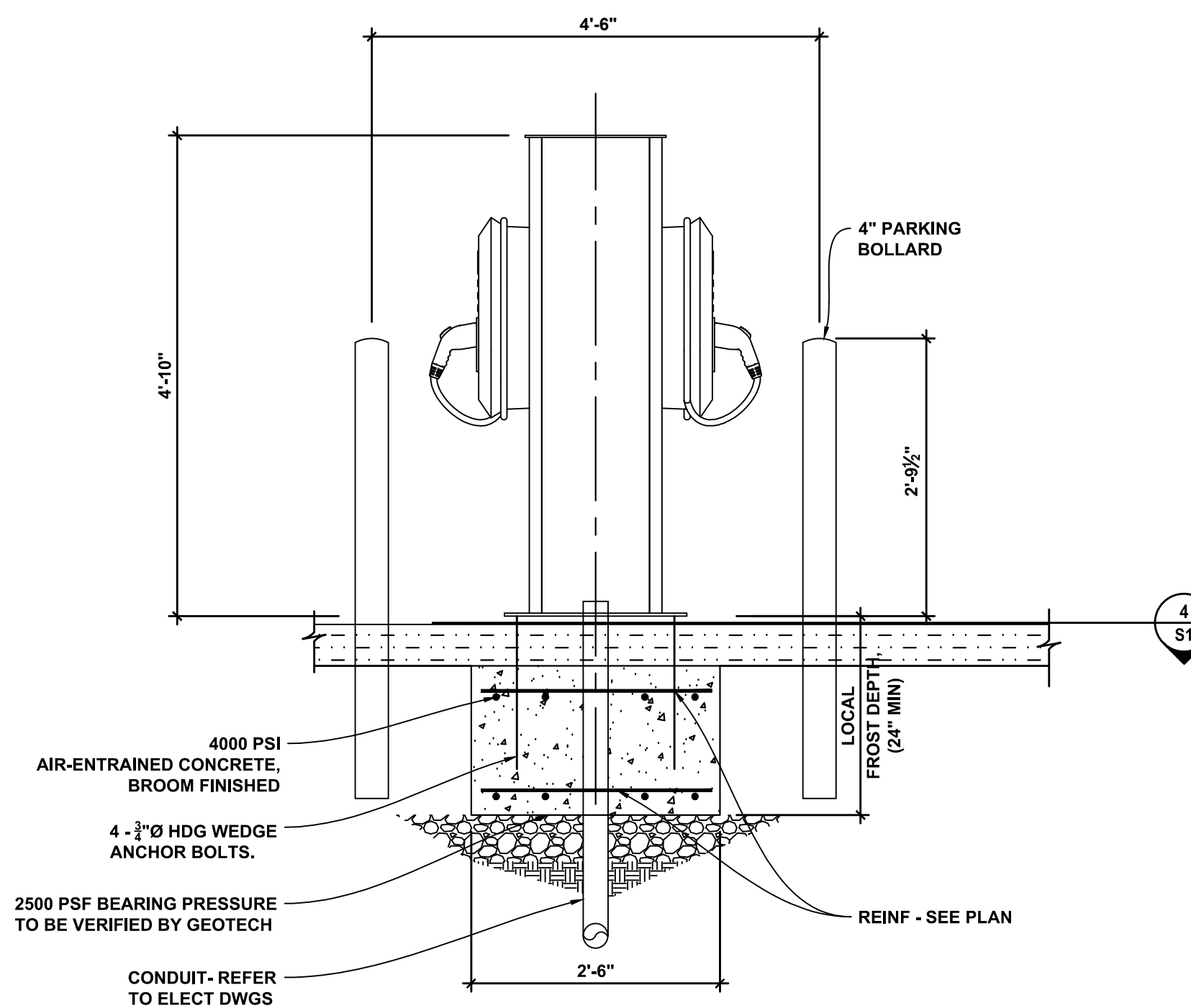
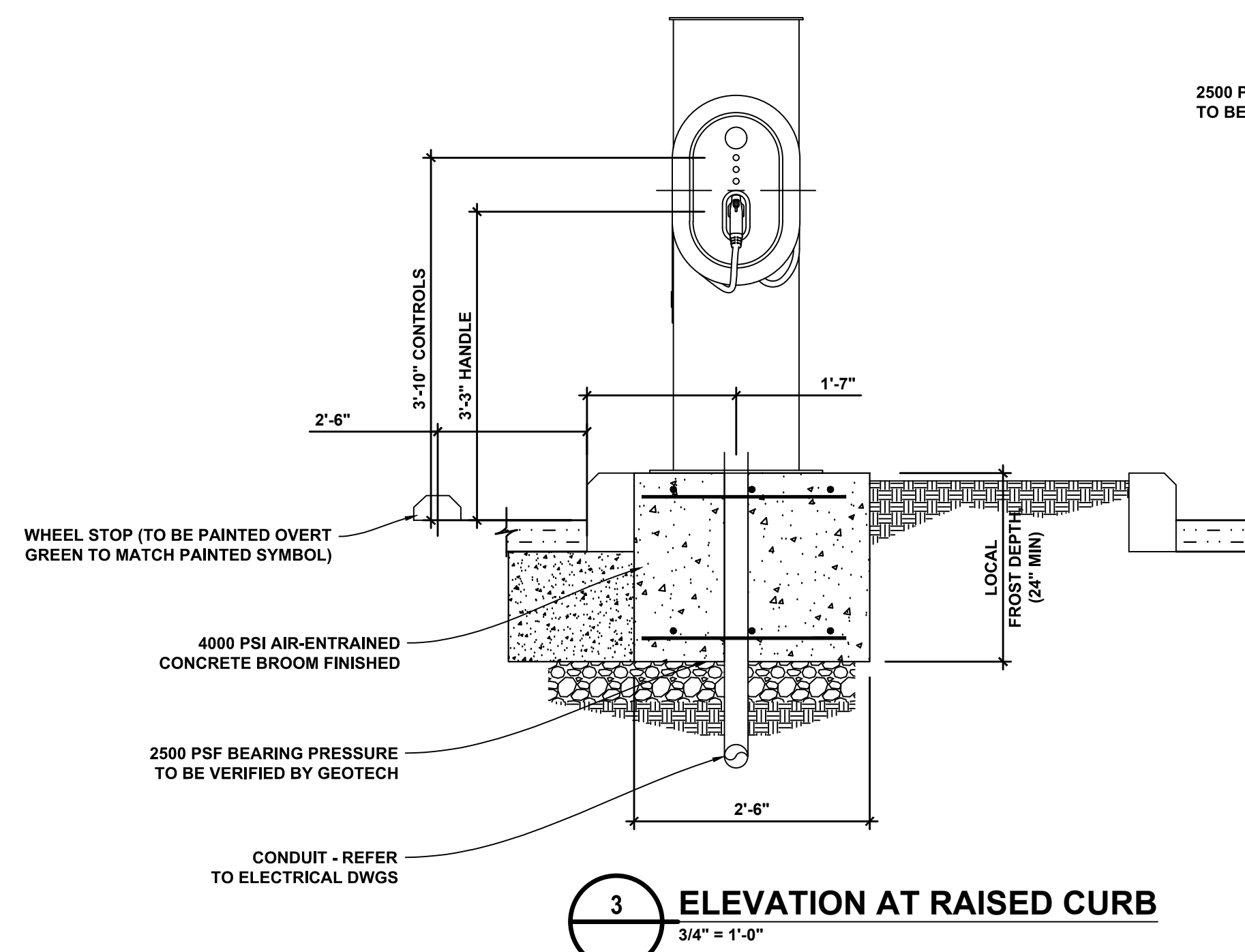
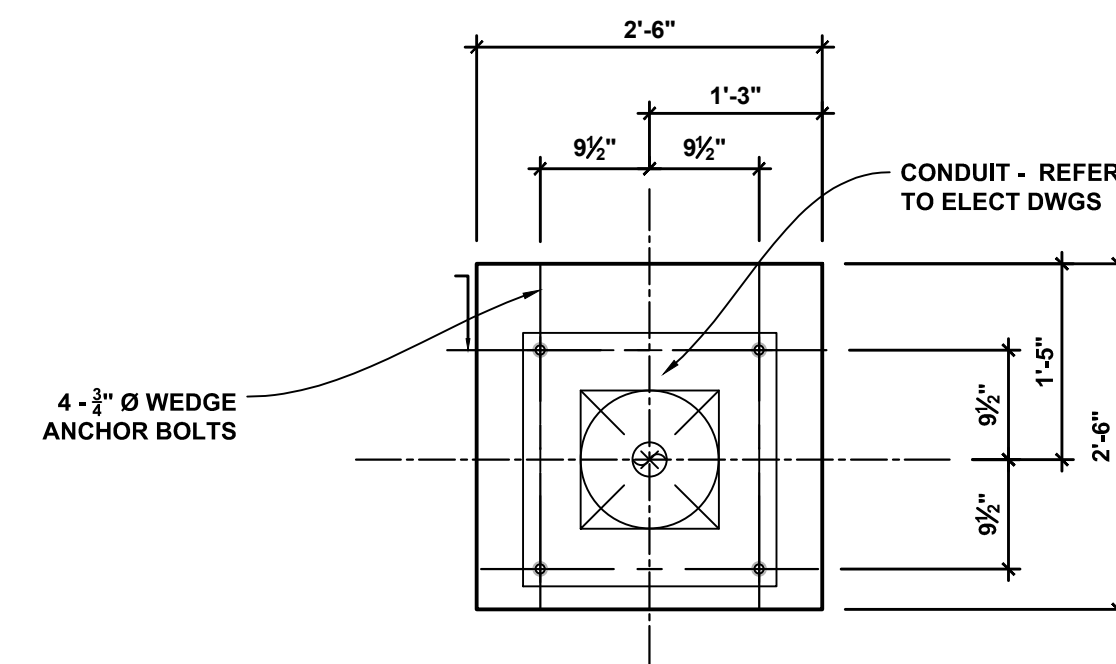
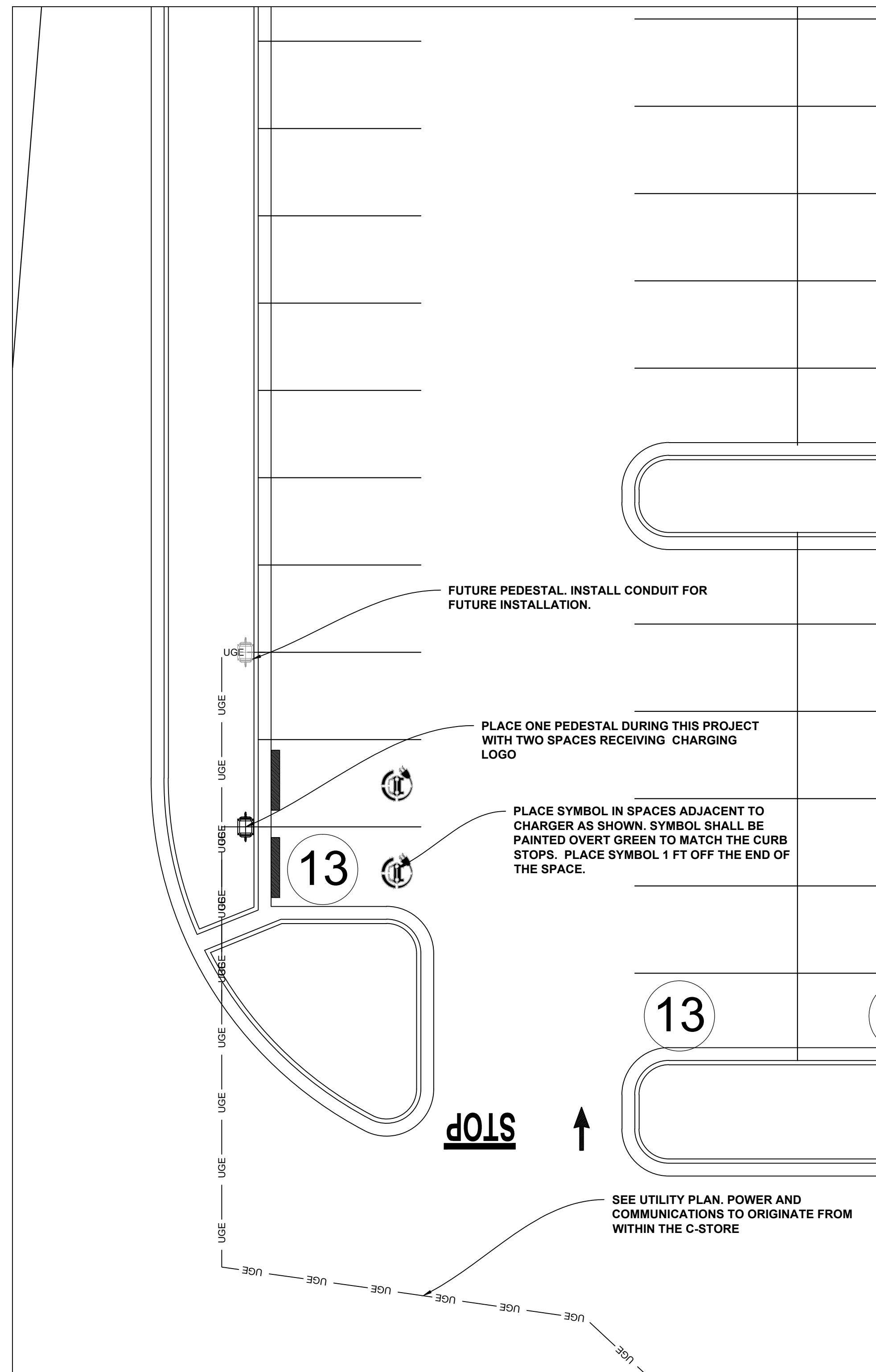
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DESIGN BY:	JDC
CHECKED BY:	PMR
DATE:	4/19/22
SCALE:	HORIZ. 1" = 50' VERT.
JOB NUMBER:	21.018

TOPSOIL PLAN

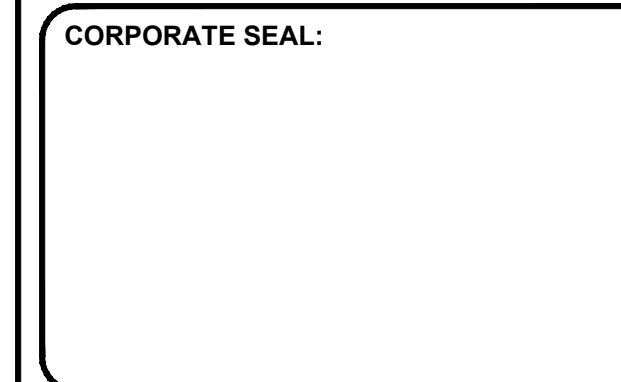
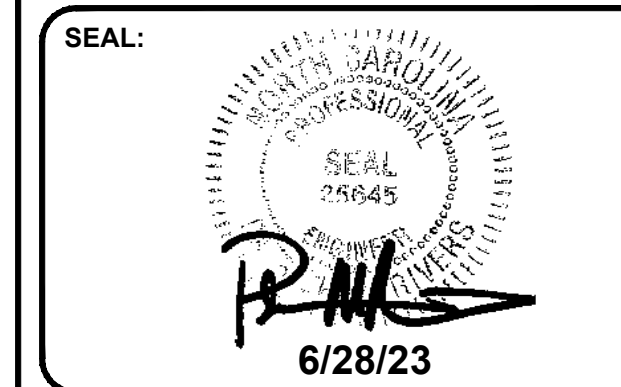
C-122

STORE #140
 HENDERSONVILLE ROAD
 FLETCHER NC

P:\01 C-123 Ingle #140 - Fletcher, NC - King AutoDWG\Civil Drawings\C-123 CAR CHARGING DETAILS.dwg | Layout: C-123 CAR CHARGING DETAILS
Jul 03, 2023 at 15:02 by jpb



REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	6/28/23	REVISED PER DIRECTION OF INGLS	JDC



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ingles
Markets Incorporated
STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER, NC

PROPERTY INFORMATION:

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DRAWN BY:	SCW
DESIGN BY:	JDC
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DATE:	4/19/22
SCALE:	HORIZ. VERT.
JOB NUMBER:	21.018

CAR CHARGING DETAILS

C-123

STORE #140
HENDERSONVILLE ROAD
FLETCHER, NC

PROJECT INFORMATION	
ENGINEERED BY	BRENT HUTCHINSON
PROJECT NO.	864-339-6545
MANAGER	BRENT HUTCHINSON@ADS-PIPE.COM
ADS SALES REF.	GARRETT GOMEZ 628-432-2888 GARRETT.GOMEZ@ADS-PIPE.COM
PROJECT NO.	S255292



INGLES #140 FLETCHER, NC

MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45/76 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (4 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/IN. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONEKOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

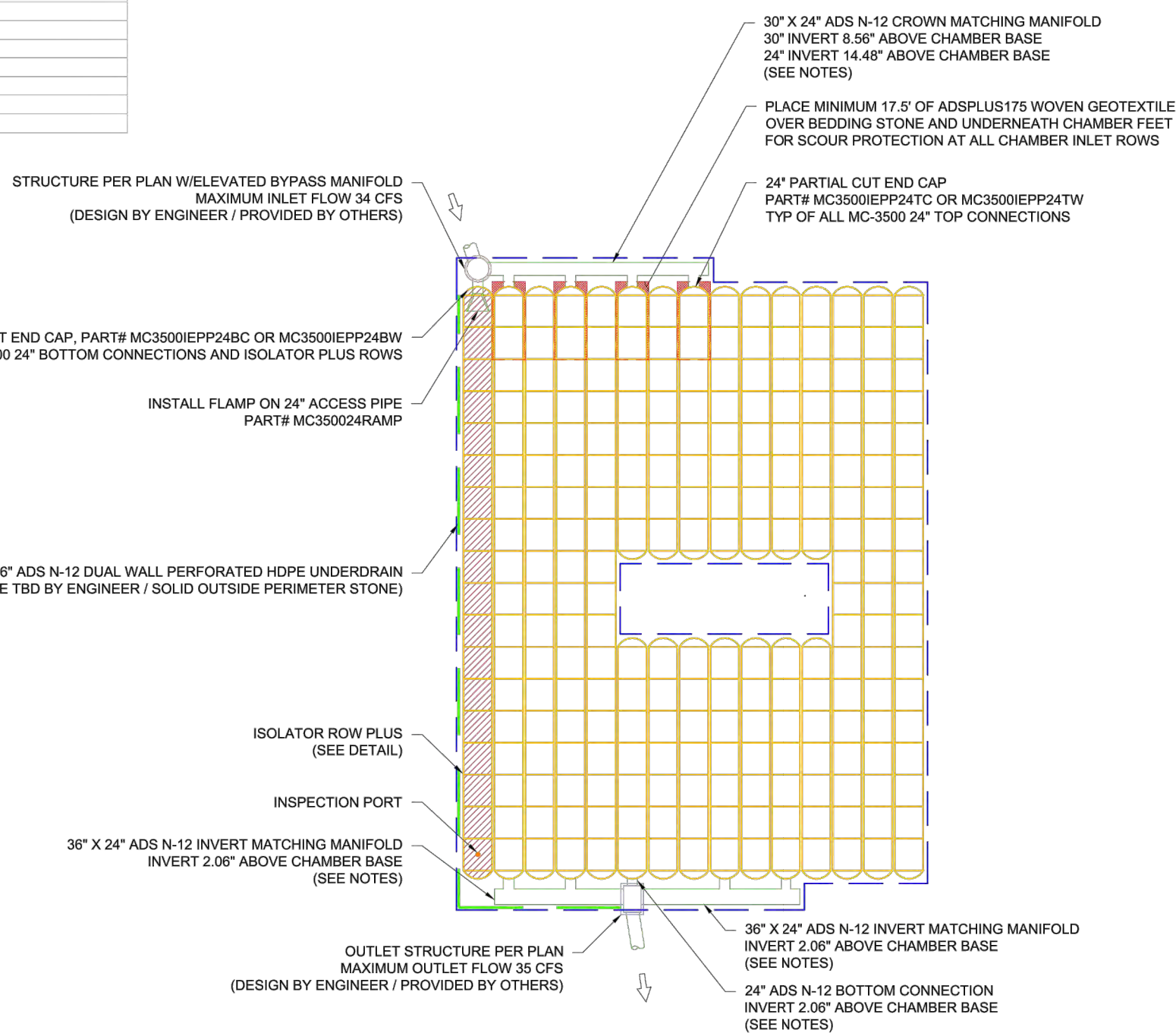
USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2884 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

PROPOSED LAYOUT	
249	STORMTECH MC-3500 CHAMBERS
44	STORMTECH MC-3500 END CAPS
18	STONE ABOVE (in)
9	STONE BELOW (in)
40	% STONE VOID
52,927	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
15,044	SYSTEM AREA (ft ²)
504	SYSTEM PERIMETER (ft)

PROPOSED ELEVATIONS	
2110.59	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED)
2104.56	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC)
2104.05	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC)
2104.05	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT)
2104.05	MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT)
2104.05	TOP OF STONE
2102.56	TOP OF MC-3500 CHAMBER
2100.02	30" X 24" TOP MANIFOLD INVERT (24" PIPE)
2099.52	30" X 24" TOP MANIFOLD INVERT (30" PIPE)
2098.98	24" ISOLATOR ROW PLUS CONNECTION INVERT
2098.98	24" BOTTOM CONNECTION INVERT
2098.98	30" X 24" BOTTOM MANIFOLD INVERT
2098.61	BOTTOM OF MC-3500 CHAMBER
2098.00	UNDERDRAIN INVERT
2098.00	BOTTOM OF STONE

- ### NOTES
- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANHOLE SIZING GUIDANCE.
 - DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
 - THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSTALLED SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.



03/21 ADS, INC.

INGLES #140
FLETCHER, NC

StormTech Chamber System

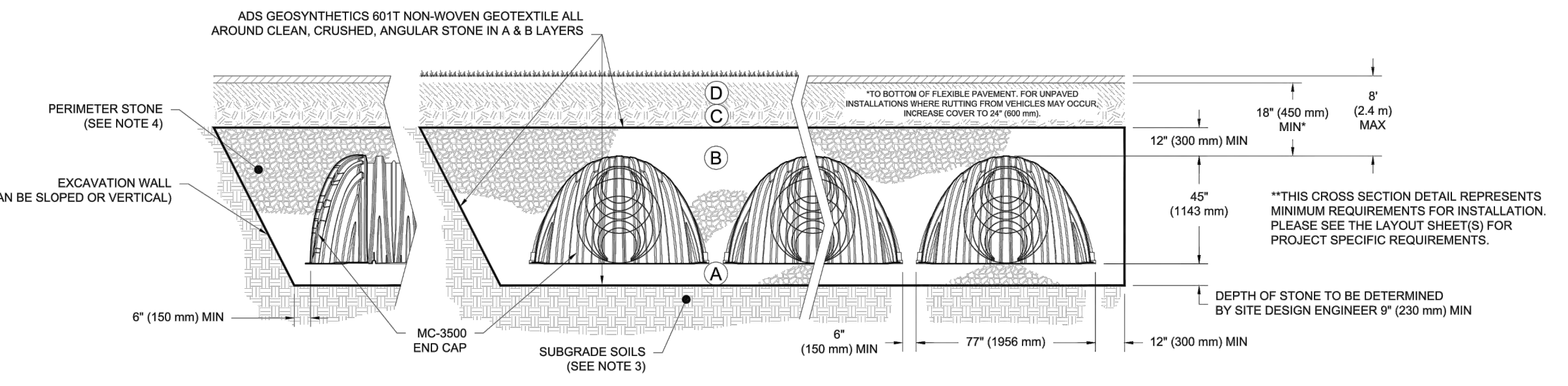
4640 TRUHEMAN BLVD
HILLIARD, OH 43026

3 SHEET OF 6

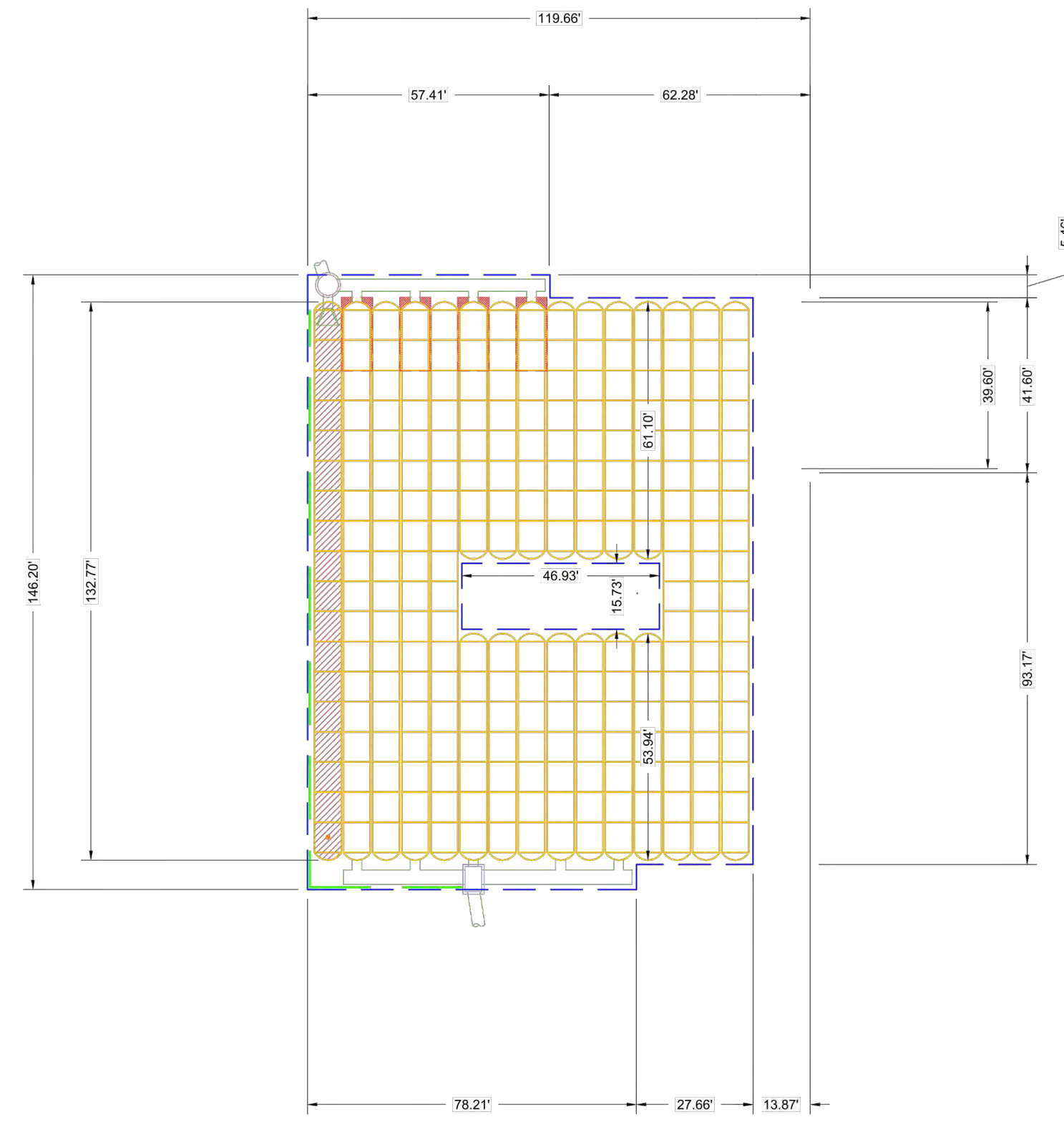
ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M14S ¹ A-1, A-2.4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



- ### NOTES:
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45/76 DESIGNATION SS.
 - MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



REVISIONS:

NO.	DATE	DESCRIPTION	BY

SEAL:

CORPORATE SEAL:

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5620 HENDERSONVILLE ROAD
FLETCHER, NC

PROPERTY INFORMATION:

TAX MAP NUMBER: 9652316641
REFERENCE D.B. & PG: DB 3396 PG 597

ADDITIONAL INFO:
9652314347
DB 3464 PG 102

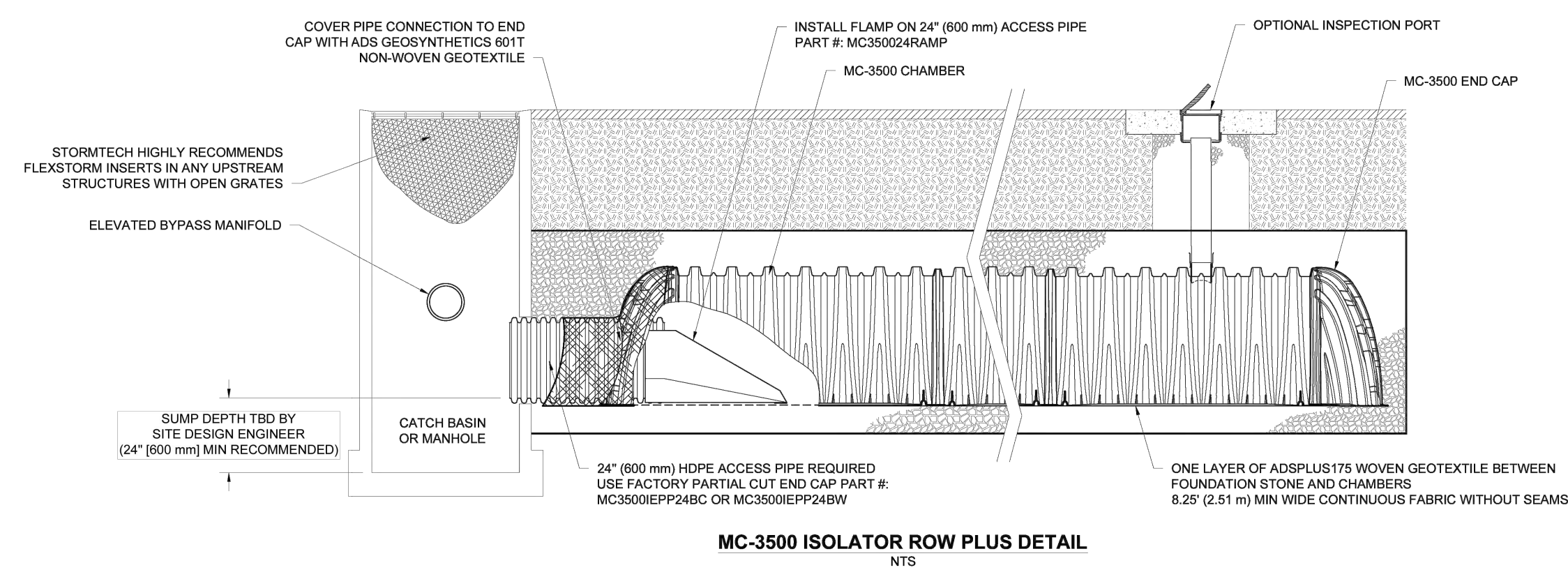
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DESIGN BY: JDC
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DATE: 4/19/22
SCALE: HORIZ. VERT.
JOB NUMBER: 21.018

UNDERGROUND DETENTION DETAILS

C-124

STORE #140
HENDERSONVILLE ROAD
FLETCHER, NC

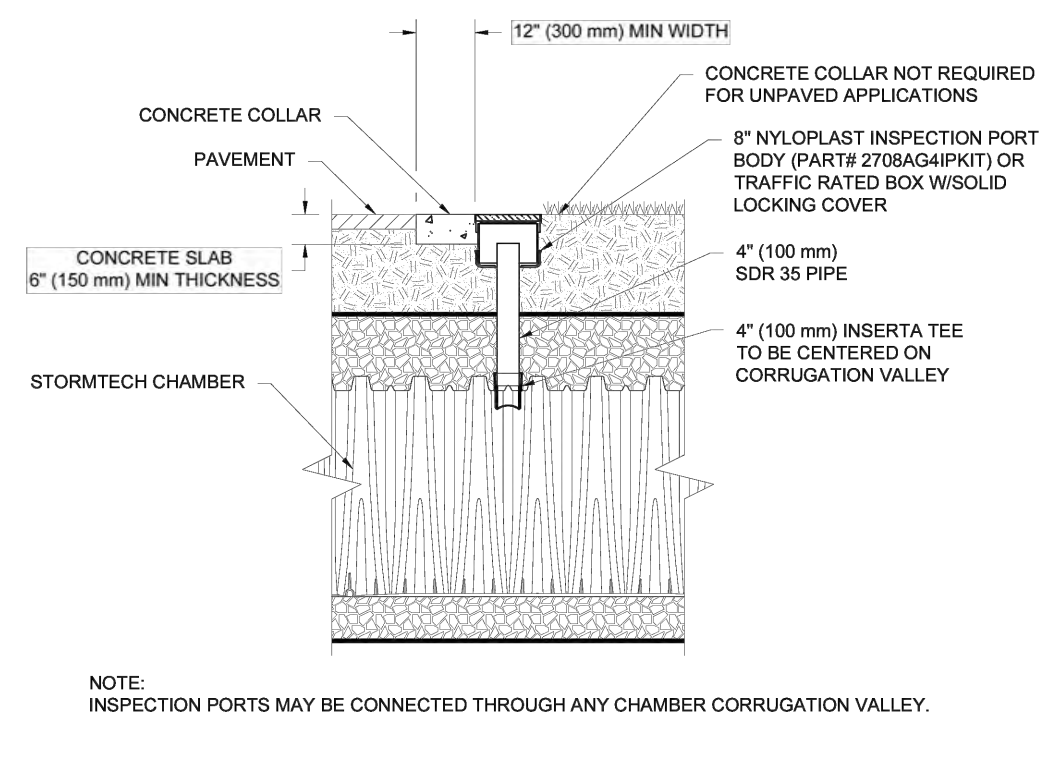


INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST FILTER IF INSTALLED
- A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS USING A FLASHLIGHT. INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
- B.2. I) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY II) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT OR ABOVE 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED QUIBERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

1. INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON VISUAL OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
2. CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

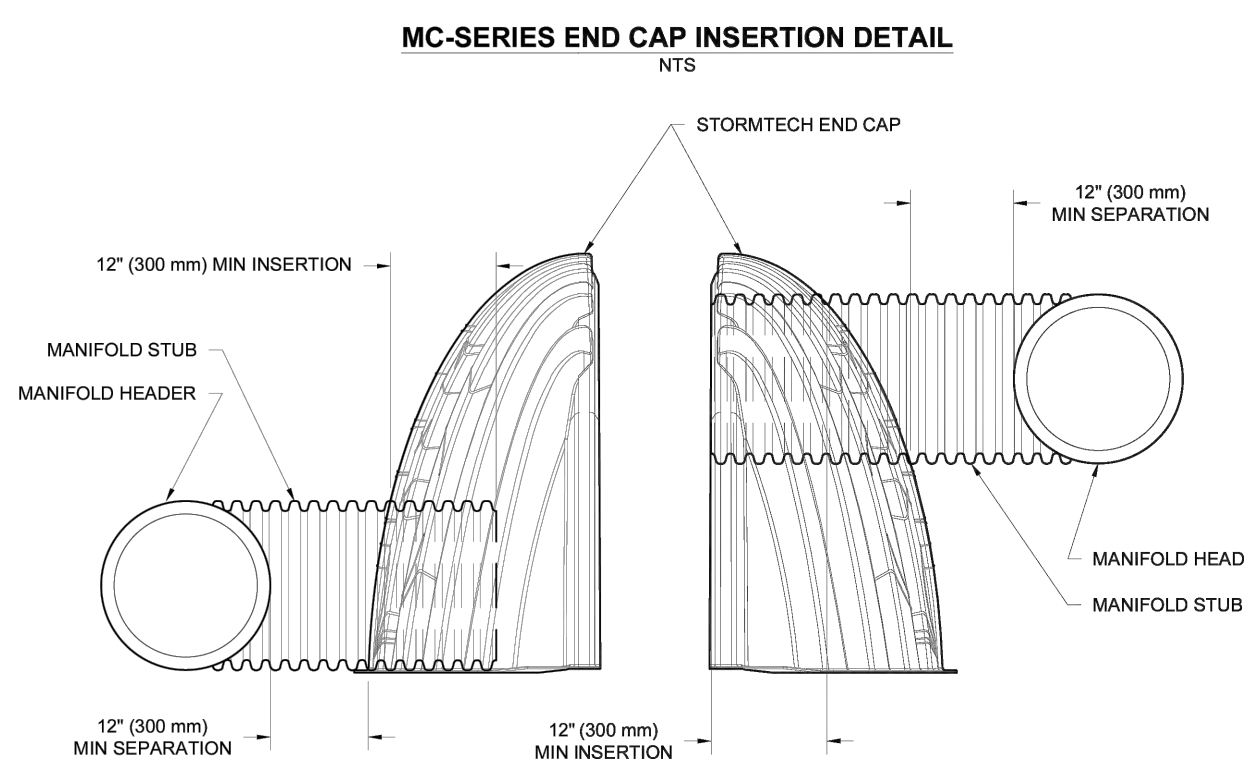
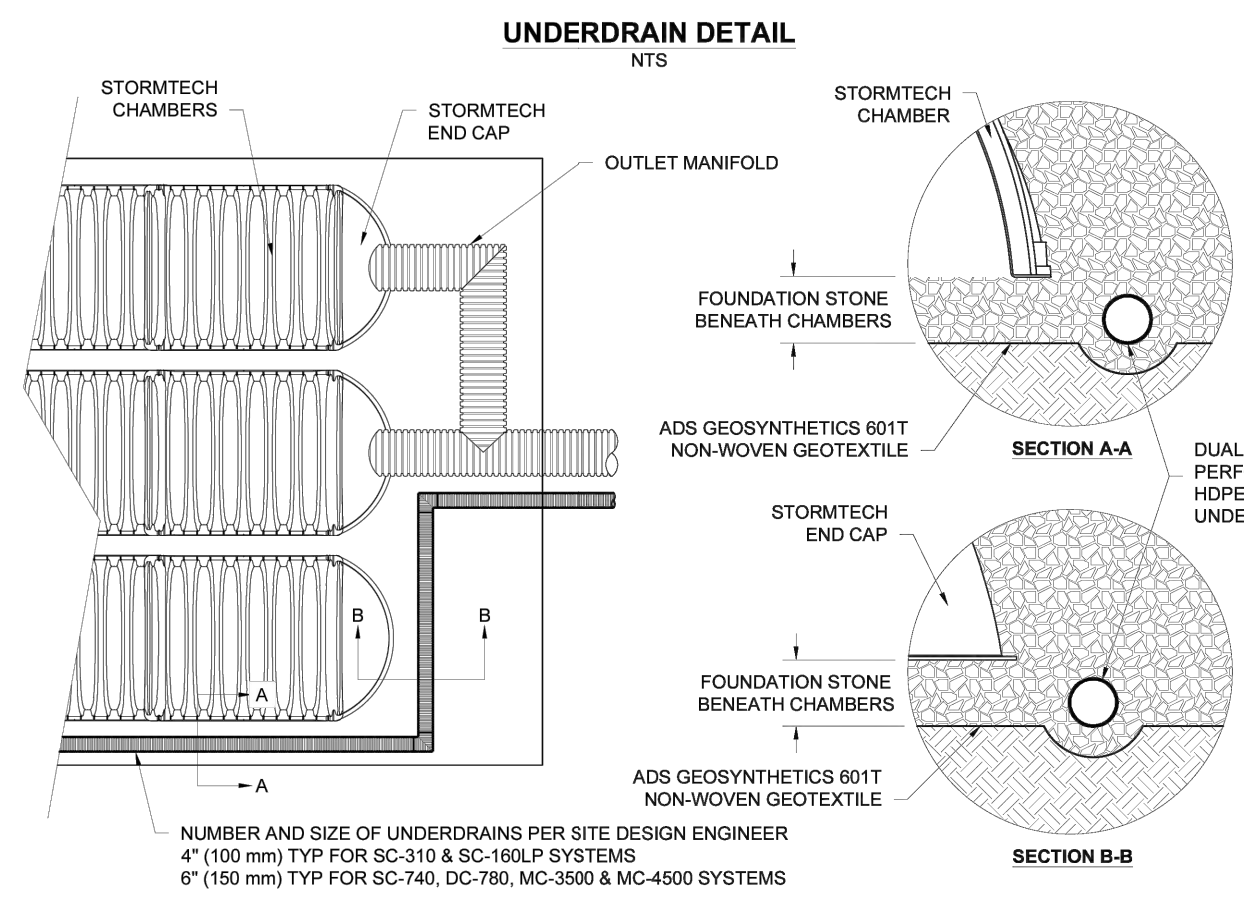


4" PVC INSPECTION PORT DETAIL (MC SERIES CHAMBER) NTS

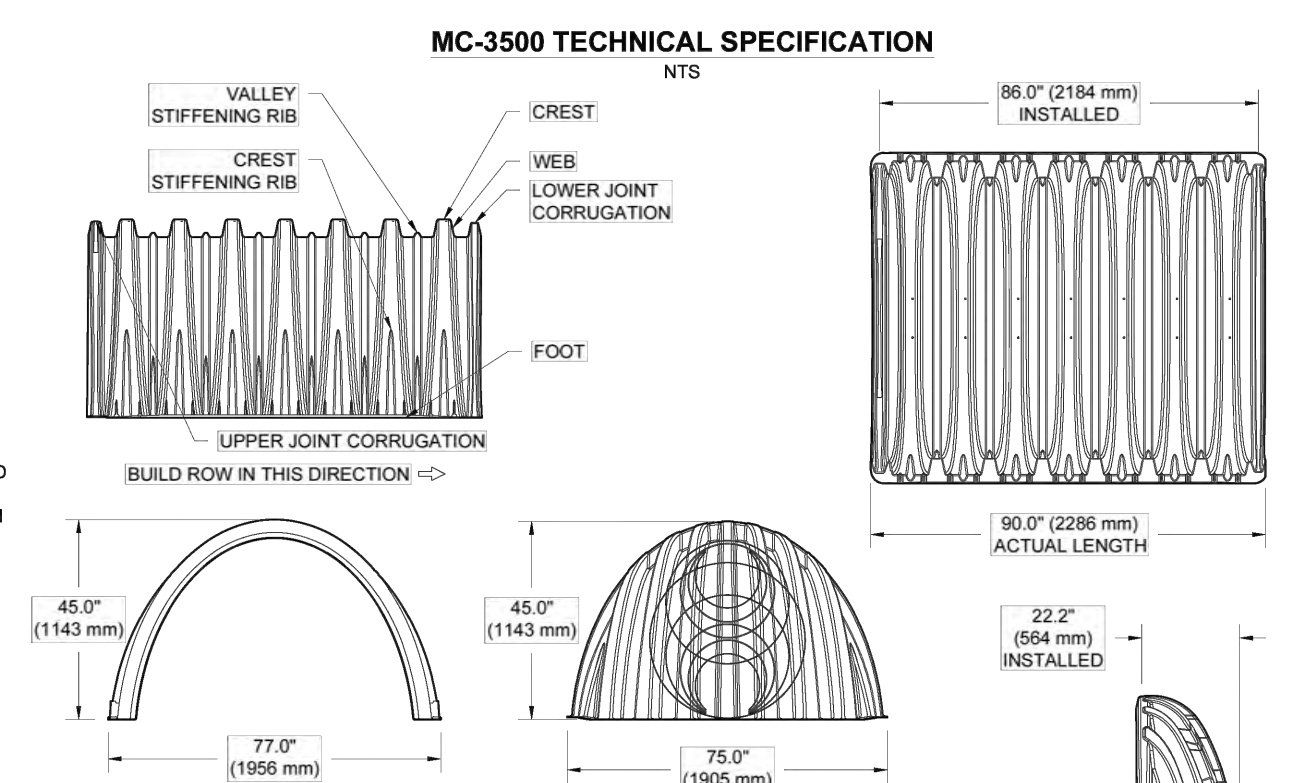
INGLES #140
FLETCHER, NC
DATE: 06/28/23
PROJECT # 250453
DRAWN: JAC
CHECKED: JAC
DESIGNED: JAC
SCALE: AS SHOWN
SHEET NO. 5 OF 6

StormTech Chamber System
4640 TRUBMAN BLVD
HELLAND, OH 43028
888-862-2004 | WWW.STORMTECH.COM

ADS
4640 TRUBMAN BLVD
HELLAND, OH 43028
888-862-2004 | WWW.ADS-USA.COM



5 SHEET OF 6



PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W" END CAPS WITH A WELDED CROWN PLATE END WITH "C"

PART #	STUB	B	C
MC3500EPP06T	6" (150 mm)	33.21" (844 mm)	0.66" (17 mm)
MC3500EPP06B	6" (150 mm)	31.16" (791 mm)	0.61" (16 mm)
MC3500EPP08B	8" (200 mm)	29.04" (738 mm)	0.93" (24 mm)
MC3500EPP10B	10" (250 mm)	26.36" (670 mm)	1.35" (34 mm)
MC3500EPP12T	12" (300 mm)	23.36" (594 mm)	1.50" (38 mm)
MC3500EPP12B	12" (300 mm)	20.03" (509 mm)	---
MC3500EPP15T	15" (375 mm)	14.48" (368 mm)	---
MC3500EPP15B	15" (375 mm)	---	---
MC3500EPP18T	18" (450 mm)	---	---
MC3500EPP18B	18" (450 mm)	---	---
MC3500EPP24T	24" (600 mm)	---	---
MC3500EPP24B	24" (600 mm)	---	---
MC3500EPP24BW	24" (600 mm)	---	---
MC3500EPP30C	30" (750 mm)	---	---

CUSTOM PARTIAL CUT INVERTS ARE AVAILABLE UPON REQUEST. INVERTED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 16-48" (375-1200 mm) SIZE ON SIZE. ECCENTRIC MANIFOLDS, CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN "B" ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

NOTE: ALL DIMENSIONS ARE NOMINAL

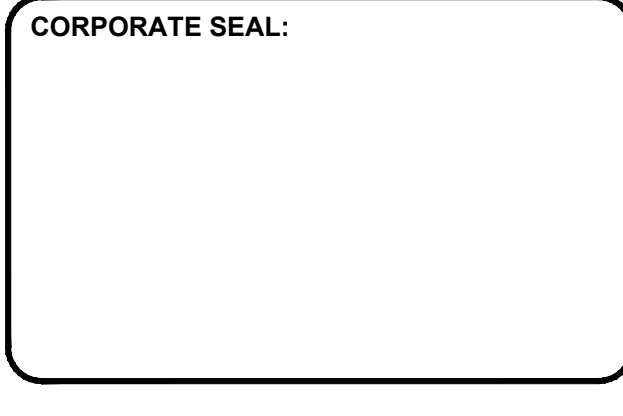
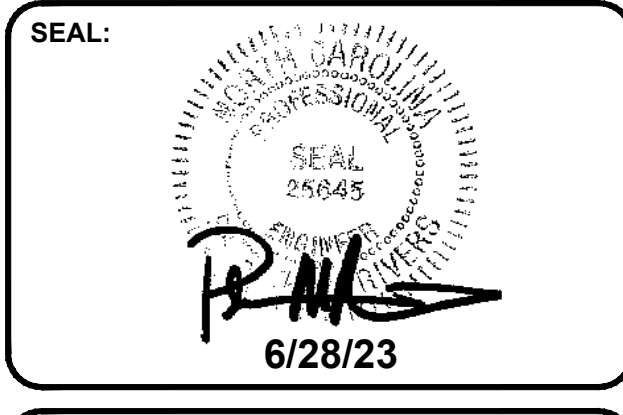
INGLES #140
FLETCHER, NC
DATE: 06/28/23
PROJECT # 250453
DRAWN: JAC
CHECKED: JAC
DESIGNED: JAC
SCALE: AS SHOWN
SHEET NO. 6 OF 6

StormTech Chamber System
4640 TRUBMAN BLVD
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888-862-2004 | WWW.STORMTECH.COM

ADS
4640 TRUBMAN BLVD
HELLAND, OH 43028
888-862-2004 | WWW.ADS-USA.COM

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	6/28/23	ADJUSTED WEIR STRUCTURE TO NEW SITE LAYOUT	SCW



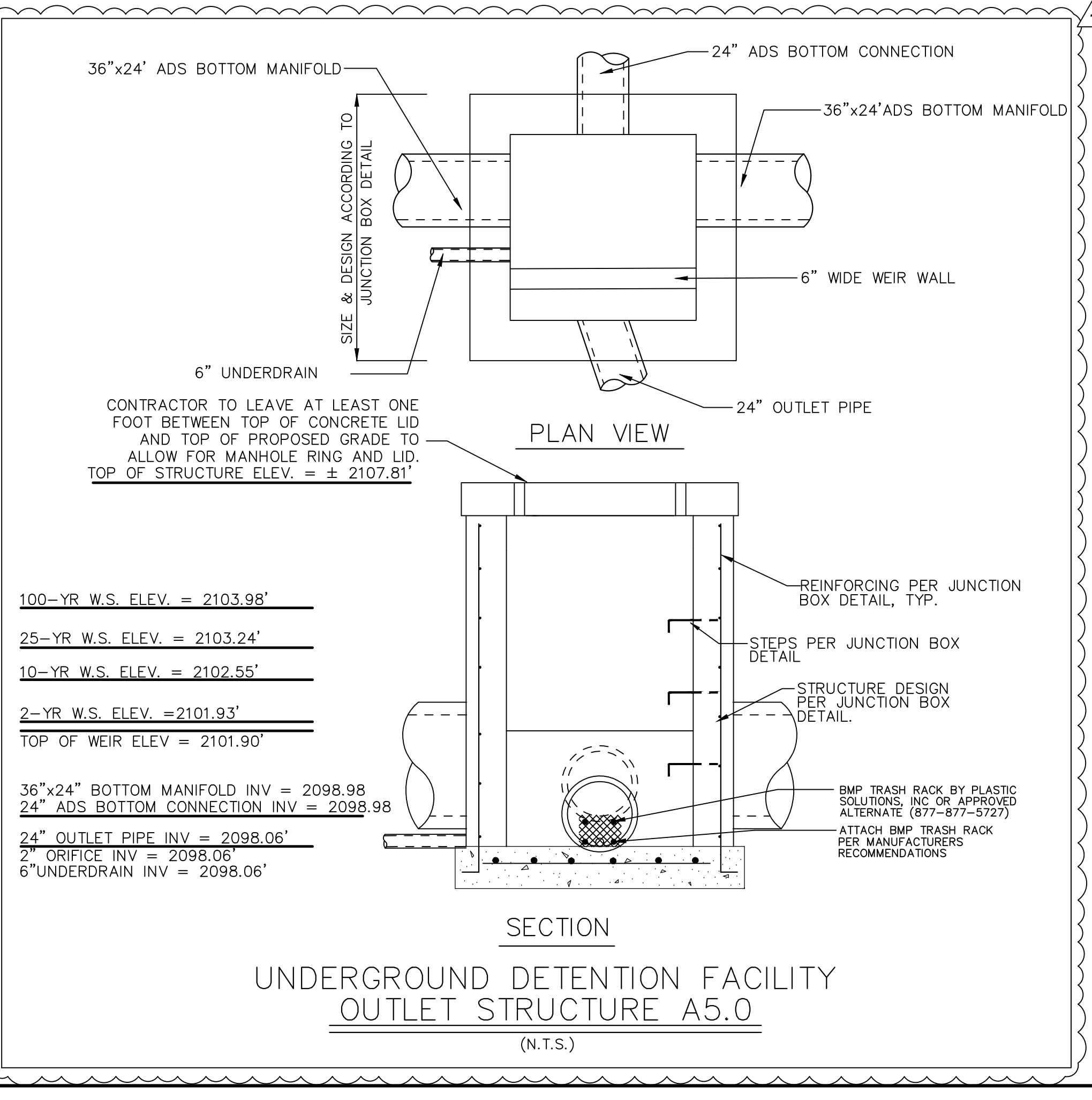
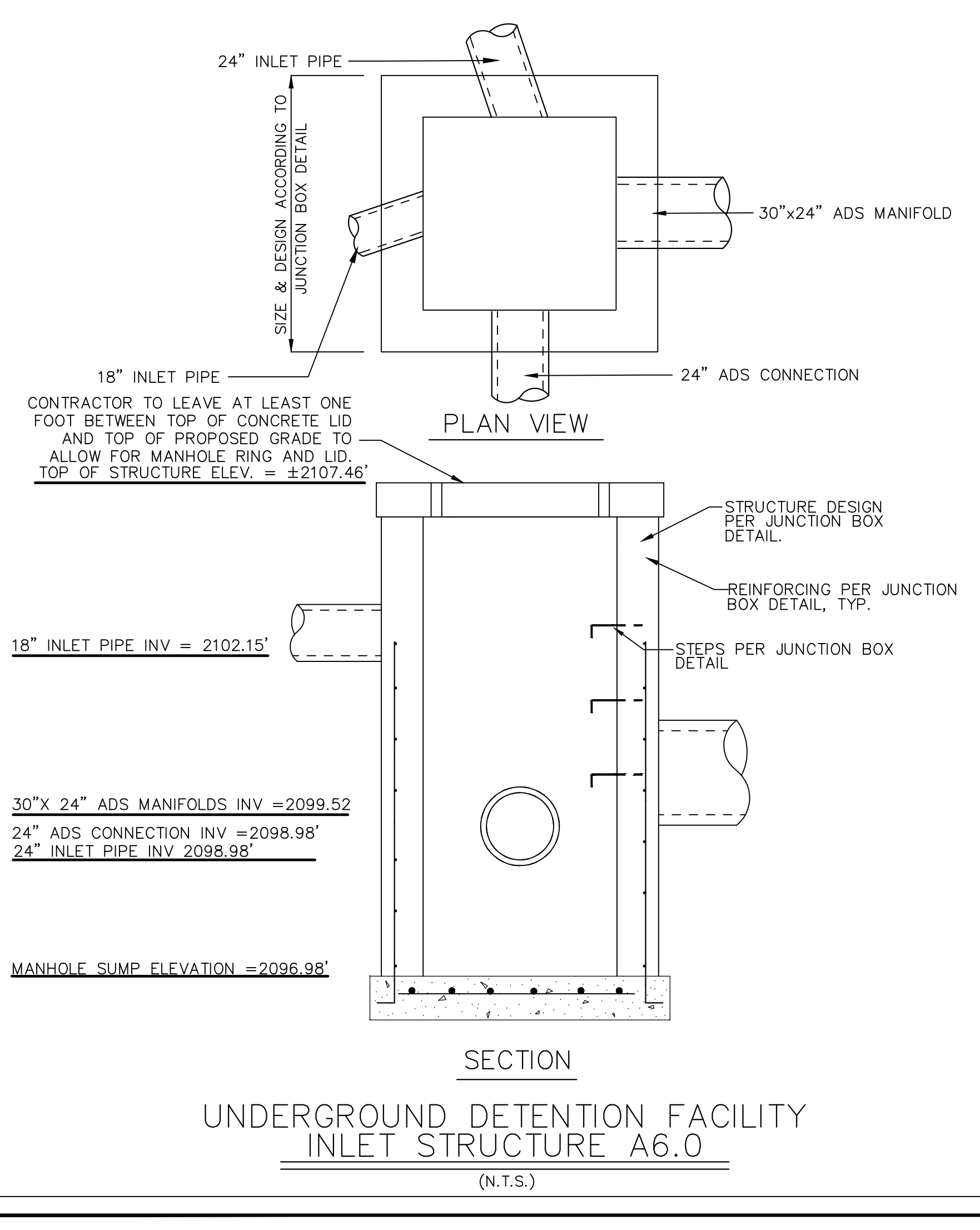
DBA
LAND PLANNING ASSOCIATES OF NC, INC.
110 WEST 1ST AVENUE - SUITE A
EASLEY, SC 29640
864.242.6072 FAX 208.730.8214
design@pa-inc.net

ingles
Markets Incorporated
STORE #140
5620 HENDERSONVILLE ROAD
FLETCHER, NC

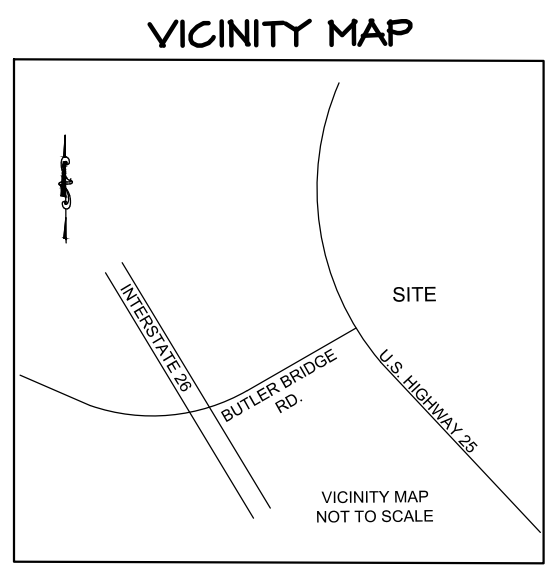
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TAX MAP NUMBER: 9652316641, 9652316277
REFERENCE D.B. & PG: DB 3396 PG 597
ADDITIONAL INFO:
9652314347
DB 3464 PG 102

ISSUE FOR CONSTRUCTION:
PERMIT DATE:
BID DATE:
DRAWN BY: SCW
DESIGN BY: JDC
CHECKED BY: JDC
DATE: 4/19/22
SCALE: HORIZ. VERT.
JOB NUMBER: 21.018

UNDERGROUND DETENTION DETAILS
C-125
STORE #140
HENDERSONVILLE ROAD
FLETCHER, NC

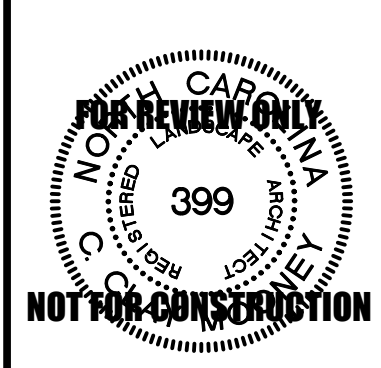


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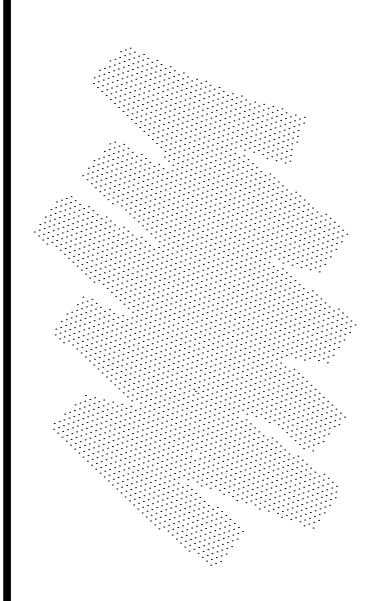


1293 Hendersonville Road
 Suite 21
 Asheville, NC 28803
 828-277-7410
 Fax: 828-277-7413

DESIGN ASSOCIATES
 LANDSCAPE ARCHITECTS & LAND PLANNERS



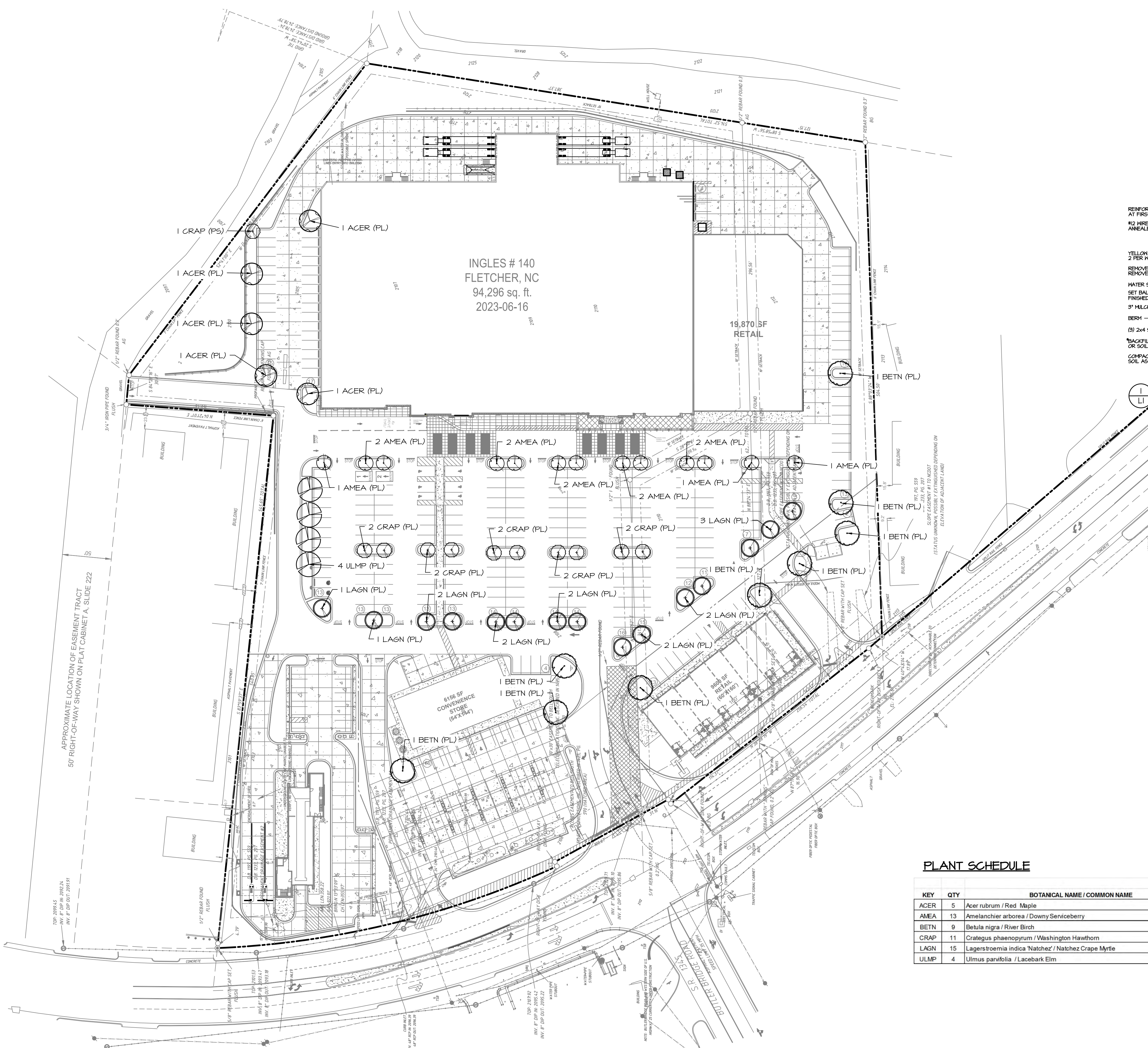
Ingles #140
 5620 Hendersonville Road
 Fletcher, NC



Landscape & Zoning Compliance Plan

REVISIONS:
 7-5-2023 REVISED

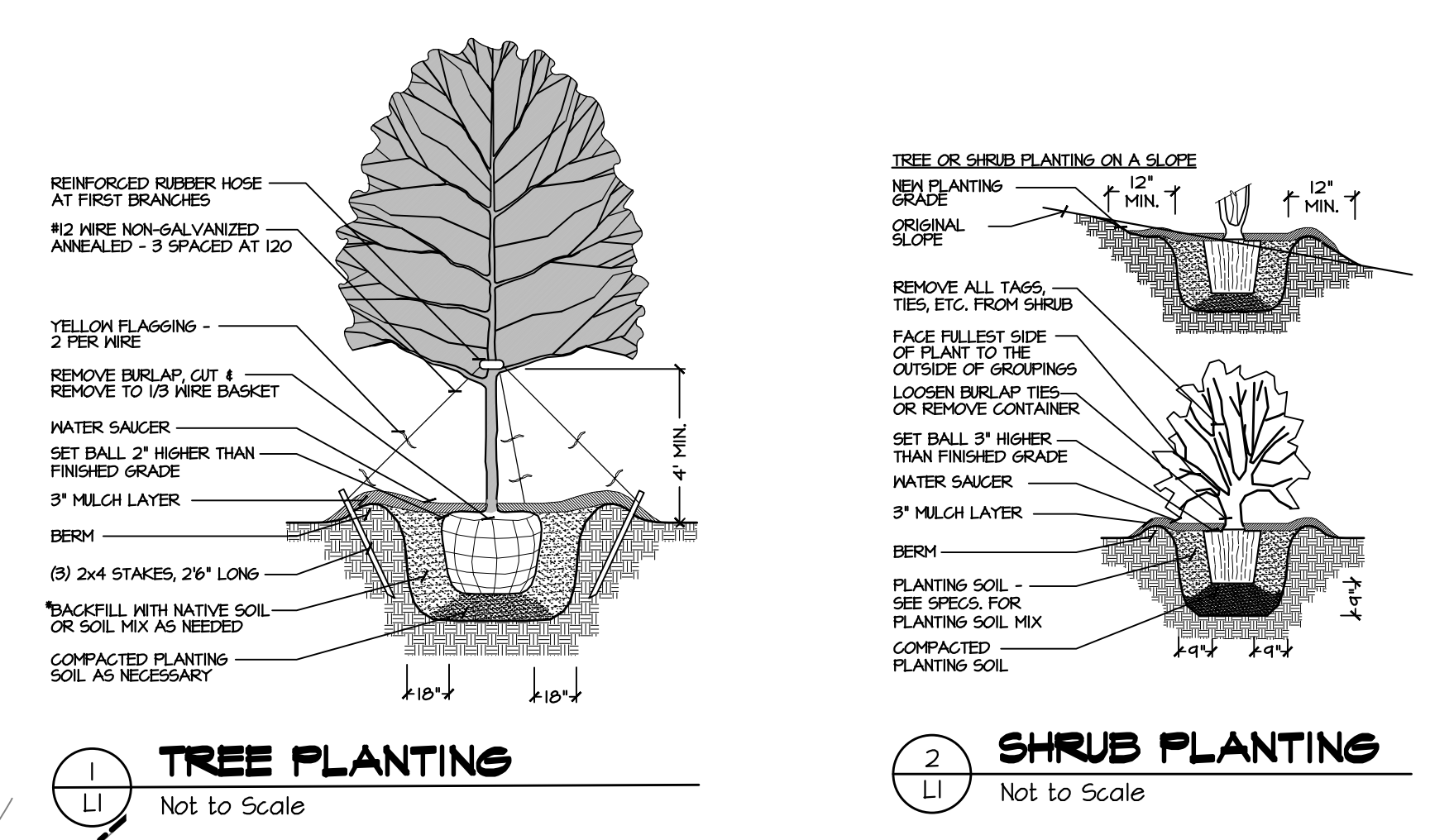
L1
 4-26-2022



INGLES # 140
 FLETCHER, NC
 94,296 sq. ft.
 2023-06-16

19,870 SF
 RETAIL

6156 SF
 CONVENIENCE
 STORE
 (B&B)



PLANTING SUMMARY:

- 1) PARKING LOT LANDSCAPING**
 1 DECIDUOUS TREE IS REQUIRED PER 5 PARKING SPACES
 280 PARKING SPACES = 56 DECIDUOUS TREES REQUIRED
 DECID TREES PROVIDED = 56
- 2) PLANTING STRIP**
 WHEN PARKING SPACES ARE WITHIN 20' OF THE PROPERTY LINE
 A MIN. 10' WIDE PLANTING STRIP IS REQUIRED
 2 TREES ARE REQUIRED PER 100 LF OF PLANTING STRIP
 16 LF OF PLANTING STRIP = 0 TREE REQUIRED
 TREES PROVIDED = 0

PLANTING LEGEND

- PL = PARKING LOT LANDSCAPING
- PS = PLANTING STRIP LANDSCAPING
- # OF PLANTS
- PLANT KEY (SEE PLANT LIST)
- ACER (PL) ZONING USE ABBREVIATION (SEE LEGEND)

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	B & B	MATERIAL SPECIFICATIONS
ACER	5	Acer rubrum / Red Maple	2" min. cal.	12'-14' ht.	B&B	single, straight leader, well-branched
AMEA	13	Amelanchier arborea / Downy Serviceberry	1.5" min. cal.	8' to 10' ht.	B&B or cont.	multi-trunk, dense, uniform branching
BETN	9	Betula nigra / River Birch	2" min. cal.	12'-14' ht.	B&B or cont.	multi-stemmed, min. 3 stems
CRAP	11	Crataegus phaenopyrum / Washington Hawthorn	1.5" min. cal.	8' to 10' ht.	B&B or cont.	straight trunk, dense, uniform branching, min. 5' branching height
LAGN	15	Lagerstroemia indica 'Natchez' / Natchez Crape Myrtle	1.5" min. cal.	8' to 10' ht.	B&B	3 trunk min.
ULMP	4	Ulmus parvifolia / Lacebark Elm	2" min. cal.	12'-14' ht.	B&B or cont.	straight trunk, dense, uniform branching

