

# REQUEST FOR COMMITTEE ACTION

## HENDERSON COUNTY

### TECHNICAL REVIEW COMMITTEE

MEETING: **August 15, 2023**

SUBJECT: **Major Site Plan Review for Brickton Road Development**

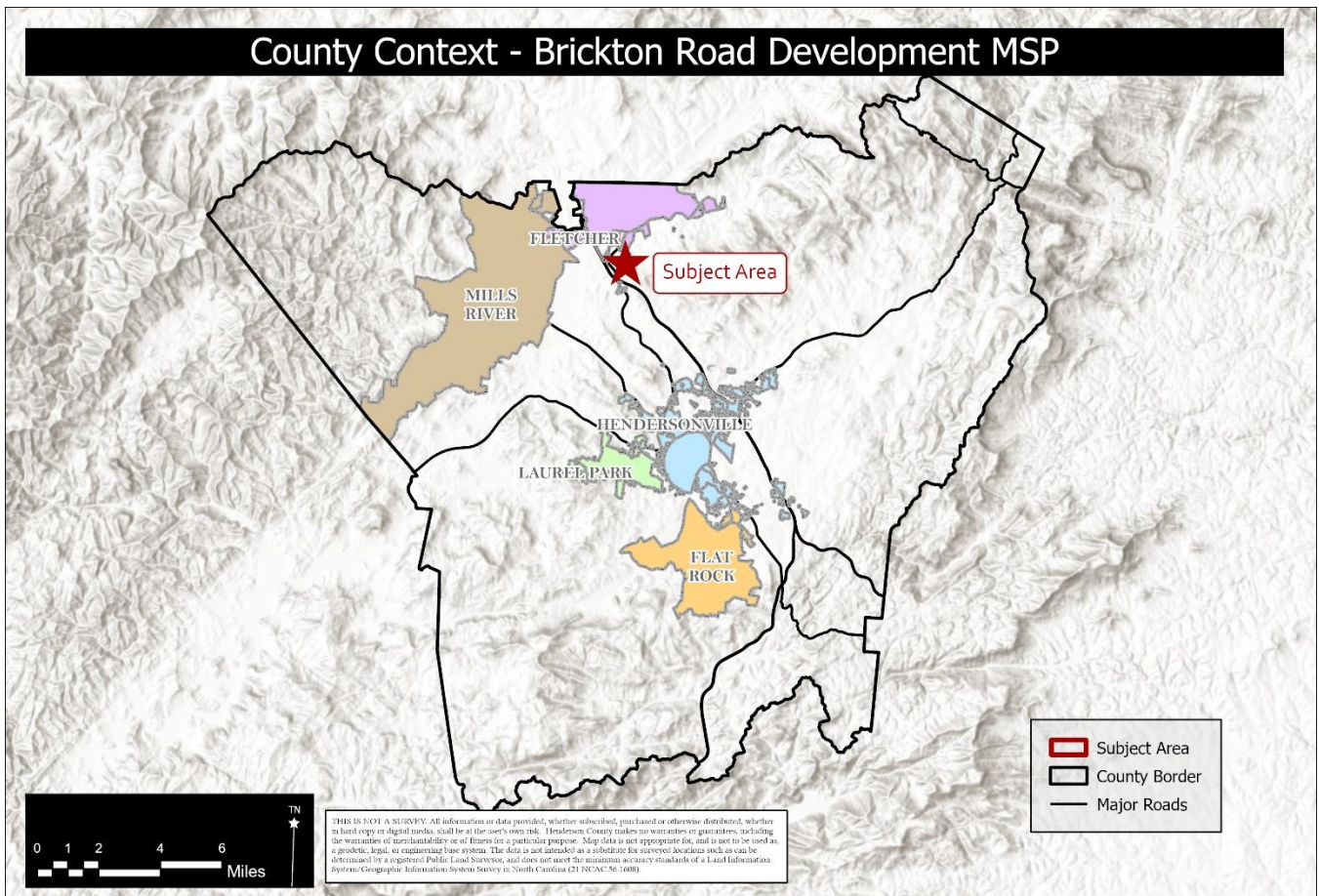
PRESENTER: **Matt Champion, Zoning Administrator**

ATTACHMENTS: **Staff Report**

SUMMARY OF REQUEST: **Warehousing & Storage**

Suggested Motion: **I move that the TRC approve/deny the major site plan for Brickton Road Development**

Map A: County Context



Property Owner & Applicant: Brickton Industrial LLC (Ethan Jed Young)  
Assessed Acreage: 3.34 Acres PIN: 9652-52-3138  
Current Zoning: Industrial (I)





## Henderson County, North Carolina Code Enforcement Services

### 1. Committee Request

- 1.1. **Applicant:** Brickton Industrial LLC (Ethan Jed Young)
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9652-52-3138
- 1.4. **Size:** 3.34 acres +/-
- 1.5. **Location:** The subject area is located off Brickton Dr within Brickton Industrial Park
- 1.6. **Supplemental Requirements:**

### **SR 9.15. Warehousing and Storage (Excluding Warehousing of Hazardous Substances)**

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travelways* and/or parking areas shall be treated to prevent dust from adverse effects to adjacent properties.

**Warehousing and Storage.** An establishment primarily engaged in operating warehousing and storage facilities (excluding warehousing of hazardous substances).

**Map B: Aerial Map**



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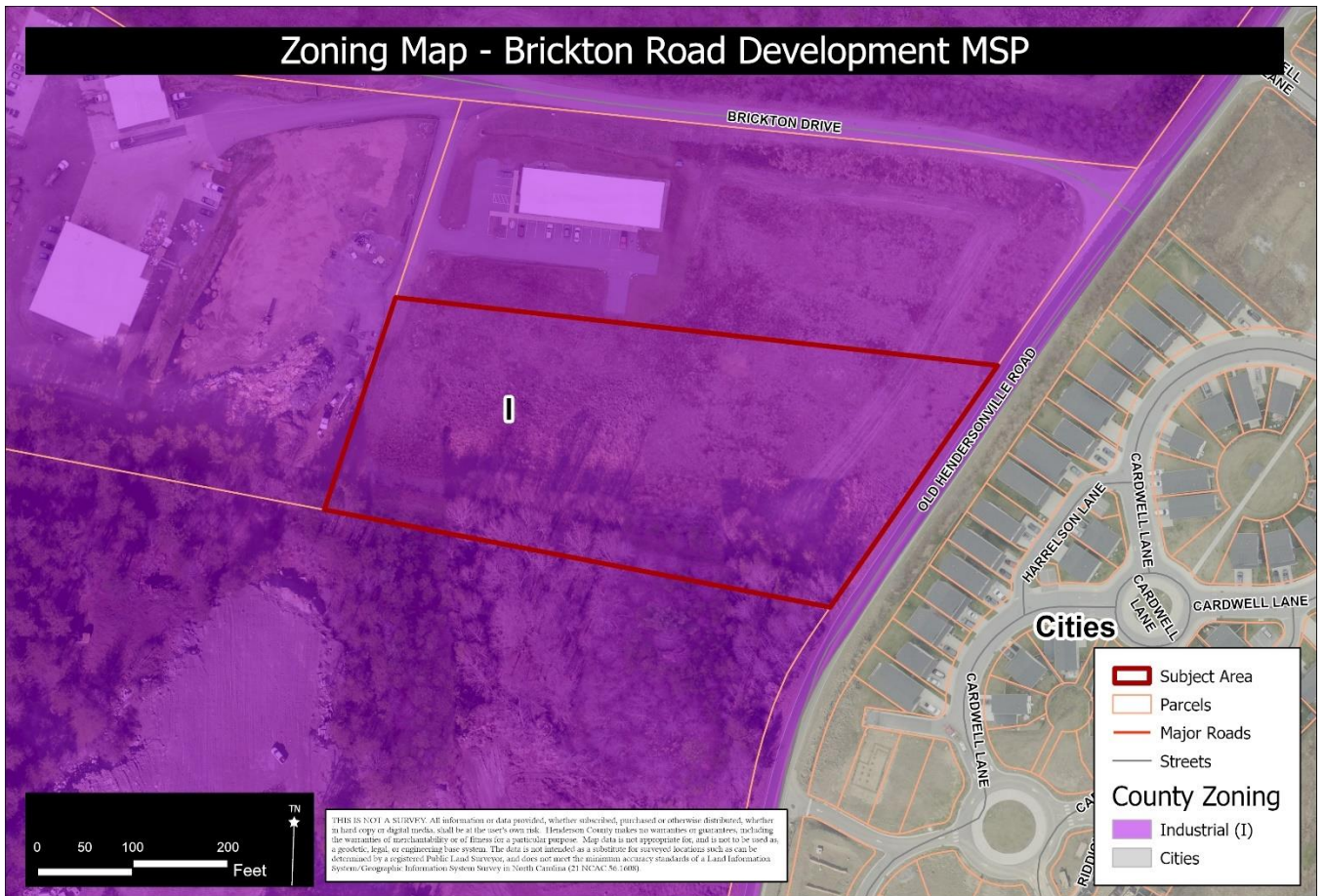


**2. Current Conditions**

**2.1 Current Use:** The subject area is currently vacant and part of the Brickton Industrial Park. The original Brickton Industrial Park was approved by the Planning Board on February 27, 2001. A revised combined Master and Development Plan was approved by the Planning Board on November 8, 2005. On November 21, 2017, a revised combined Master and Development Plan was approved by the TRC that proposed 1 additional lot. The subject area plus the parcel directly north along Brickton Dr were subdivided into two separate parcels. Plat Slide 10965 was recorded on November 22, 2017, creating lots 3A and 3B. The subject area is shown as lot 3B on the recorded plat.

**2.2 Adjacent Area Uses:** The surrounding properties consist of industrial and residential uses. Garbage Pal recovery center is located west of the subject area. LightHeart Gear corporate office is located directly north of the subject area. Southern Concrete Materials Supply Warehouse is located south of the subject area. The Sycamore Cottages residential subdivision is located east of the subject area.

### Map C: Current Zoning



Property Owner & Applicant: Brickton Industrial LLC (Ethan Jed Young)  
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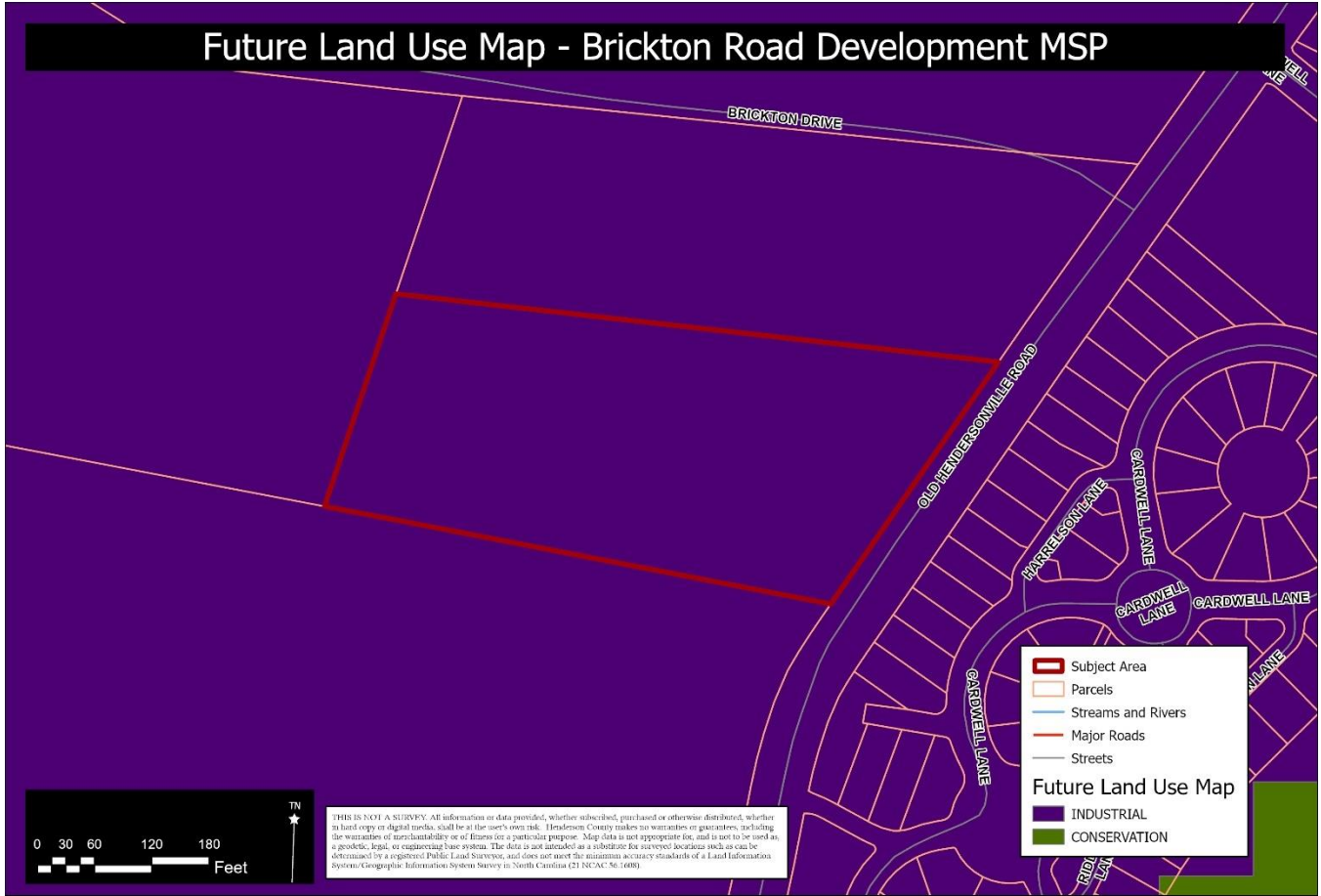


### 3. Zoning:

- 3.1. **Current Zoning:** The subject area is currently zoned Industrial (I) by Henderson County.
- 3.2. **Adjacent Zoning:** Industrial zoning is found to the north, west, and south of the subject area. The Town of Fletcher’s incorporated limits is located east of the subject area encompassing Brickton Village and Sycamore Cottages residential developments. The Town of Fletcher’s zoning is shown as C-1 (Conditional). The C-1 district stands for General Commercial District.
- 3.3. **Industrial (I) Zoning District:** The purpose of the Industrial District (I) is to foster orderly growth where the *principal use* of land is a mixture of industrial and heavy commercial. The intent of this district is to allow for *industrial* and heavy *commercial development* consistent with the recommendations of the *Comprehensive Plan*. In accordance with the *Comprehensive Plan*, the district will allow for and provide *industrial* and heavy *commercial development* that: (1) is compatible with adjacent development and the surrounding community; (2) will minimize conflict between land *uses*; and (3) is sensitive to its impact on surrounding land *uses* and the environment (natural and man-made).

- 4. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

**Map D: CCP Future Land Use Map**



Property Owner & Applicant: Brickton Industrial LLC (Ethan Jed Young)  
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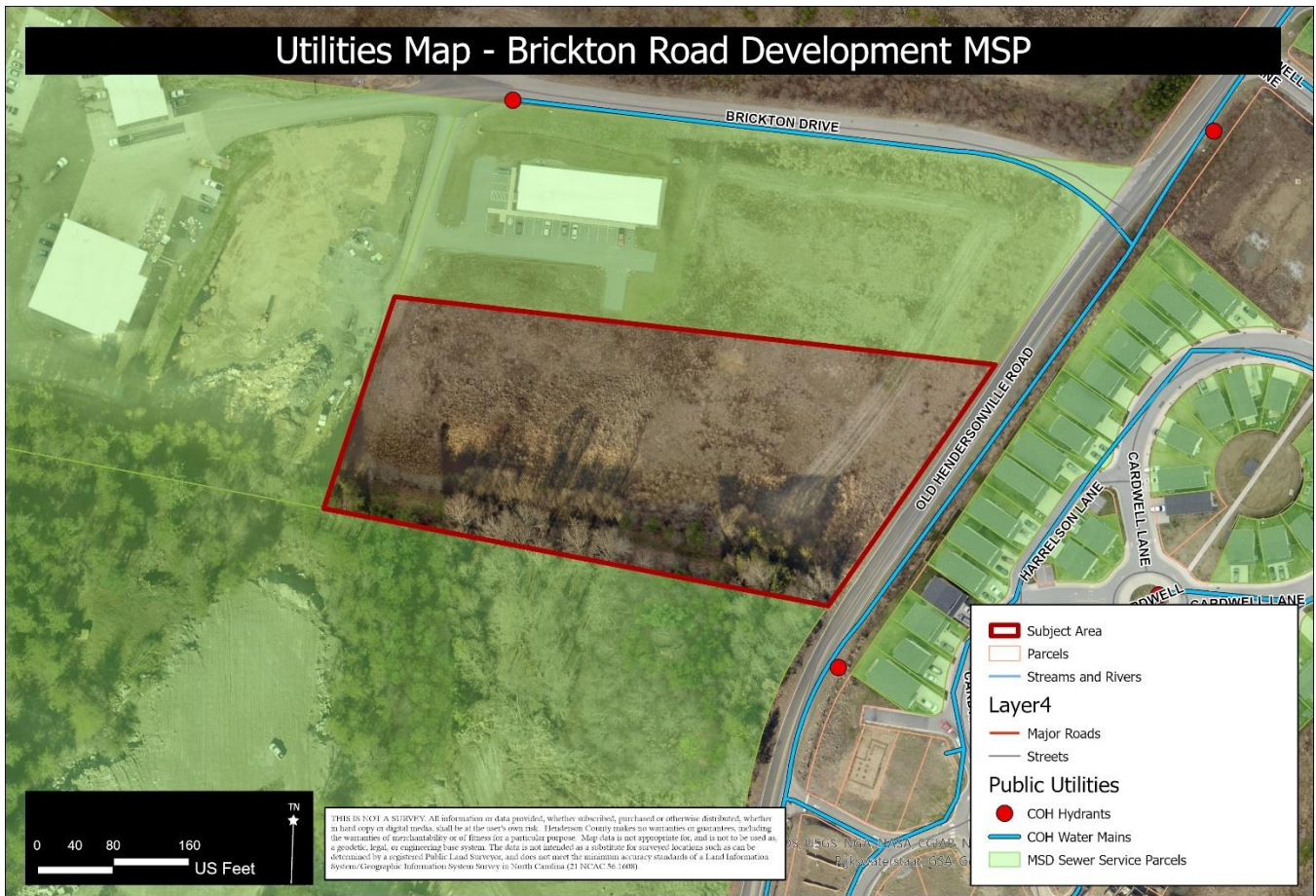


5. **Staff Comments**

**Henderson County Comprehensive Plan (CCP):** The CCP Future Land Use Map places the subject area in the Industrial Area classification.

- a. **Industrial:** Most industrial areas should lie within the Urban Services Area, and in other areas on a very limited basis. Most industrial uses should be segregated from other uses with the exception of Regional Commercial Uses. Industrial areas depicted on Map #24, Future Land Use Map, are derived from existing industrial zoning districts.

**Map E: Utilities Map**



Property Owner & Applicant: Brickton Industrial LLC (Ethan Jed Young)  
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 Current Zoning: Industrial (I)



6. **Water and Sewer** The applicant is proposing a connection to City of Hendersonville public water and MSD public sewer to serve the subject area.

**Public Water:** Yes

**Public Sewer:** Yes

7. **Proposal** The applicant is proposing to construct a 45,000SQFT structure for warehousing and storage space. The site will be developed in a single phase and accessed by a 24' wide heavy duty asphalt drive around the entire structure. The major site plan shows two 12'x60' loading spaces, 37 standard parking spaces, and 2 ADA accessible parking spaces. The building shows a total of 18 12' wide overhead doors for loading and unloading materials and equipment stored in the proposed structure. Each building loading space has a minimum parking width of 14'. The closest fire hydrant is located approximately 210' north of the subject area at the intersection of Brickton Drive and the existing access to the site. Total impervious surfaces post development is approximately 1.98 acres or 59.3%. The major site plan also shows a dry stormwater detention pond and parking lot landscaping.

8. Oblique Photos

**View from East**



01/06/2022

**View from North**



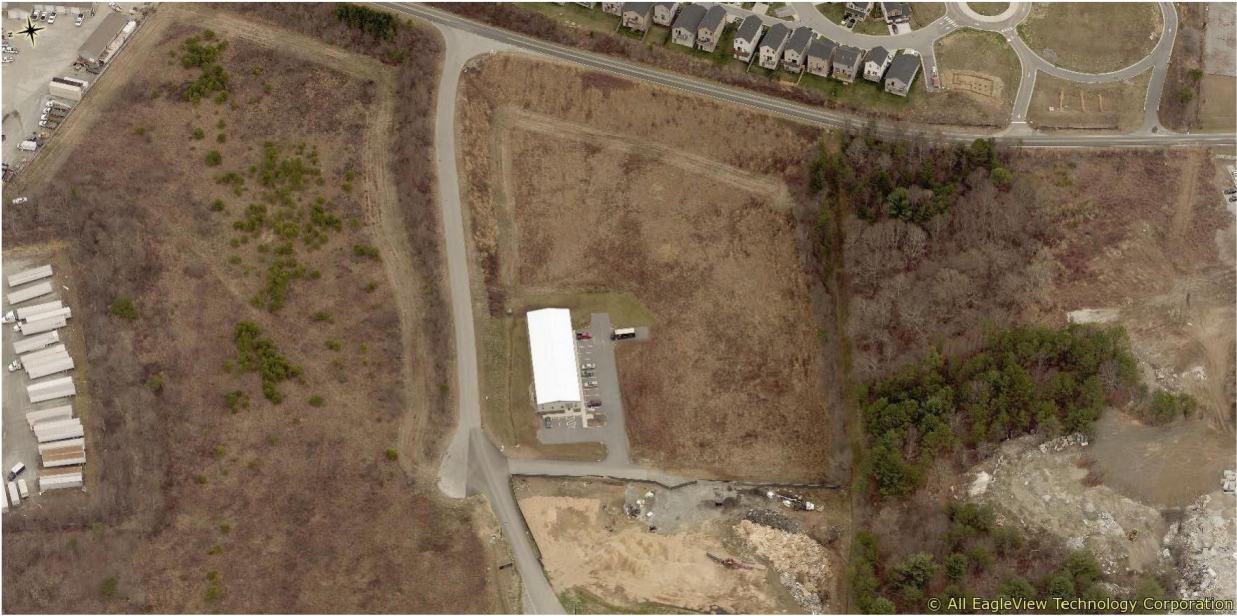
01/06/2022

### View from South



01/06/2022

### View from West



01/06/2022



**HENDERSON COUNTY  
MAJOR SITE PLAN REVIEW APPLICATION**

**CONTACT INFORMATION**

**Property Owner:**

Name: Brickton Industrial, LLC Phone: 828-450-3760

Complete Address: 129 Angelina Lane, Mills River, NC 28759

**Applicant:**

Name: Brickton Industrial, LLC Phone: 828-450-3760

Complete Address: 129 Angelina Lane, Mills River, NC 28759

**Agent:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Complete Address: \_\_\_\_\_

Agent Form (Circle One):    Yes    No

**Plan Preparer:**

Name: Michael R. Goforth, P.E. (High Country Engineering, C-3347) Phone: 828-230-4511

Complete Address: 81 Central Avenue, Asheville, NC 28801

**GENERAL INFORMATION**

**Date of Application:** 7/20/2023

**Site Plan Attached (Circle One):**  Yes     No

**PARCEL INFORMATION**

PIN: 9652-52-3138

Tract Size (Acres): 3.34

Zoning District: Industrial (I)

Fire District: Fletcher

Supplemental Requirement# \_\_\_\_\_

Watershed: French Broad

Permitted by Right \_\_\_\_\_

Floodplain: N/A

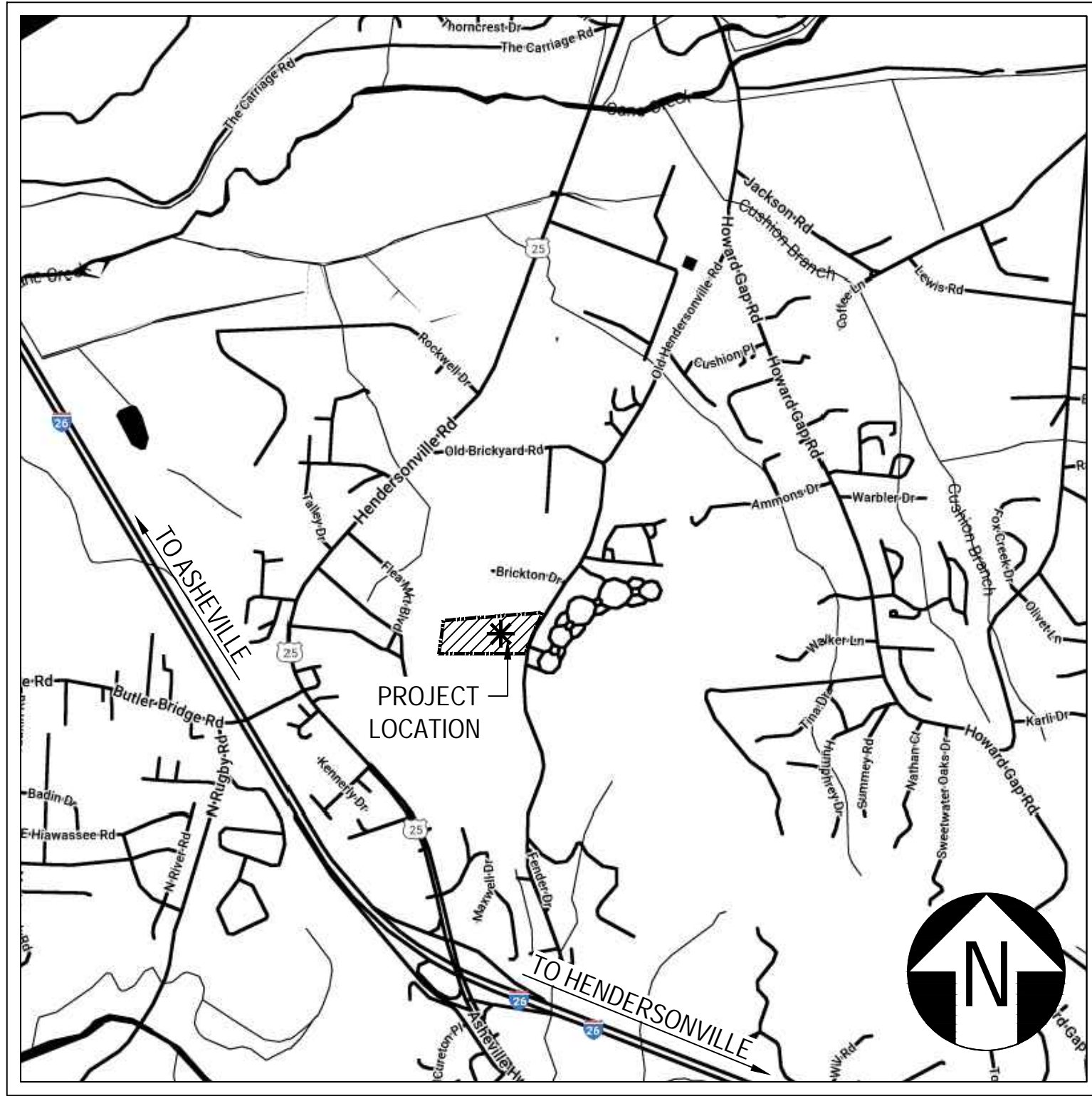
Special Use Permit \_\_\_\_\_

Location / Property to be developed: The parcel is located off Old Hendersonville Road (SR-1536) and south of Brickton Drive. At this location a 45,000 SF industrial warehouse building is to be constructed along with associated parking and utilities. The site is to be accessed via a connection to Brickton Drive through an existing right-of-way. The existing MSD sewerline on site will also be re-routed in order to accomodate this development. Water services are to be accessed via an existing waterline located on Old Hendersonville Road.

\*\*\*\*\*

**County Use Only**

Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Received by: \_\_\_\_\_



LOCATION MAP  
NOT TO SCALE

# PRELIMINARY PLANS FOR THE BRICKTON ROAD DEVELOPMENT OFF OLD HENDERSONVILLE ROAD, FLETCHER, NC 28732 TOWNSHIP OF HOOPERS CREEK HENDERSON COUNTY, NORTH CAROLINA JULY 20, 2023

PREPARED FOR:  
BRICKTON INDUSTRIAL, LLC  
129 ANGELINA LANE  
MILLS RIVER, NC 28759  
T: 828-450-3760  
CONTACT: ETHAN YOUNG

## SHEET INDEX

SHEET NO.	DESCRIPTION
-	COVER SHEET
C-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-2	SITE PLAN
C-3	GRADING & STORMWATER PLAN
C-4	UTILITY PLAN
L-1	LANDSCAPE PLAN

## REVISIONS

REVISION AND ISSUE NO.	SHEET NO.	DESCRIPTION	DATE
A - ISSUE 1	ALL	SUBMITTAL TO HENDERSON COUNTY ZONING FOR PLAN REVIEW	7/20/2023

**EARTHWORK SPECIFICATIONS:**

1. Clearing and Grubbing  
Clearing and grubbing shall consist of clearing the surface of the ground of the designated areas of all trees, logs, stags, limbs, undergrowth, heavy growth of grass, weeds, fence structures, debris and rubbish of any nature, natural obstructions such as objectionable soil material unsatisfactory for foundations. It shall also consist of grubbing of stumps, roots, foundations and disposal of all such material. All holes remaining after the grubbing operation in embankment areas and in excavation areas less than two (2) feet in depth, shall have sides broken down and leveled if necessary to flatten out slopes, rolled with acceptable material that is properly compacted in layers by tampers, rollers or construction equipment.

Burning site is not permitted without written approval of the local governing authorities having jurisdiction.

2. Existing trees and area outside of grading limits line  
Trees and vegetation to be saved shall be protected from damage by a fence barricade prior to, or during, clearing operations. Trees to be saved shall be designated by the owner. No trees are to be removed from the area outside the limits of grading or from specifically designated areas within the construction areas. If, in the opinion of the engineer, a contractor damages a tree not to be removed, the contractor will be fined a predetermined amount for each damaged tree. The contractor shall also be responsible for all costs associated in removing the damaged trees from the site.

3. Fill  
All vegetation such as roots, brush, heavy growth of grass, topsoil, all decayed vegetable matter, rubbish, and other unsuitable material within the area upon which fill is to be placed shall be stripped or otherwise removed before the fill operation is started. In no case shall unsuitable material remain in or under the fill area. Sloped ground surface less than one vertical to four horizontal, on which fill is to be placed, shall be placed, stepped or benched in such a manner that the fill to be placed shall be 95 percent of the maximum laboratory dry density according to standard proctor (ASTM D 159, ASTM D-698). Moisture content shall be within 2 percent of the optimum moisture content. Proposed fill areas to be filled or on which structures are to be placed. A loaded dump truck or other rubber tired equipment shall be used proof-rolling. Overlapping passes of a vehicle should be made across the site in one direction and then perpendicular to the original direction of rolling.

Any yielding, pumping or soft areas should be cut out and replaced with fill compacted as described herein.

The proposed fill should be limited to soils classified in accordance with ASTM D-2487 as GM, GC, SW, SM, SC, ML and CL. Soil classified as PT, OH, OL, CH and MH are not satisfactory as compacted fill.

Fills and embankments shall be constructed at the locations and to the lines and grades indicated on construction plans. The slope shall not exceed two feet horizontal to one foot vertical. The completed fill shall correspond to the shape of the typical sections indicated on the construction plans. Material removed from the excavation shall be used in forming the fill. Fill material shall be reasonably free from roots, other organic material, trash and stones having maximum dimensions greater than 6 inches (4 inches in trenches for utilities). No frozen material will be permitted in the fill. Stones having a maximum dimension of 4 inches will not be permitted in the upper six inches of fill or embankment or utility trench. The material shall be placed in successive horizontal layers not more than 8 inches thick, unless otherwise noted, in loose depth for the width of the cross-section and shall be compacted to at least 95 percent of the maximum laboratory dry density according to standard proctor (ASTM D-698, AASHTO T-99). Moisture shall be within 2 percent of the optimum moisture content. The top 12 inches of the paving, parking and/or roadway sub-grade shall be compacted to 95 percent of the maximum dry density (standard proctor). Each lift shall be rolled with a vibratory roller, a sheepfoot roller, or a loaded rubber tired dump truck, scraper or loader. If the soil is too dry, a water truck with spreader bar or spray hose shall be used to bring the soil to the proper moisture range. The water shall be thoroughly and properly mixed with the soil prior to compaction.

Storm drain pipes shall be placed on a firm bottom and hand tamped to shore up the pipe. A cushion of soil shall be tamped above the crown of the pipe in accordance with the pipe manufacturer's recommendations so that the heavier construction equipment can then be used to bring the soil to a density as described above for fill areas.

If soils investigation report is provided, then follow the recommendations of the report if they exceed the recommendations of these specifications.

4. Topsoil  
Unless otherwise specified, areas designated for grading operations that contain a blanket of topsoil shall be stripped and placed in convenient stockpiles for later use as a topsoil blanket on the new graded areas specified herein, or as designated. Topsoil shall be stripped from all areas designated to receive fill. The stripping of material for topsoil shall be carefully determined and only the quantity required shall be stockpiled. Material stockpiled shall be stored in a satisfactory manner to afford proper drainage. When grading operations permit, instead of stockpiling, the topsoil shall be hauled and spread directly on the areas designated to receive topsoil.

5. Rock excavation  
If rock is encountered, clear away earth to expose material. Notify owner and receive written instructions prior to excavation. Remove rock to a depth of 6 inches below and 8 inches on each side of pipes in trenches. A measurement of the extent of rock to be removed shall be made. Rock excavation shall be paid for in accordance with agreement with the owner.

**CONSTRUCTION NOTES:**

- The drawings and specifications are intended to cover a complete project, ready to use, and all items necessary for a complete and workable job shall be furnished and installed. Any discrepancy shall be immediately reported to the owner or his representative.
- All work shall comply with all applicable local, state, and federal codes. The contractor, at his expense shall obtain all necessary licenses and permits, unless already obtained by the owner.
- The contractor shall coordinate location and installation of all underground utilities and appearances to minimize disturbing curbing, paving and all other utilities.
- The existing utilities shown are for the contractor's convenience only. There may be other utilities not shown on these drawings. The utilities shown are based on the best available information and surface evidence where available. The engineer assumes no responsibility for the location of the utilities shown. It shall be the contractor's responsibility to verify the locations of all utilities within the limits of work. All damage made to existing utilities by the contractor shall be the sole responsibility of the contractor.
- Deviations from these plans and specifications without prior consent of the engineer and the municipality may be cause for the work to be unacceptable.
- All materials shall be new unless used or salvaged materials are authorized by the owner.
- The contractor shall furnish and maintain all necessary barricades around the work and shall provide protection against water damage and soil erosion.
- All work shall be performed in a finished and workmanlike manner to the entire satisfaction of the owner, and in accordance with the best recognized trade practices.
- The contractor shall provide shoring and shoring for all trench construction in accordance with OSHA guidelines.
- All pipe lengths shown are to the centerline of the structures unless specifically noted.
- Pipes (storm and sanitary sewer) shall be laid on smooth, continuous grades with no visible bends at the joints.
- Bedding requirements specified herein are to be considered as minimum required for relatively dry stable earth conditions. Additional bedding shall be required for rock trenches to provide such additional bedding as required to properly construct work.
- All storm drainage inlet structures shall have metal ring and cover for access.
- All angles shown are 90 degrees unless shown otherwise.
- All grades shown are finished grades. Contractor shall verify dimensions, grades, and existing elevations prior to construction.
- Concrete curbs shall be constructed in accordance with the details shown on plans. Materials, equipment, methods of construction and workmanship shall conform to state D.O.T. standard specifications.
- All concrete shall have 3000-PSI compressive strength after 28 days, with a maximum slump of four (4) inches, unless specified otherwise.
- All exposed concrete shall have a fine hair broomed finish.
- Parking and driveway base course and asphaltic concrete surface and prime materials, equipment, methods for construction and workmanship shall conform to state D.O.T. standard specifications.
- Contractor to field verify all storm, sanitary, water and other utilities locations and inverts prior to installation of any utilities. Notify engineer prior to proceeding with any work if discrepancies found.
- Contractor shall notify the proper local authorities 24 hours prior to any road being closed for construction, including but not limited to local newspaper, radio station, fire department, county sheriff's department, ambulance service, and county emergency agency. All traffic control shall conform to the requirements of NCDOT.
- All fence damaged during construction shall be replaced with like materials in a workmanlike manner and in accordance with standard fence construction practices at the contractor's expense.
- Contractor shall be responsible for any damage to existing roads during construction and shall repair road per requirements of NCDOT. No open cuts of existing roads shall be allowed except where indicated on the drawings or where specific permission is granted by NCDOT.

**SOIL EROSION AND SEDIMENT CONTROL NOTES:**

- Provisions to prevent erosion of the soil from the site shall conform to the requirements of the "North Carolina Sedimentation Pollution Control Act of 1972" as shown herein and stipulated in the "Erosion and Sediment Control Planning and Design Manual". Installation shall be in a manner so as to minimize erosion of the disturbed areas and prevent sediment from leaving the site.
- The contractor shall incorporate all temporary and permanent erosion control measures into the project at the earliest practicable time during construction. The erosion control measures detailed herein shall be continued until permanent drainage structures have been installed and until grass on planted shoulders and slopes is sufficiently established to be an effective erosion deterrent. The sediment removed from the control structures shall be evenly distributed outside construction limits. Disposed sediment shall be permanently grassed.
- Temporary and permanent vegetative cover shall be installed in accordance with the requirements of Chapter 6, Section 10 - Temporary Seeding, and Section 11 - Permanent Seeding of the "Planning and Design Manual" as described in note no. 1 above.
- The contractor shall not restrict the use of silt fences or any other means of erosion control to the locations shown on these plans. Moreover, the contractor should constantly be aware of minimizing soil erosion and use erosion control means accordingly. The contractor shall promptly repair, improve or add erosion control measures as required by the local reviewing agency.
- Divert all runoff to the erosion control devices shown on the drawings.
- Provide daily maintenance of erosion control devices to maintain their function at all times.
- Any disturbed area left exposed for a period greater than fourteen (14) days shall be stabilized with mulch or temporary seeding.
- All silt fences must be installed immediately following clearing. No grading shall be performed until silt fence installation is complete.
- Additional sediment control measures may be required based on actual field conditions as per local governing authorities.
- All erosion control measures shall be checked and maintained daily.
- Maximum cut and fill slopes shall be two (2) foot horizontal to one (1) foot vertical, unless otherwise noted.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.

**PROJECT NOTES:**

OWNER:  
Brickton Industrial, LLC  
129 Angelina Lane  
Mills River, NC 28759  
T: 828-450-3760  
Contact: Ethan Young  
Email: ethan@ryseconstruct.com

ENGINEER:  
High Country Engineering, P.C (C-3347)  
81 Central Avenue  
Asheville, North Carolina 28801  
T: 828-230-4511  
Contact: Michael R. Goforth, PE  
Email: mgoforth@hccpc.net

- Property located in Henderson County, North Carolina. Property address is Off Old Hendersonville Road, Fletcher, NC 28732
- PIN Number: 9652-52-3138
- Zoning: Industrial (I) by Henderson County.
- Deed Book: 4037 and Page 469. Plat Book: 2017, Page 10965
- Proposed use is for industrial warehouse.
- Project Coordinates: 35°40'03" N, 82°52'06" W
- The receiving water course for this project is an Unnamed Tributary to Crane Creek. At the confluence, Crane Creek, Stream Index 6-51 (9), is a Class C water as classified by NCEQ.
- Total tract contains over ±3.34 acres disturbed area ±2.80 acres. Total new impervious area = ±1.98 acres (91.3%).
- Boundary & Topographical information obtained from survey by Michael L. John, PLS # L-5474 of Tuckaseegee Land Surveying and dated April 11th, 2023.
- Contour interval is 1 foot.
- This property is shown on F.I.R.M. parcel number 37009652001, dated October 2nd, 2008 and is not located within a special flood hazard zone "X" or "AE".
- The location of underground utilities shown is approximate based on surface field evidence and information supplied by utility agencies. The survey makes no certification as to the completeness of the locations shown herein. Appropriate utility companies should be contacted for verification of locations prior to any construction activity.
- The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.
- Contractor shall notify the engineer and owner/developer of any information found in the field that is different from what is shown on these design plans.



HIGH COUNTRY ENGINEERING, P.C.  
81 CENTRAL AVENUE  
ASHEVILLE, NORTH CAROLINA 28801

T: 828.230.4511  
F: 828.348.5040  
FIRM NO.: C-3347

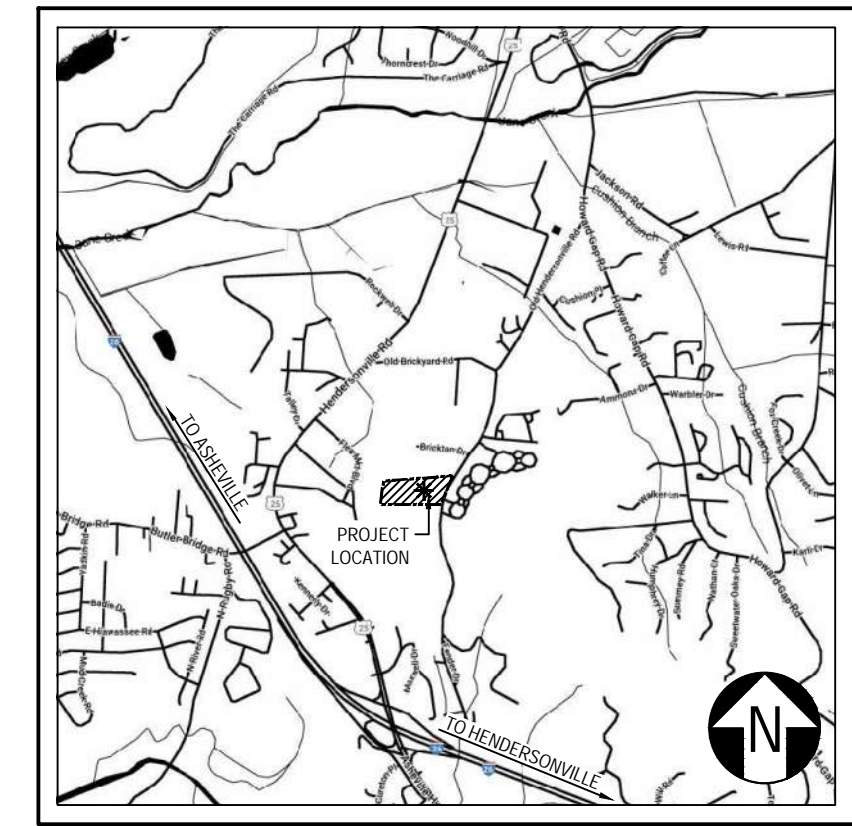


CONSTRUCTION PLANS  
FOR THE  
BRICKTON ROAD DEVELOPMENT  
Off Old Hendersonville Road, Fletcher, NC 28732  
TOWNSHIP OF HOOPERS CREEK  
HENDERSON COUNTY, NORTH CAROLINA  
JULY 20, 2023

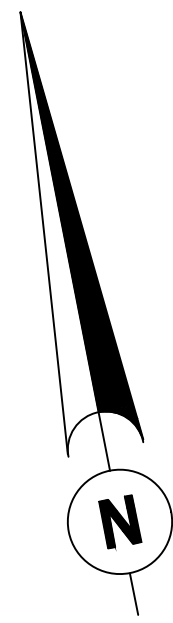


**LEGEND**

SYMBOL	DEVICE NAME
	EXISTING MANHOLE
	POWER POLE
	CLEAN OUT
	PROPOSED MANHOLE
	EXISTING FIRE HYDRANT



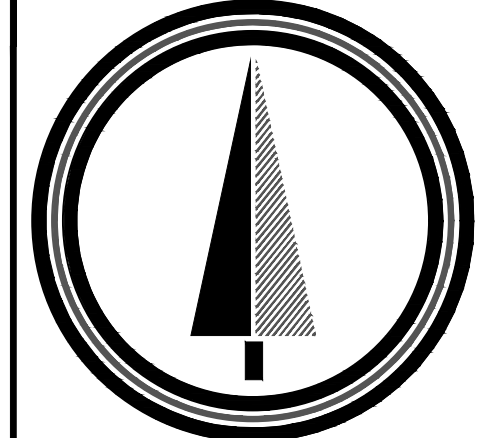
LOCATION MAP  
NOT TO SCALE



PRELIMINARY PLANS FOR  
**BRICKTON ROAD DEVELOPMENT**

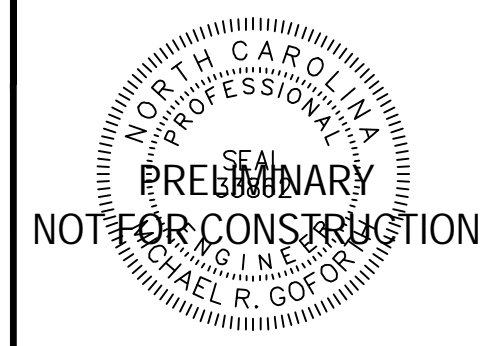
for  
**BRICKTON INDUSTRIAL, LLC**  
Henderson County, North Carolina

REVISION DESCRIPTION	
DATE	
BY	



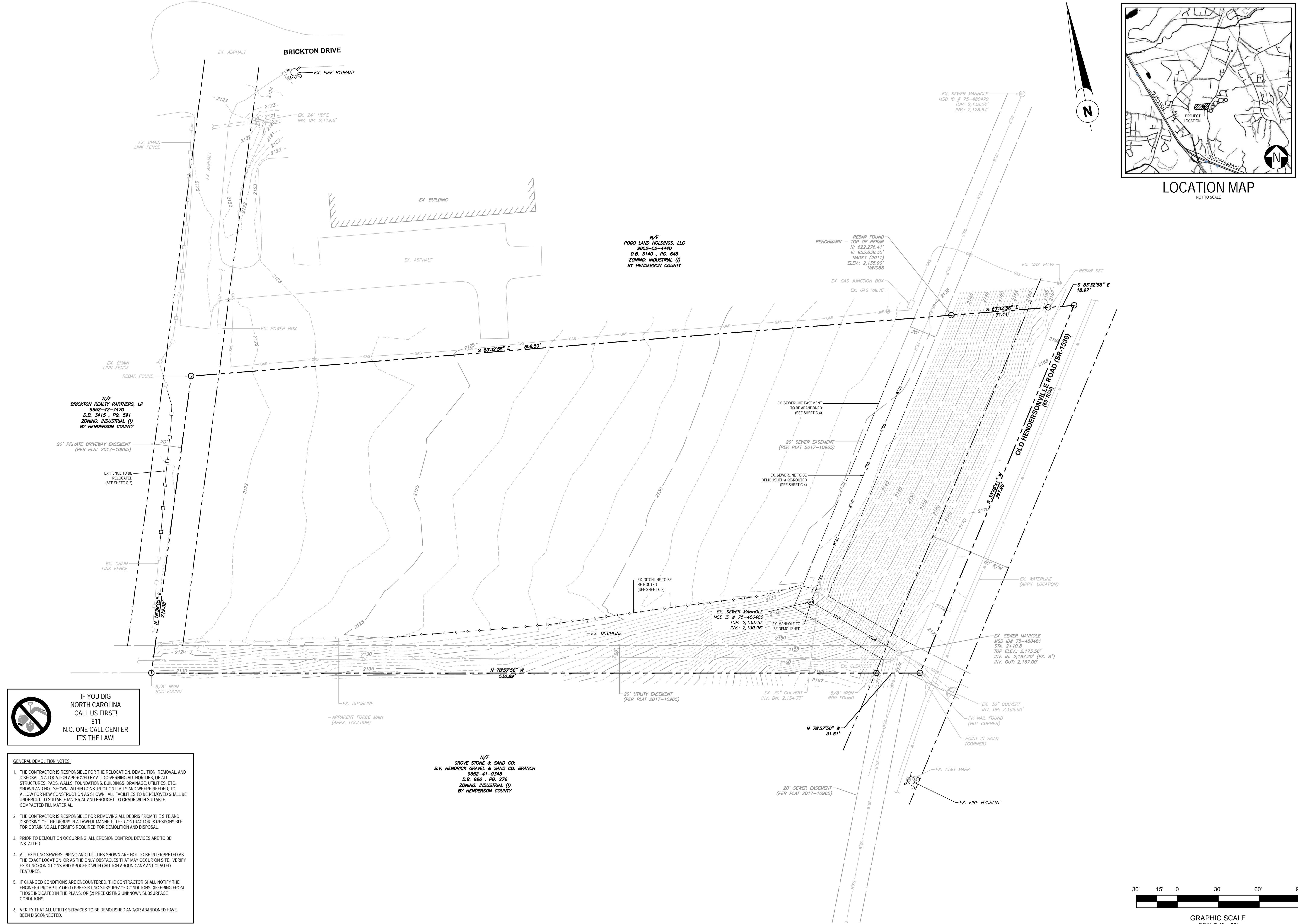
**HIGH COUNTRY ENGINEERING**

HIGH COUNTRY ENGINEERING, P.C.  
81 CENTRAL AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
T: 828.230.4511  
F: 828.348.5040  
NC FIRM NO.: C-3347



**BRICKTON ROAD DEVELOPMENT**  
SHEET TITLE:  
**EXISTING CONDITIONS & DEMOLITION PLAN**


PROJECT NO. RYS006	SHEET NO. C-1
DATE: 7/20/2023	of 5
ISSUE No. A-1	



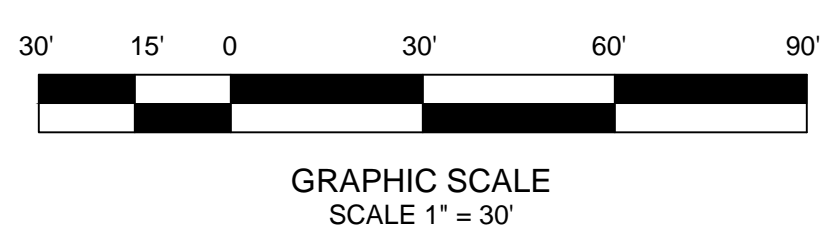
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POGO LAND HOLDINGS, LLC  
9652-52-4440  
D.B. 3140, PG. 648  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

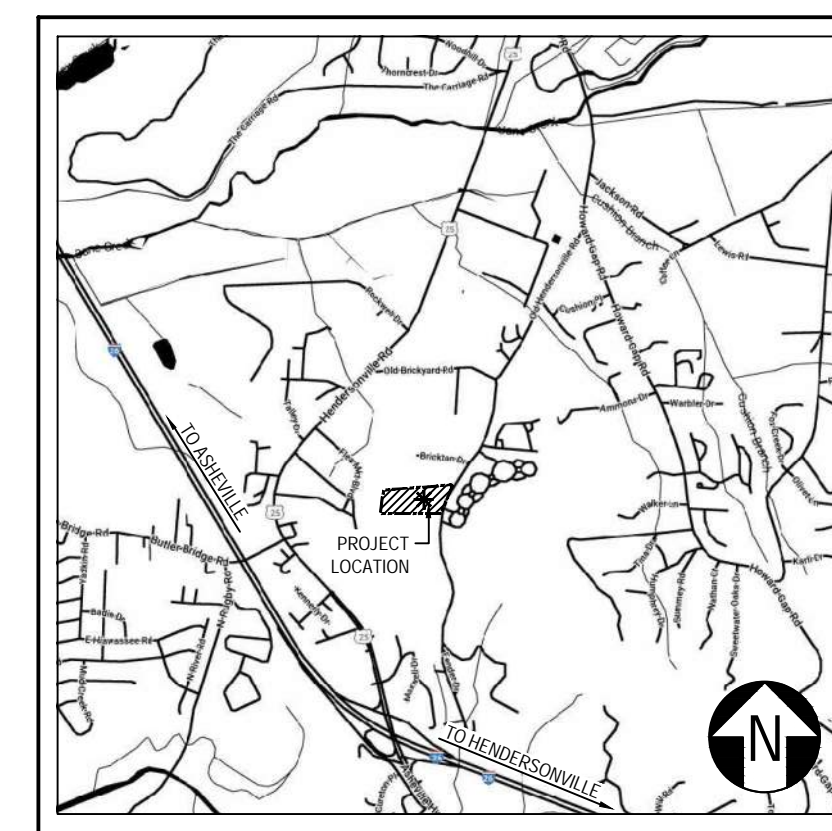
N/F  
BRICKTON REALTY PARTNERS, LP  
9652-42-7470  
D.B. 3415, PG. 391  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

N/F  
GROVE STONE & SAND CO.  
B.V. HENDRICK GRAVEL & SAND CO. BRANCH  
9652-41-9348  
D.B. 998, PG. 278  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

 IF YOU DIG  
NORTH CAROLINA  
CALL US FIRST!  
811  
N.C. ONE CALL CENTER  
IT'S THE LAW!

- GENERAL DEMOLITION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION, DEMOLITION, REMOVAL AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, BUILDINGS, DRAINAGE, UTILITIES, ETC., SHOWN AND NOT SHOWN, WITHIN CONSTRUCTION LIMITS AND WHERE NEEDED, TO ALLOW FOR NEW CONSTRUCTION AS SHOWN. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
  2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
  3. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
  4. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES.
  5. IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PROMPTLY OF (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS.
  6. VERIFY THAT ALL UTILITY SERVICES TO BE DEMOLISHED AND/OR ABANDONED HAVE BEEN DISCONNECTED.





LOCATION MAP  
NOT TO SCALE

BRICKTON ROAD DEVELOPMENT

for BRICKTON INDUSTRIAL, LLC

Henderson County, North Carolina

PRELIMINARY PLANS FOR:

REVISION DESCRIPTION

Issue 1 - Submittal to Henderson County Zoning for Plan Review

DATE: 7/20/2023

BY: A

NO. 1

DATE

BY

NO.

DATE

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NO.

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BY

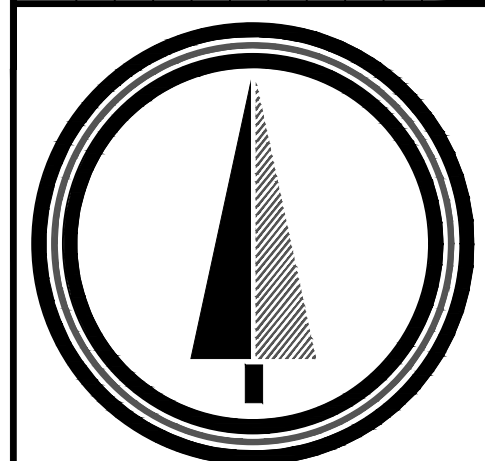
NO.

DATE

HENDERSON COUNTY SITE DEVELOPMENT NOTES:  
- There are no existing wetland areas located on this site.  
- Total Number of Units: 1 - 45,000 SF Building  
- Total Road Frontage: 292 LF (Along Old Hendersonville Road, SR-1536)  
- Lot Setbacks:  
- Front: 20'  
- Side: 20'  
- Rear: 20'

PARKING DATA: Off-Street Parking (Per Sec. 42-193, Table 6.1) and Off-Street Loading (Per Sec. 42-196, Table 6.2) requirements and provided details.

PROJECT NOTES: 1. Property located in Henderson County, North Carolina... 2. PIN Number: 9652-52-3138... 3. Zoning: Industrial (I) by Henderson County... 4. Deed Book: 4037 and Page 469, Plat Book: 2017, Page 10965... 5. Proposed use is for industrial warehouse... 6. Project Coordinates: 35+40308' N, 82+52665' W... 7. The receiving water course for this project is an unnamed tributary to Cane Creek... 8. Total tract contains over ±.34 acres of disturbed area ±.280 acres... 9. Boundary & Topographical information obtained from survey by Michael L. John, PLS # L-5474 of Tuckaseegee Land Surveying and dated April 11th, 2023... 10. Contour interval is 1 foot... 11. This property is shown on F.I.R.M. panel number 37009652000, dated October 2nd, 2008 and is not located within a special flood hazard zone "X" or "AE"... 12. The location of underground utilities shown is approximate based on surface field evidence and information supplied by utility agencies... 13. The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction... 14. Contractor shall notify the engineer and owner/developer of any information found in the field that is different from what is shown on these design plans.



HIGH COUNTRY ENGINEERING

HIGH COUNTRY ENGINEERING, P.C.  
81 CENTRAL AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
T: 828.230.4511  
F: 828.348.5040  
NC FIRM NO.: C-3347



BRICKTON ROAD DEVELOPMENT

SHEET TITLE:

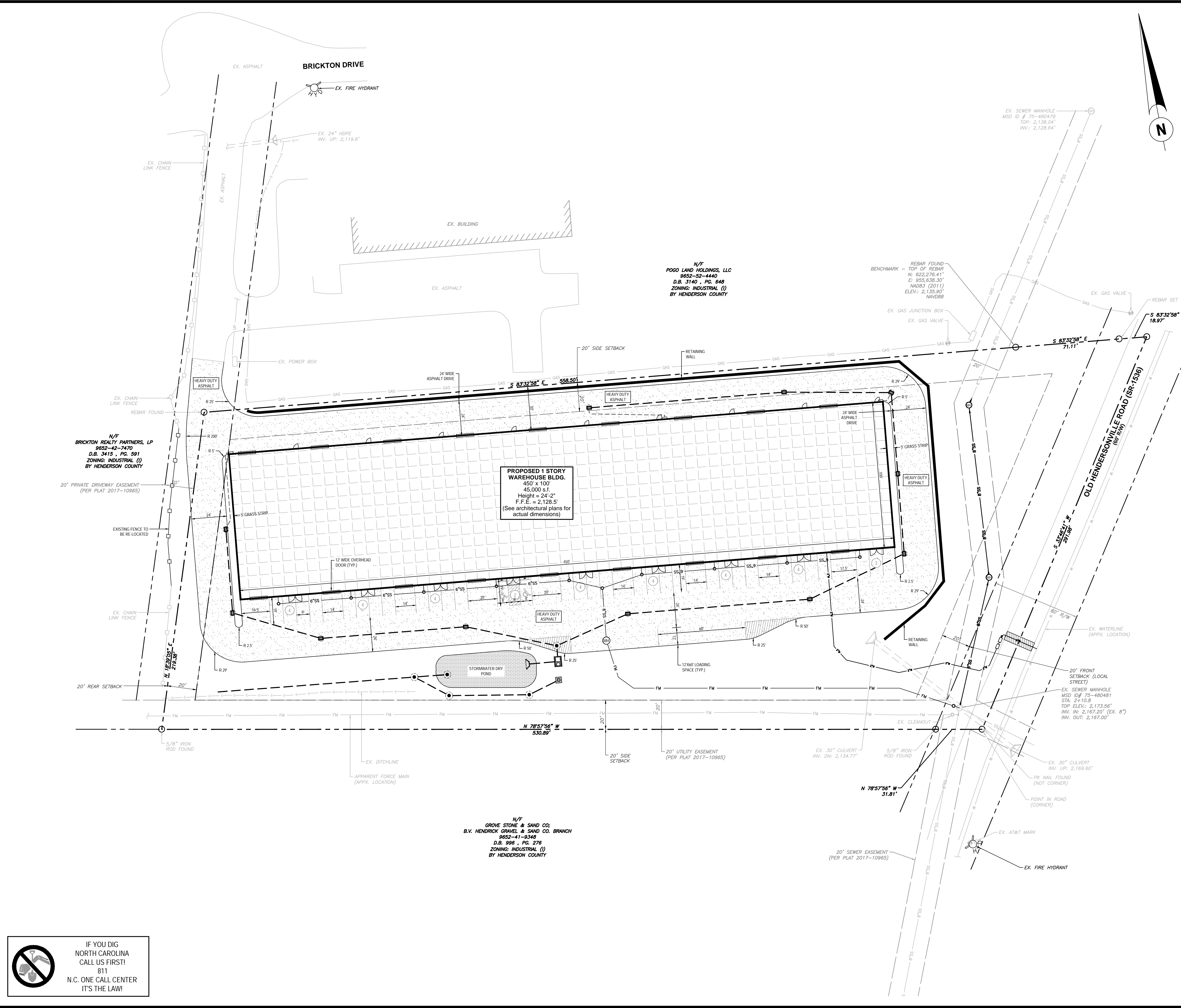
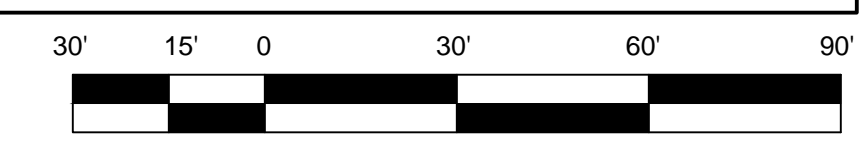
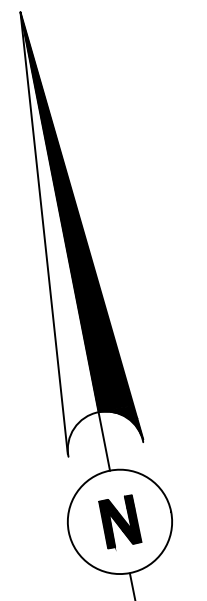
SITE PLAN

PROJECT NO. RYS006

DATE: 7/20/2023

ISSUE No. A-1

SHEET NO. C-2 of 5

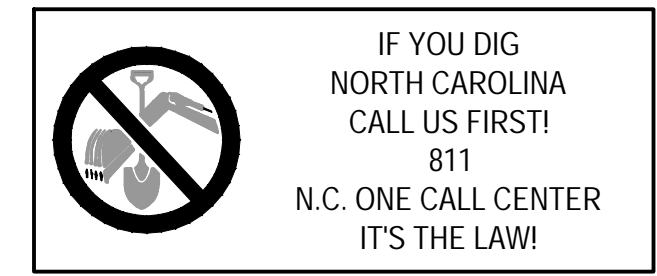


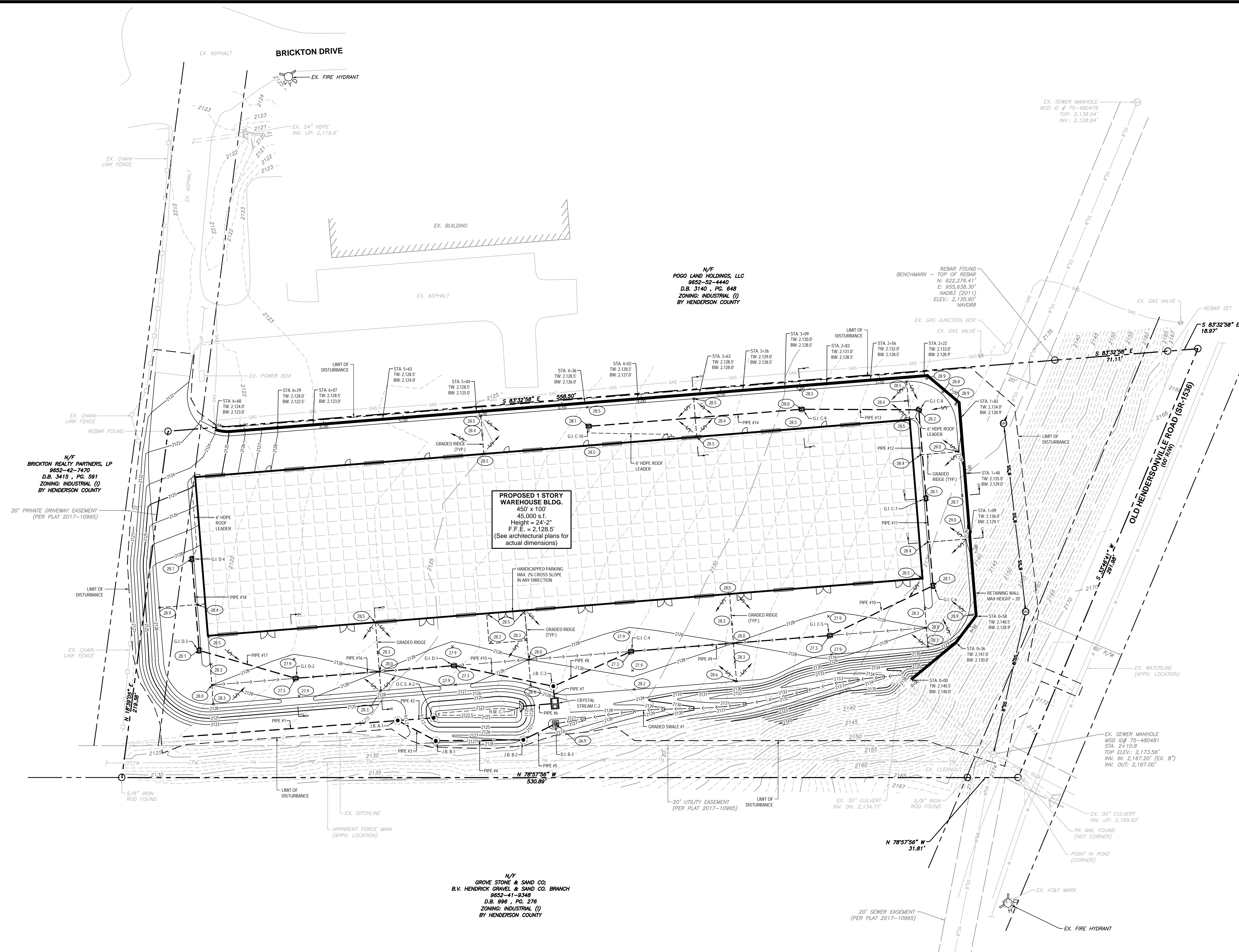
N/F  
POGO LAND HOLDINGS, LLC  
9652-52-4440  
D.B. 3140, PG. 648  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

N/F  
BRICKTON REALTY PARTNERS, LP  
9652-42-7470  
D.B. 3415, PG. 301  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

PROPOSED 1 STORY  
WAREHOUSE BLDG.  
450' x 100'  
45,000 s.f.  
Height = 24'-2"  
F.F.E. = 2,128.5'  
(See architectural plans for  
actual dimensions)

N/F  
GRIVE STONE & SAND CO;  
B.V. HENDRICK GRAVEL & SAND CO. BRANCH  
9652-41-9348  
D.B. 998, PG. 278  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY





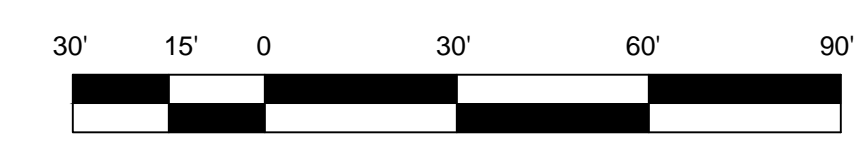
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BRICKTON REALTY PARTNERS, LP  
9652-42-7470  
D.B. 3415, PG. 591  
ZONING: INDUSTRIAL (I)  
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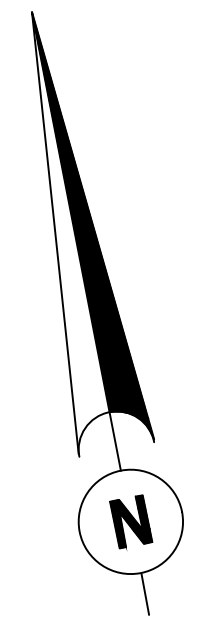
N/F  
GROVE STONE & SAND CO;  
B.V. HENDRICK GRAVEL & SAND CO. BRANCH  
9652-41-9348  
D.B. 996, PG. 276  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

N/F  
POGO LAND HOLDINGS, LLC  
9652-52-4440  
D.B. 3140, PG. 648  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

EARTHWORK VOLUMES	
CUT:	5,187 CY
FILL:	7,483 CY
NET:	2,296 CY (FILL)



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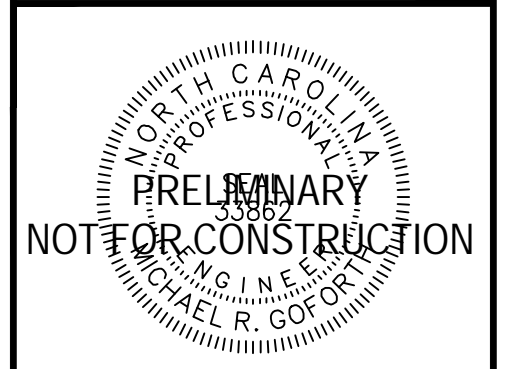
PRELIMINARY PLANS FOR  
**BRICKTON ROAD DEVELOPMENT**  
for  
**BRICKTON INDUSTRIAL, LLC**  
Henderson County, North Carolina

REVISION DESCRIPTION	DATE
Issue 1 - Submittal to Henderson County Zoning for Plan Review	7/20/2023



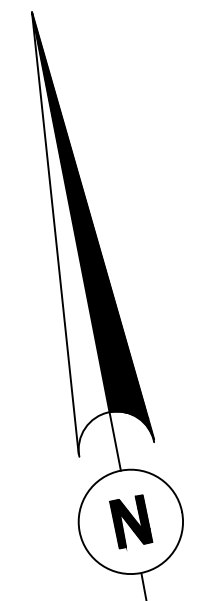
**HIGH COUNTRY  
ENGINEERING**

HIGH COUNTRY ENGINEERING, P.C.  
81 CENTRAL AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
T: 828.230.4511  
F: 828.348.5040  
NC FIRM NO.: C-3347



BRICKTON ROAD DEVELOPMENT  
SHEET TITLE:  
**GRADING &  
STORMWATER PLAN**

PROJECT NO.	SHEET NO.
RYS006	C-3
DATE: 7/20/2023	of 5
ISSUE No. A-1	



BRICKTON ROAD DEVELOPMENT  
for  
BRICKTON INDUSTRIAL, LLC  
Henderson County, North Carolina

PRELIMINARY PLANS FOR:

REVISION DESCRIPTION	
DATE	
BY	
APP	

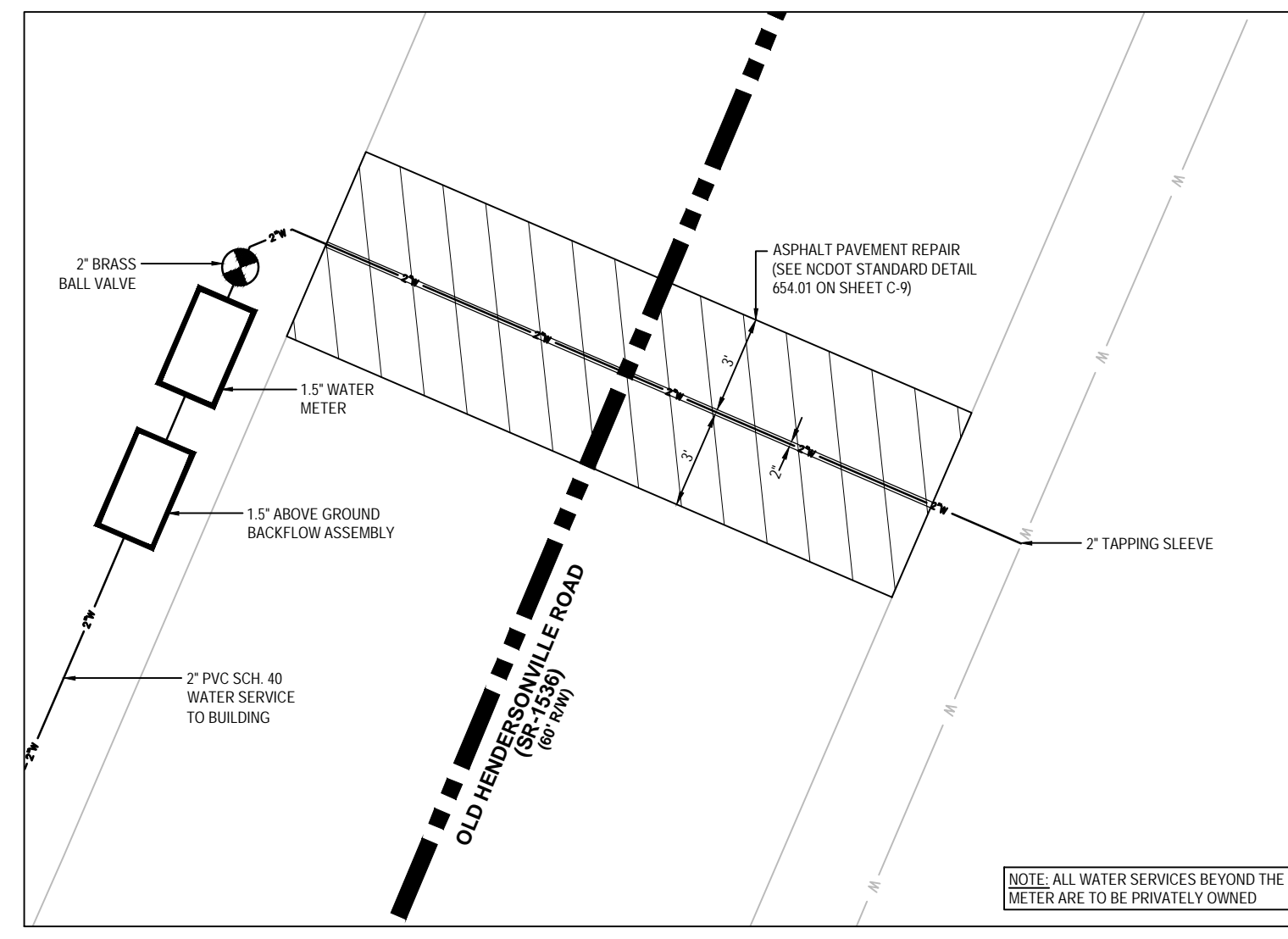
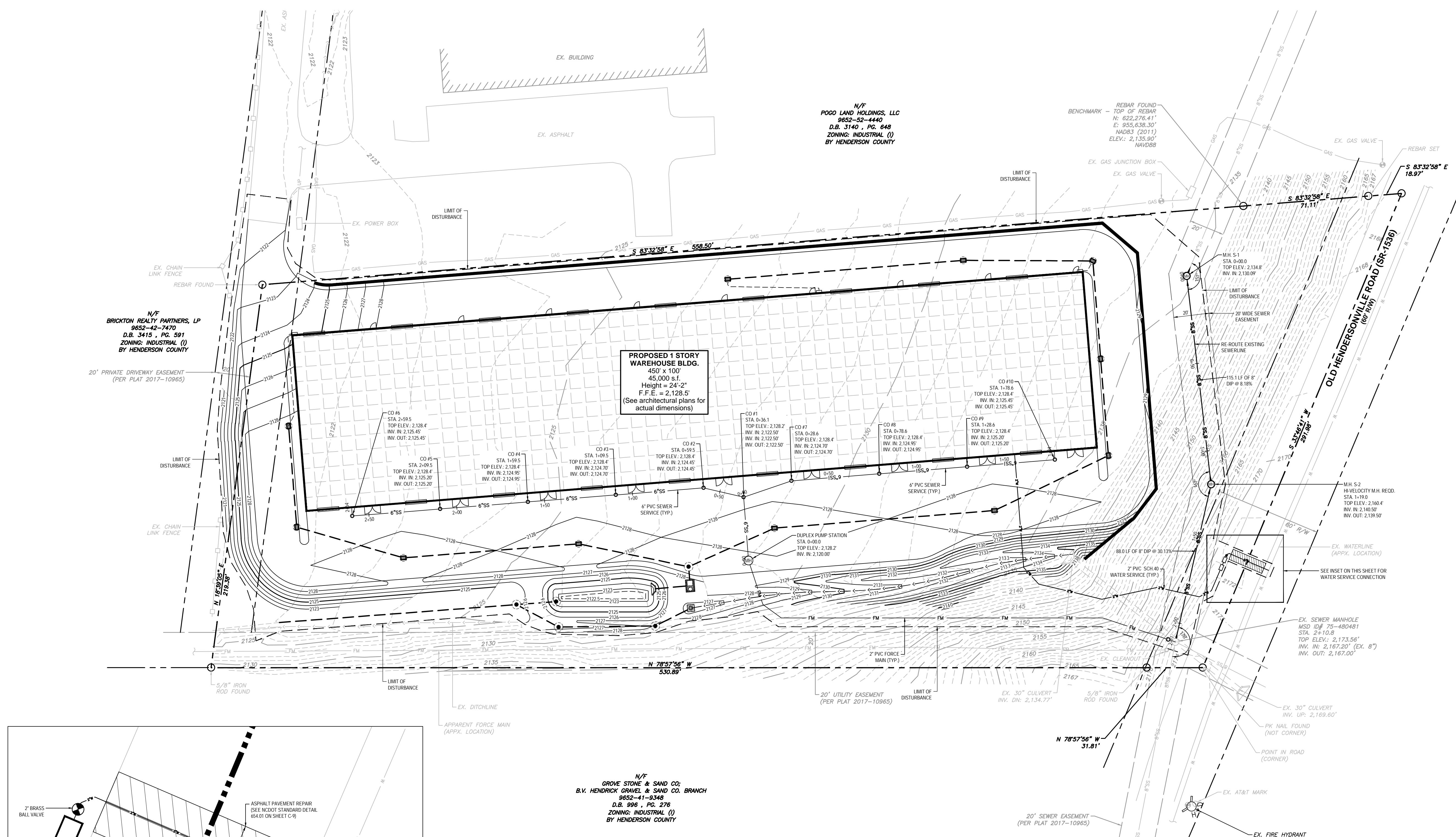
**HIGH COUNTRY ENGINEERING**

HIGH COUNTRY ENGINEERING, P.C.  
81 CENTRAL AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
T: 828.230.4511  
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NC FIRM NO.: C-3347

PRELIMINARY  
NOT FOR CONSTRUCTION

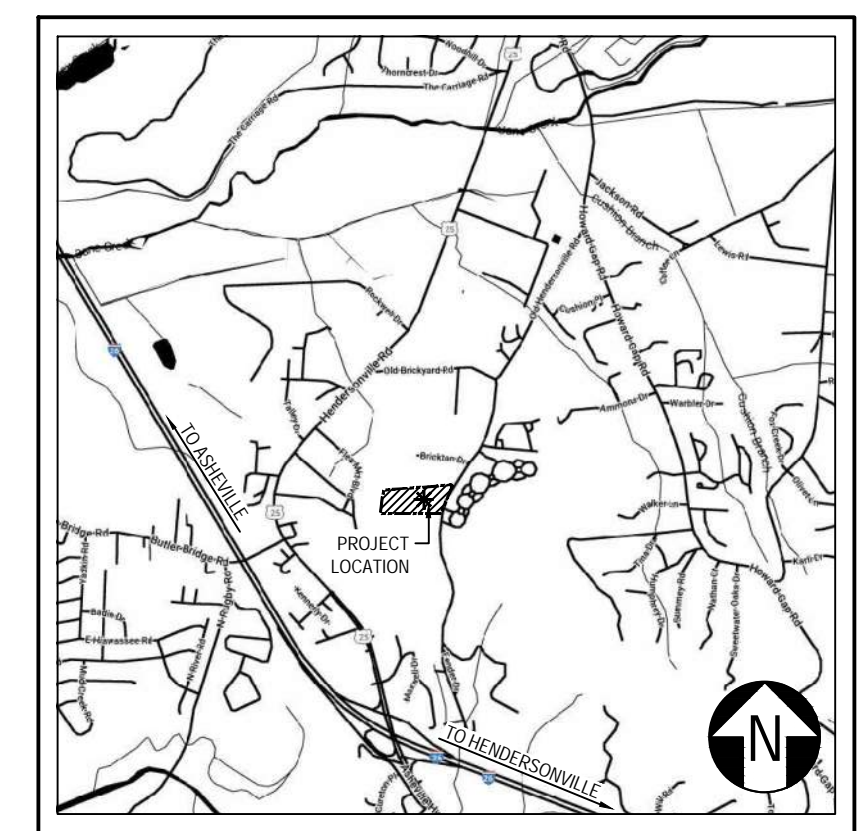
MICHAEL R. GSPOTT  
REGISTERED PROFESSIONAL ENGINEER  
NORTH CAROLINA

BRICKTON ROAD DEVELOPMENT	
SHEET TITLE:	
UTILITY PLAN	
PROJECT NO. RYS006	SHEET NO. C-4
DATE: 7/20/2023	of 5
ISSUE No. A-1	



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GRAPHIC SCALE  
SCALE 1" = 30'



LOCATION MAP  
NOT TO SCALE

BRICKTON ROAD DEVELOPMENT

for  
BRICKTON INDUSTRIAL, LLC

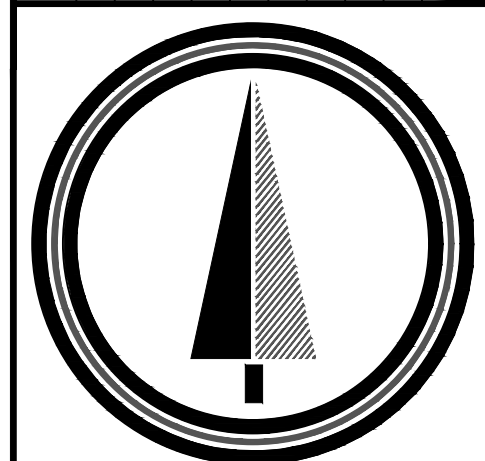
Henderson County, North Carolina

PRELIMINARY PLANS FOR:

REVISION DESCRIPTION

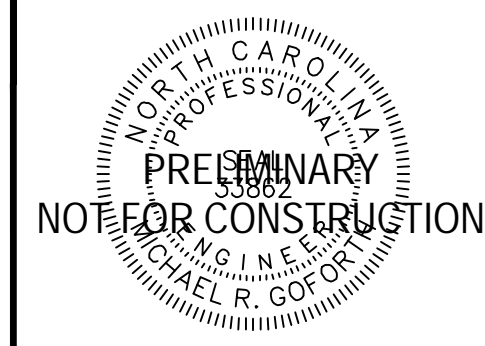
DATE	7/20/2023
BY	A

Issue 1 - Submittal to Henderson County Zoning for Plan Review



**HIGH COUNTRY ENGINEERING**

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81 CENTRAL AVENUE  
ASHEVILLE, NORTH CAROLINA 28801  
T: 828.230.4511  
F: 828.348.5040  
NC FIRM NO.: C-3347



BRICKTON ROAD DEVELOPMENT

SHEET TITLE:  
**LANDSCAPING PLAN**

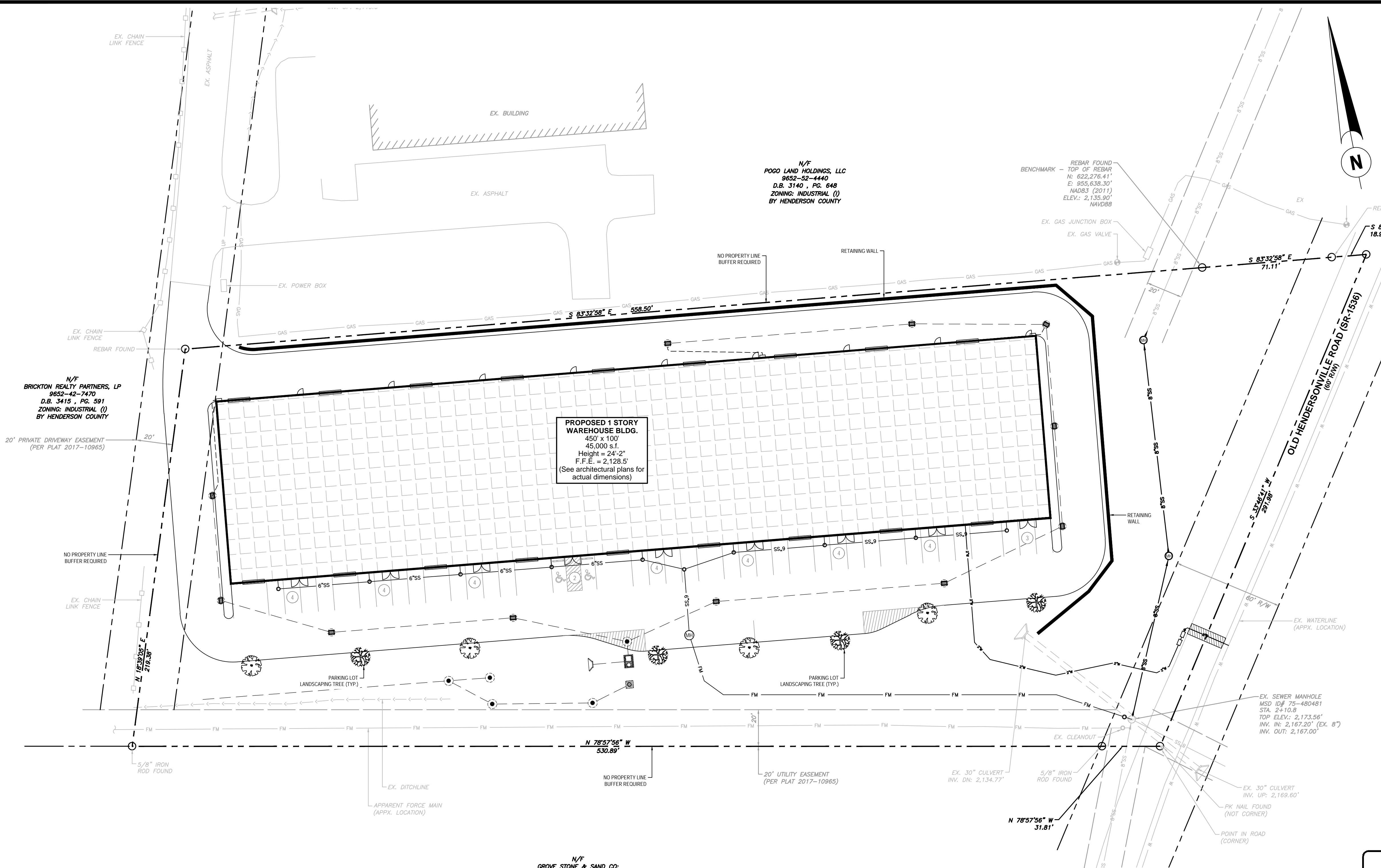
PROJECT NO:  
RYS006

DATE:  
7/20/2023

ISSUE NO. A-1

SHEET NO.  
L-1

of 5

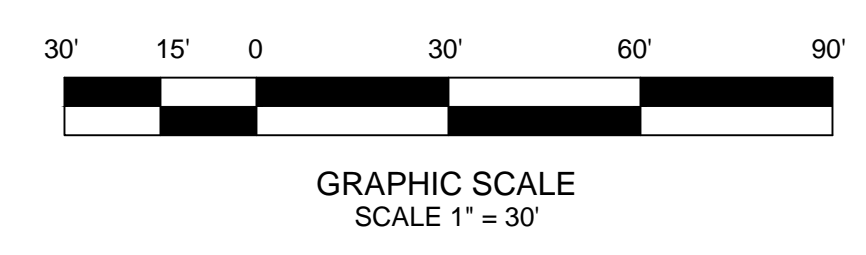


**PROPOSED 1 STORY WAREHOUSE BLDG.**  
450' x 100'  
45,000 s.f.  
Height = 24'-2"  
F.F.E. = 2,128.5'  
(See architectural plans for actual dimensions)

N/F  
BRICKTON REALTY PARTNERS, LP  
9852-42-7470  
D.B. 3415, PG. 591  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

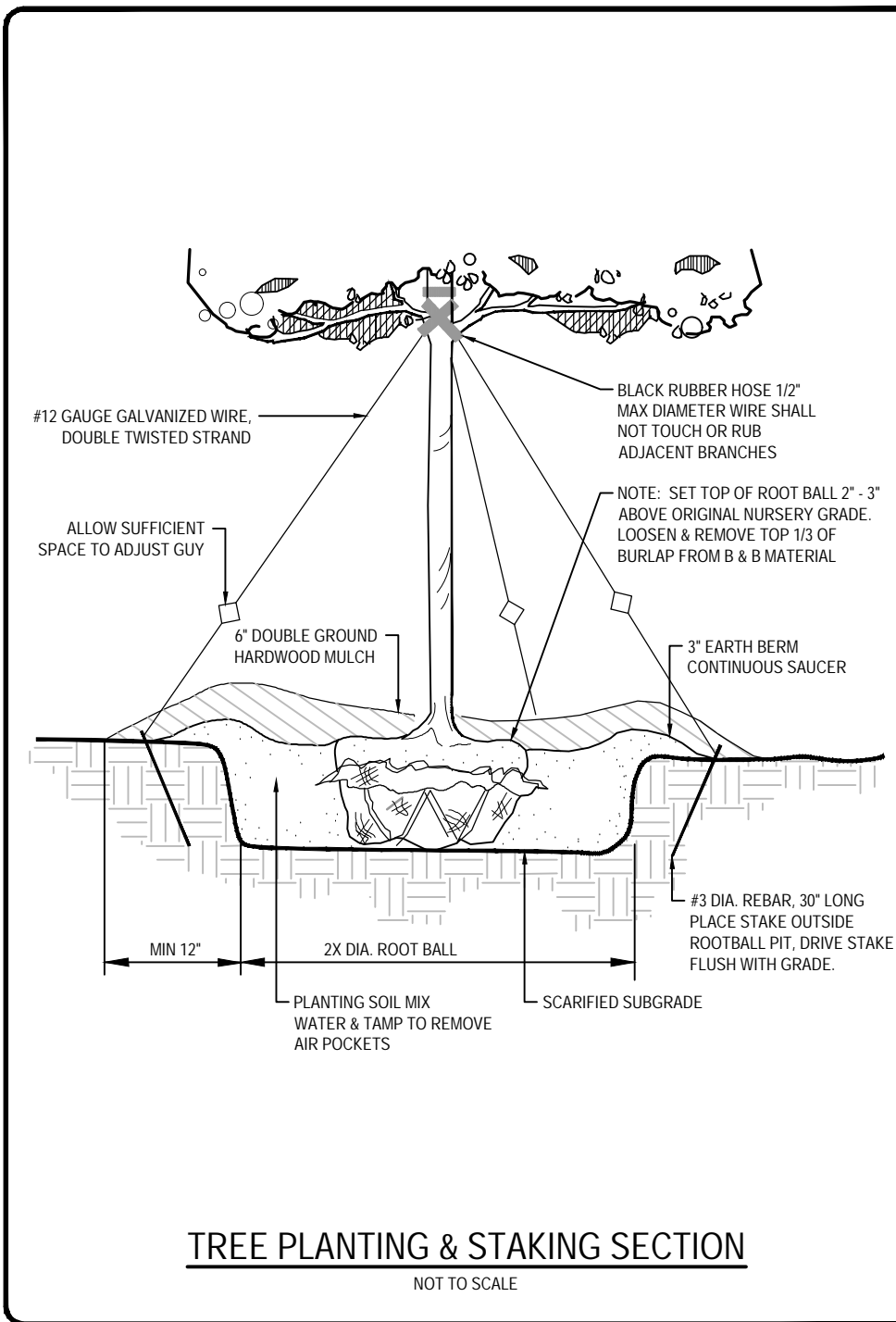
N/F  
POGO LAND HOLDINGS, LLC  
9852-32-4440  
D.B. 3140, PG. 648  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY

N/F  
GROVE STONE & SAND CO.  
B.V. HENDRICK GRAVEL & SAND CO. BRANCH  
9852-41-9348  
D.B. 290, PG. 276  
ZONING: INDUSTRIAL (I)  
BY HENDERSON COUNTY



**LANDSCAPING CALCULATIONS:**  
**BUFFER (Sec. 42-147):**  
Required: Property is zoned Industrial (I) by Henderson County, and shares boundaries with only parcels designated 'I' zoning. Therefore no property line buffer is required.  
Provided: No buffer required.  
**PARKING LOT LANDSCAPING (Sec. 42-171):**  
Required: 1 Large or Small Deciduous Tree Per 5 Parking Spaces  
30 Parking Spaces 1 Tree / 5 Spaces 8 Trees  
Provided: Deciduous Trees: 8 Trees  
**PLANTING STRIP (Sec. 42-172):**  
Required: Planting strip required in locations where no property line buffer is required AND parking is located within 20' of the property line. No locations on this site meet this criteria. Planting strip not required.  
Provided: No Planting Strip Required.  
**STREET TREES (Sec. 42-174):**  
Required: Street trees only required for Major Subdivisions (Per Sec. 42-174). This is a single parcel commercial development. No Street Trees Required.  
Provided: No Street Trees Required.  
**SCREENING (Sec. 42-178):**  
Required: No uses on this parcel require additional screening.  
Provided: No screening Required.

**GENERAL LANDSCAPE NOTES:**  
\* ALL PLANT MATERIALS TO BE NURSERY GROWN, HEALTHY, FREE OF PEST & DISEASE AND SHALL CONFORM TO ALL REQUIREMENTS SPECIFIED.  
\* ALL PLANT SPECIES AND PLANT MATERIAL ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE DURING AND AFTER INSTALLATION. ALL REJECTED PLANT MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE.  
\* ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE OWNER BEFORE, DURING AND AFTER INSTALLATION. ALL REJECTED PLANT MATERIAL SHALL BE PROMPTLY REMOVED FROM THE SITE.  
\* ALL PLANTING TECHNIQUES SHALL CONFORM TO THE APPLICABLE DETAIL.  
\* DO NOT PLANT SHRUBS OR GROUNDCOVERS IN TREE PITS OR EARTH BERM SAUCERS.  
\* JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, INCLUDING ALL SUBCONTRACTORS.  
\* THE LANDSCAPE CONTRACTOR SHALL BARE AND SMOOTH TOPSOIL. ALL AREAS TO BE PLANTED, INCLUDING LAWN, PROVIDING A SMOOTH SURFACE WHICH WILL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WALKS, TO CURBS AND OTHER DRAINAGE STRUCTURES.  
\* PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES, HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS PRACTICABLE WITHOUT ADDITIONAL COMPENSATION.  
\* ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60).  
\* THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK INCLUDING WATERING, SPRINKLING FOR INSECTS AND DISEASES, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING DURING INSTALLATION AND UNTIL ACCEPTANCE BY THE OWNER.  
\* THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS PRACTICABLE WITH LIKE KIND AND AT NO CHARGE TO THE OWNER.  
\* THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM TOPSOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL.  
\* ALL PLANTING AREA: SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY THE OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.  
\* ALL DISTURBED AREAS OF THE SITE SHALL BE EITHER GRASSES OR PLANTED IMMEDIATELY AFTER GRADING IN ORDER TO PREVENT SOIL EROSION. A PERMANENT VEGETATION COVER SHALL BE PROVIDED THROUGHOUT ALL UNPAVED AREAS OF SITE, ADJACENT DISTURBED AREAS AND RIGHT-OF-WAY (R.O.W.) ALL WORK WITHIN ANY R.O.W. SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTIONS.



TREE PLANTING & STAKING SECTION  
NOT TO SCALE

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SYM.	QTY.	BOTANICAL NAME	COMMON NAME	NOTES	TYPE
	4	ACER RUBRUM	RED MAPLE	PARKING LOT TREE	LRG. DECIDUOUS
	4	ACER SACCHARUM	SUGAR MAPLE	PARKING LOT TREE	LRG. DECIDUOUS