

REQUEST FOR COMMITTEE ACTION
HENDERSON COUNTY
TECHNICAL REVIEW COMMITTEE

MEETING: July 5, 2023

SUBJECT: Revised Major Site Plan Review Spinx at Asheville Hwy

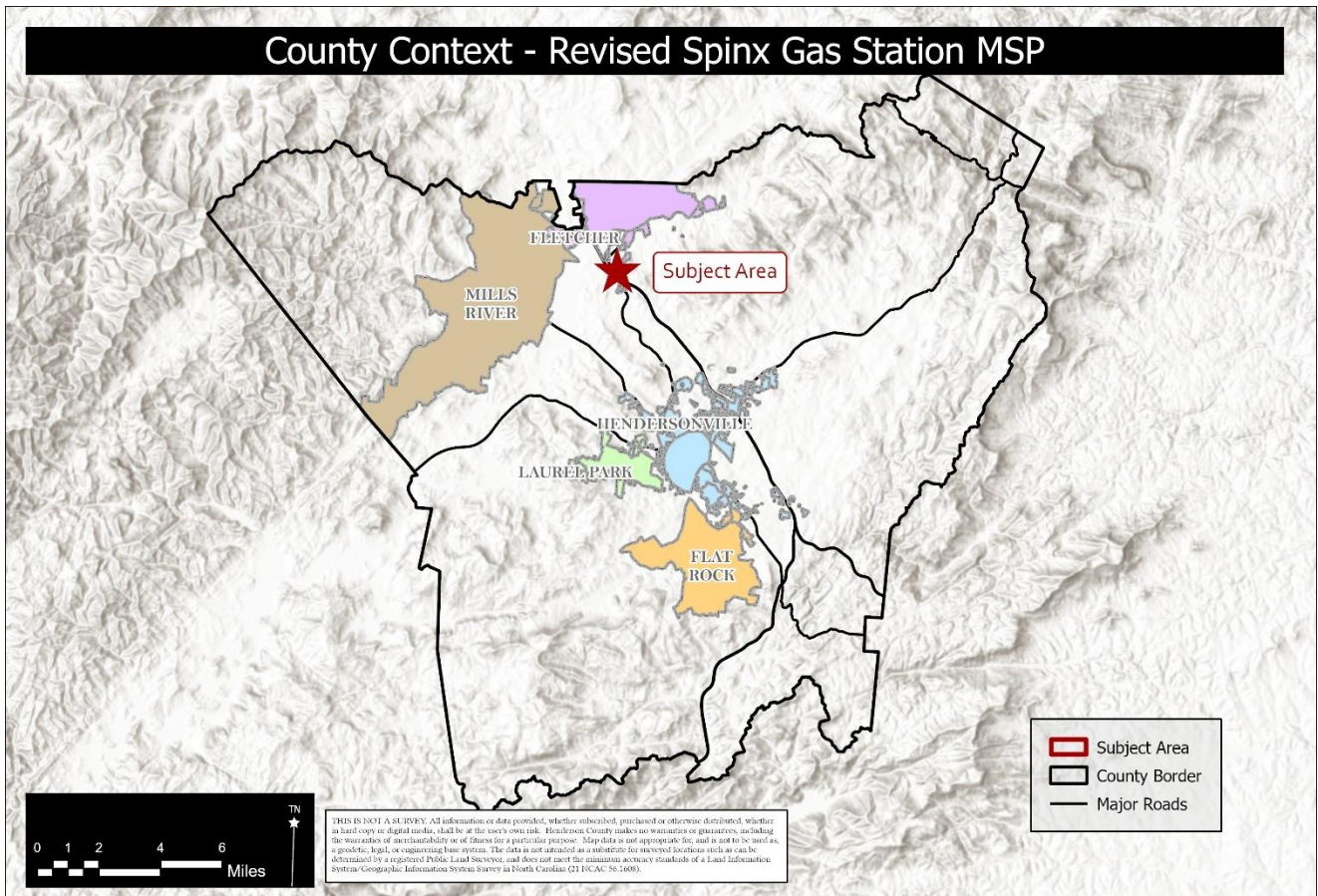
PRESENTER: Matt Champion, Zoning Administrator

ATTACHMENTS: Staff Report, Major Site Plan, & Application

SUMMARY OF REQUEST: Convenience Store SR 7.4 & Fuel Pumps SR 2.5

Suggested Motion: I move that the TRC approve/deny the revised major site plan for Spinx at Asheville Hwy

Map A: County Context



Property Owner: Discovery One Land Holdings, LLC Applicant: Phillip Takacs
Assessed Acreage: 5.11 Acres PINs: 9651-49-6716 & 9652-40-5099
Current Zoning: Regional Commercial (RC)





Henderson County, North Carolina Code Enforcement Services

1. **Committee Request**

- 1.1. **Applicant:** The Spinx Company, LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PINs:** 9652-40-5099 & 9651-49-6716
- 1.4. **Size:** 5.11 acres +/-
- 1.5. **Location:** The subject area is located off Asheville Hwy (US 25) at 6024 Asheville Hwy.
- 1.6. **Supplemental Requirements:**

SR 7.4. Convenience Store

- (1) Site Plan. Major *Site Plan* required in accordance with §42-330 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

SR 2.5. Fuel Pumps

- (1) Structure Requirements. Fuel pumps may be covered by a canopy which shall not exceed 25 feet in height.
- (2) Separation Requirements. Fuel pumps shall not be placed within 100 feet of an existing *dwelling unit* (located in a *residential zoning district* and not located on the same property as the *use*), *school*, *library*, day care facility, healthcare facility, *park*, and/or *religious institution*.
- (3) Location of Drives. *Driveways* shall not be located closer than 50 feet to one another and no more than two (2) on a single *road*.

Map B: Aerial Map



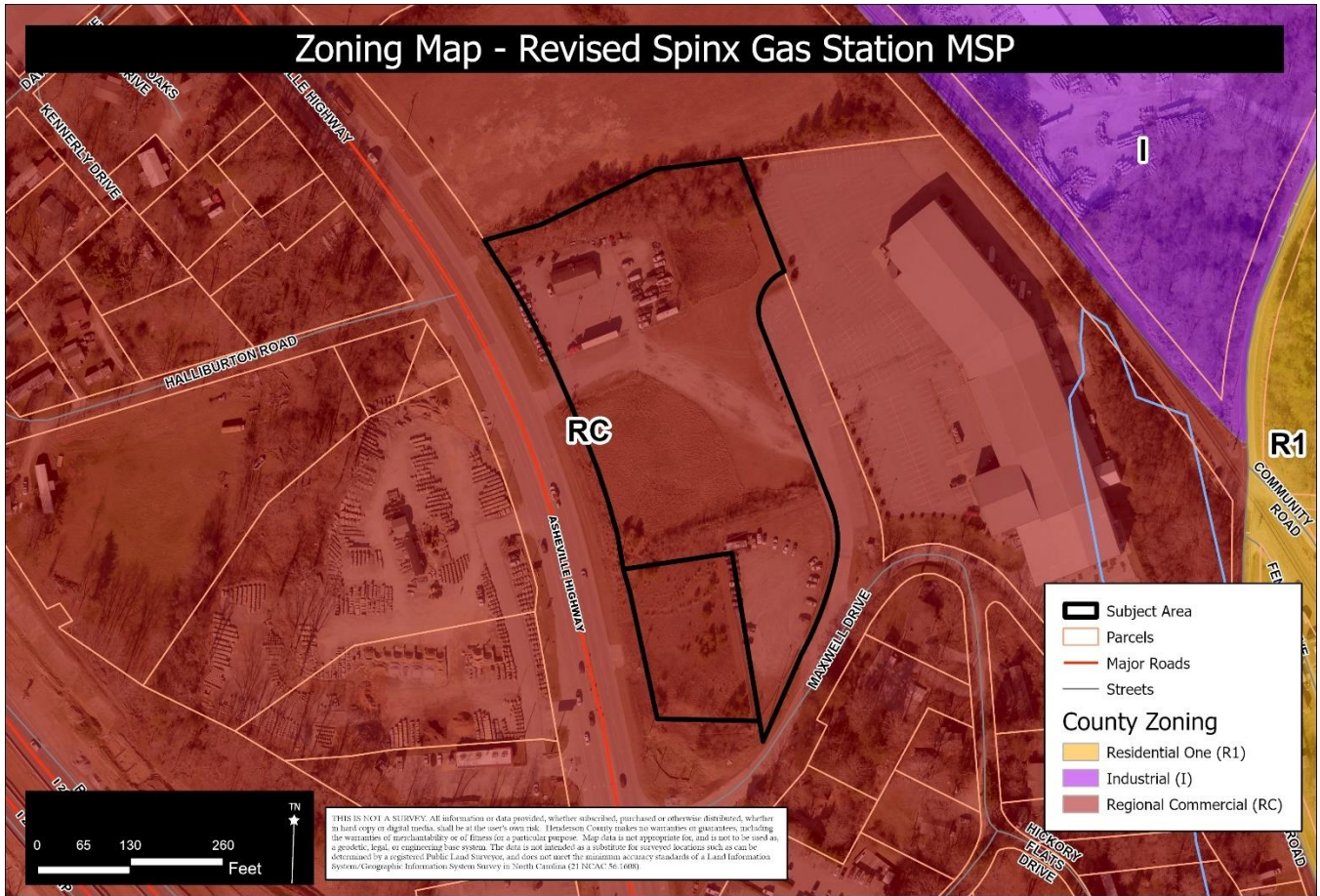
Property Owner: Discovery One Land Holdings, LLC Applicant: Phillip Takacs
 Assessed Acreage: 5.11 Acres PINs: 9651-49-6716 & 9652-40-5099
 Current Zoning: Regional Commercial (RC)



2. Current Conditions

- 2.1. **Current Use:** The subject area contains an approximately 1,800SQFT structure that has been used for automobile sales and repairs. The structure was built in 2007. The rest of the subject is vacant except for a fenced in area for outdoor storage of vehicles.
- 2.2. **Adjacent Area Uses:** The surrounding properties consist of commercial, industrial, and residential uses. The former XCEL Sports Complex is located east of the subject area. Higgs Stone Sales is located west of the subject area across Asheville Hwy. The I-26 interchange at Asheville Hwy is located south of the subject area. Several residential single-family structures are located southeast of the subject area.

Map C: Current Zoning



Property Owner: Discovery One Land Holdings, LLC Applicant: Phillip Takacs
 Assessed Acreage: 5.11 Acres PINs: 9651-49-6716 & 9652-40-5099
 Current Zoning: Regional Commercial (RC)

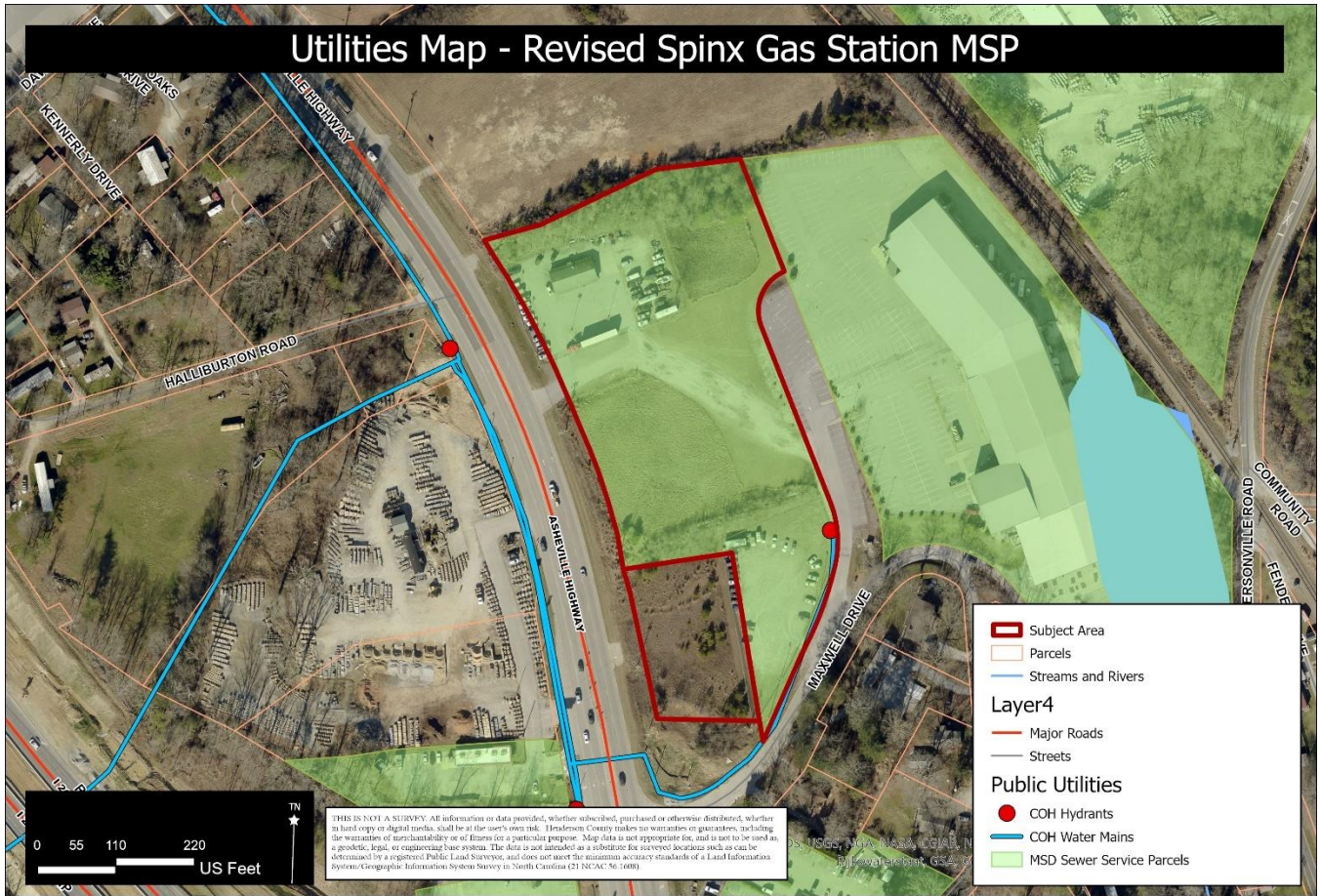


3. Current Zoning

3.1. **Zoning:** The subject area and all surrounding properties are zoned Regional Commercial (RC) by Henderson County. Industrial (I) zoning is found to the east of the subject area across the railroad tracts behind the former XCEL Sports Complex.

4. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

Map D: Public Utilities Map



Property Owner: Discovery One Land Holdings, LLC Applicant: Phillip Takacs
 Assessed Acreage: 5.11 Acres PINs: 9651-49-6716 & 9652-40-5099
 Current Zoning: Regional Commercial (RC)

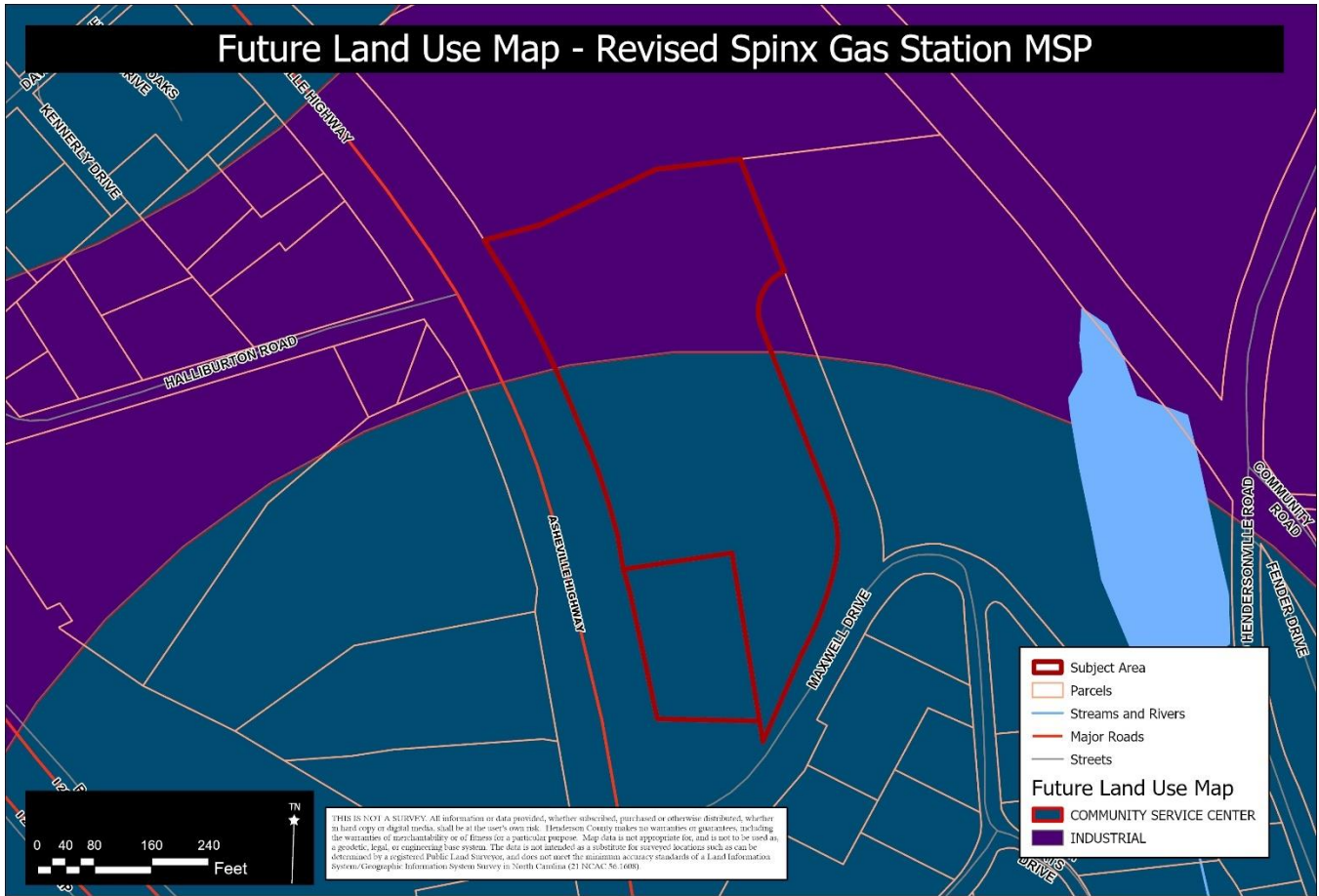


5. **Water and Sewer** The applicant is proposing connection to the City of Hendersonville public water and MSD public sewer to serve this property.

Public Water: Yes

Public Sewer: Yes

Map E: CCP Future Land Use Map



Property Owner: Discovery One Land Holdings, LLC Applicant: Phillip Takacs
 Assessed Acreage: 5.11 Acres PINs: 9651-49-6716 & 9652-40-5099
 Current Zoning: Regional Commercial (RC)



6. Staff Comments

Henderson County Comprehensive Plan (CCP): The CCP Future Land Use Map places the Subject Area in the Industrial classification and partially within a Community Service Center.

- a. **Industrial:** “Most defined industrial areas should lie within the Urban Services Area, and in other areas on a very limited basis. Most industrial uses should be segregated from other uses with the exception of Regional Commercial uses.” (CCP, Pg. 140)
- b. **Community Service Centers:** “Community Service Centers are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. Community Service Centers are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and Community Facilities such as schools, parks, community centers, and other similar Community Facilities. The mixture and intensity of land uses contained within Community Service Centers are intended to be appropriate within the context of the surrounding community and intended service area. Community Service Centers should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.” (CCP, Pg. 138)
 - i. **“Regional Commercial** areas are located within defined Community Service Centers. Regional Commercial areas can overlap with Industrial areas given proper design. While internally pedestrian-friendly on a project basis, they are intended to service a regional market area. As such, they generate high volumes

of traffic and are located along major roadways. Public utilities are required. They should include a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on the local, community, and regional level. They should be compatible with adjacent development and the surrounding community and should minimize congestion and sprawl.” (CCP, Pg. 139-140)

7. **Proposal** The applicant is proposing to redevelop the subject area to construct a 6,434SQFT convenience store with gas/diesel pumps for pedestrian vehicles and dedicated diesel pumps for large commercial vehicles. The major site plan shows a total of 55 parking spaces to serve the convenience store with 2 ADA accessible parking spaces. The major site plan also includes the following:
 - 7.1. 5 dedicated diesel pump bays for large vehicles
 - 7.2. 16 mixed fuel pump bays for smaller passenger vehicles
 - 7.3. Primary access to site off Asheville Hwy with 2 curb cuts
 - 7.3.1. One access to Asheville Hwy is shown as right-in and right-out only
 - 7.3.2. Second access to Asheville Hwy is shown as right-out only
 - 7.4. Secondary access to site off Maxwell Dr
 - 7.5. Proposed total of 59.25% impervious surfaces after completion
 - 7.6. Proposed total of 40.75% of pervious surfaces after completion

8. **Landscaping & Buffering Requirements** The subject area is not required to buffer the permitter of the property since the surrounding properties all fall within the Regional Commercial (RC) zoning district. The subject area will have to provide a landscaping plan for the following elements:
 - 8.1. **Parking area landscaping** is required for new parking areas with 10 or more dedicated parking spaces. The parking area standards requires 1 small or large deciduous tree for every 5 parking spaces. Additionally, when no buffer is required along the property lines and parking is proposed within 20’ of a property line, a planting strip is required. The planting strip is a minimum of 10’ in width and shall contain 2 small or large deciduous or evergreen trees per 100 linear feet.
 - 8.2. **Dumpster screening** is required for a proposed solid waste collection facility. The dumpster will require a Screen Class One (1) Two (2) or Three (3) that are outlined in Section 42-181 Screen Classifications.

9. Oblique Aerial Photos

View from East



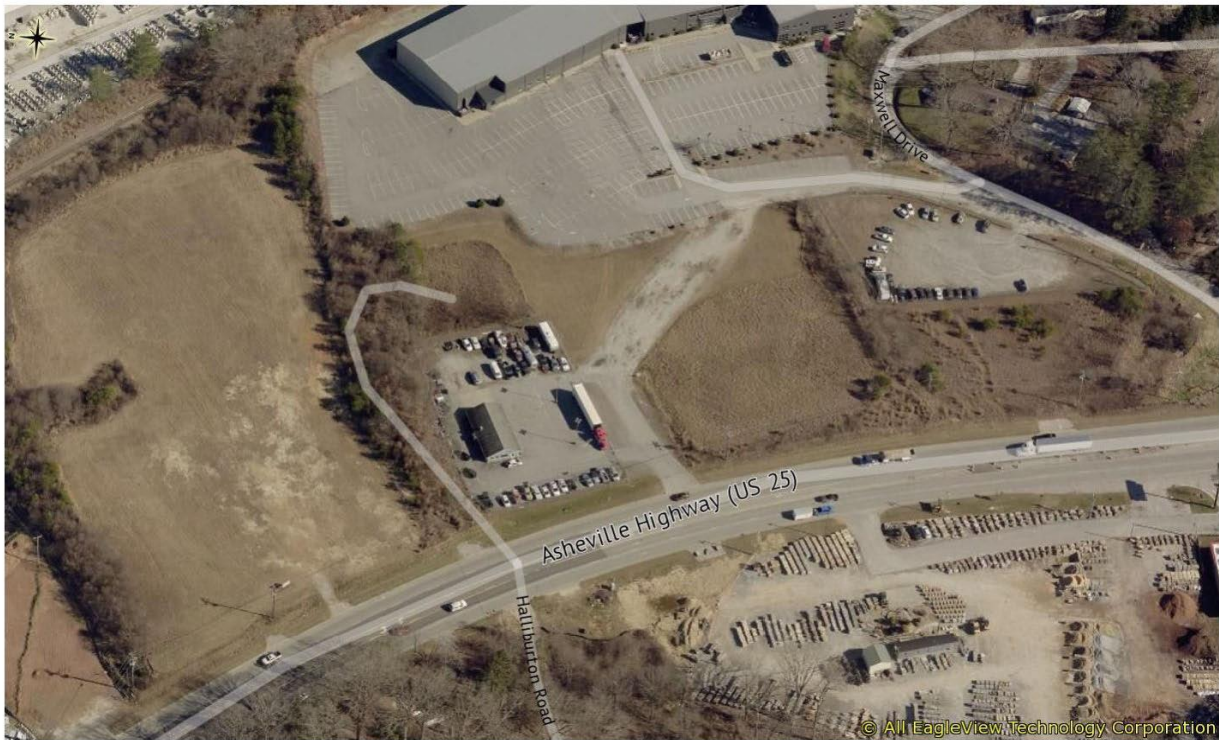
View from North



View from South



View from West



HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION

CONTACT INFORMATION

Property Owner:

Name: DISCOVERY ONE LAND HOLDINGS, LLC Phone: 828-423-9918
Complete Address: 5998 ASHEVILLE HWY, HENDERSONVILLE, NC 28791

Applicant:

Name: THE SPINX COMPANY, LLC Phone: 864-451-6656
Complete Address: 1414 EAST WASHINGTON STREET, GREENVILLE, SC 29607

Agent:

Name: PHILIP TAKACS Phone: 470-485-0405
Complete Address: 3039 PREMIERE PKWY, DULUTH, GA 30097
Agent Form (Circle One): Yes No

Plan Preparer:

Name: Core States Group - Philip Takacs Phone: 470-485-0405
Complete Address: 3237 Satellite Blvd, Suite 465, Duluth GA 30096

GENERAL INFORMATION

Date of Application: 6/20/2023
Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: # 9652-40-5099 / # 9651-49-6716 Tract Size (Acres): 4.35 / .76 TOTAL 5.11
Zoning District: RC (Regional Commercial) Fire District: Fletcher Fire
Supplemental Requirement# n/a Watershed: n/a
Permitted by Right Convenience Store with auto and truck fueling Floodplain: n/a
Special Use Permit _____

Location / Property to be developed: Proposed approximate 6,430 sf Convenience store with auto and truck fueling with associated parking, utility and landscape improvements at 6024 Asheville Highway, Hendersonville, NC.

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No.	Date of Application	
County:		
Development Name:		

LOCATION OF PROPERTY:

Route/Road: _____

Exact Distance Miles N S E W
 Feet

From the Intersection of Route No. _____ and Route No. _____ Toward _____

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other
Property: is is not within _____ City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

SIGNATURES OF APPLICANT

	PROPERTY OWNER (APPLICANT)		WITNESS
COMPANY	X <u>THE SPINX COMPANY, LLC</u>	NAME	X <u>BRIAN S. PRICE</u>
SIGNATURE	<u>[Signature]</u>	SIGNATURE	<u>[Signature]</u>
ADDRESS	X <u>1414 EAST WASHINGTON ST. GREENVILLE</u>	ADDRESS	X <u>104 TIMBER LN.</u>
	X <u>SC, 29607</u> Phone No. X <u>864-451-6656</u>		X <u>GREENVILLE, SC 29609</u>

	AUTHORIZED AGENT		WITNESS
COMPANY	_____	NAME	_____
SIGNATURE	_____	SIGNATURE	_____
ADDRESS	_____	ADDRESS	_____
	_____ Phone No. _____		_____

APPROVALS

APPLICATION RECEIVED BY DISTRICT ENGINEER

SIGNATURE _____ DATE _____

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

SIGNATURE _____ TITLE _____ DATE _____

APPLICATION APPROVED BY DISTRICT ENGINEER

SIGNATURE _____ DATE _____

INSPECTION BY NCDOT

SIGNATURE _____ TITLE _____ DATE _____

COMMENTS:

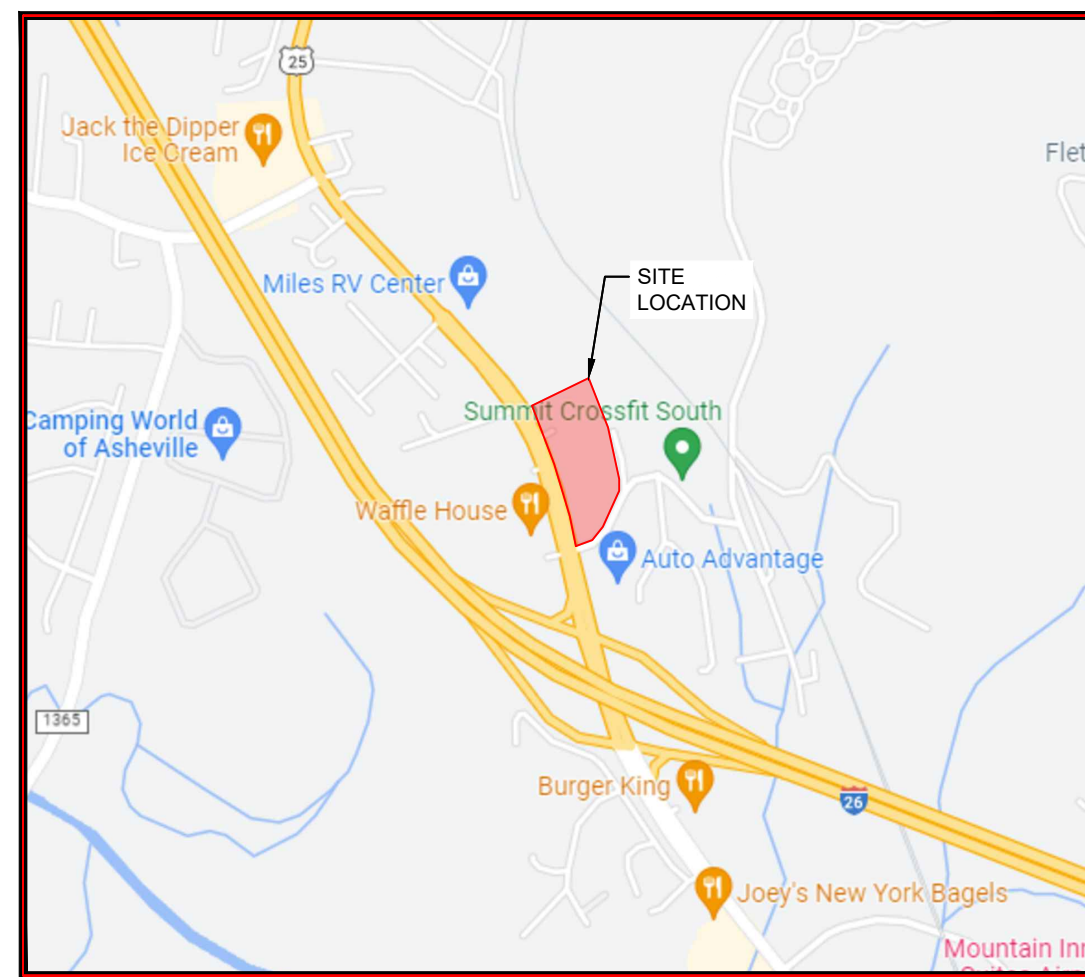
MAJOR SITE PLAN FOR

THE SPINX COMPANY, LLC

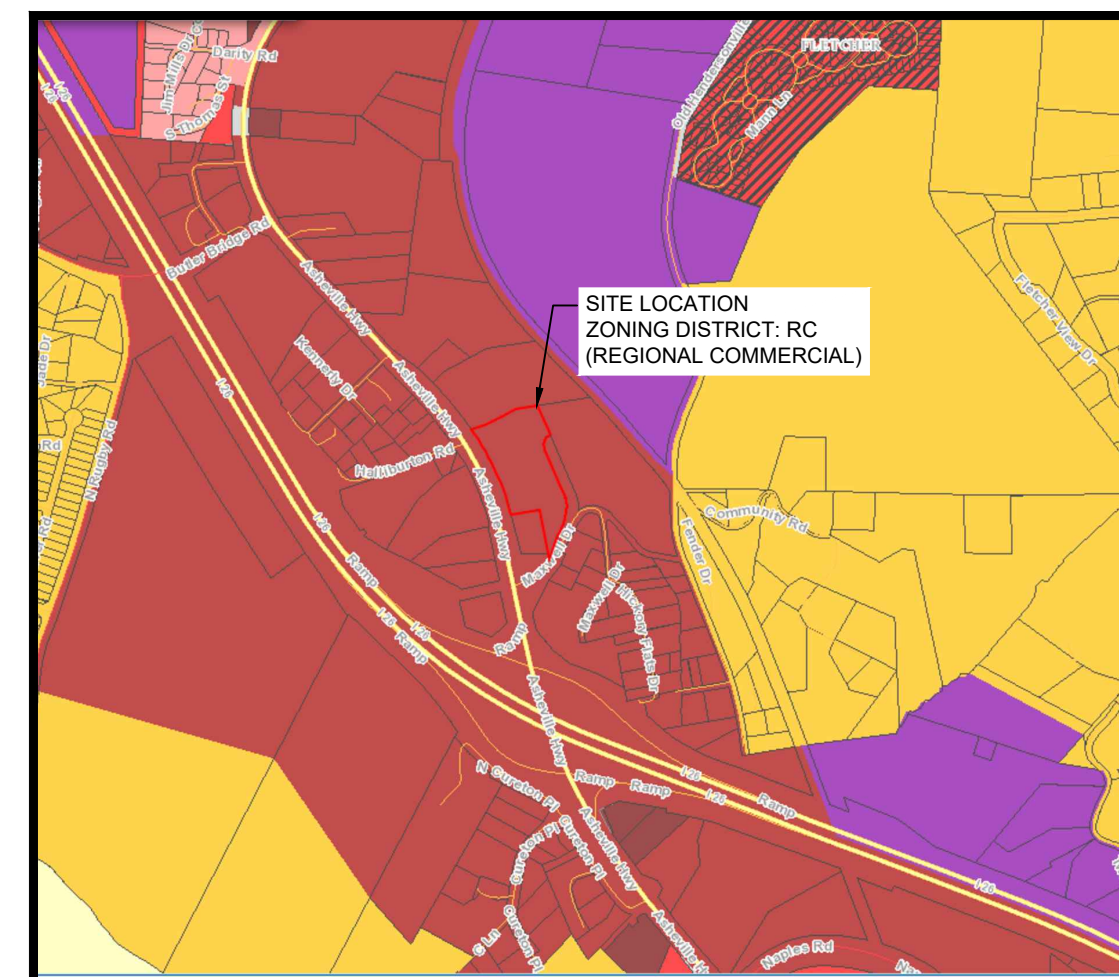
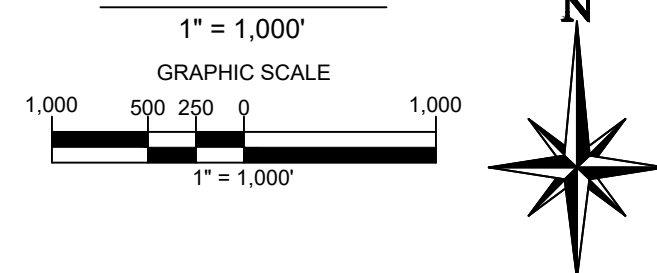
6024 ASHVILLE HWY
HENDERSONVILLE, NC 28791

HENDERSON COUNTY

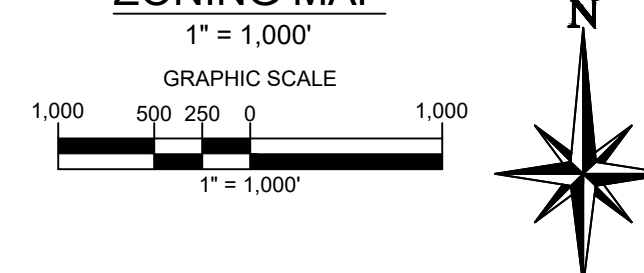
ZONING DISTRICT: RC (REGIONAL COMMERCIAL)



VICINITY MAP



ZONING MAP



PROJECT NARRATIVE

THE PROPOSED PROJECT WILL DEMO THE EXISTING BUILDING AND PARKING INFRASTRUCTURE AND CONSTRUCT AN APPROXIMATELY 6,400 SF CONVENIENCE STORE WITH AUTO AND TRUCK FUELING, PARKING, UTILITIES AND ASSOCIATED LANDSCAPING THAT WILL MEET LOCAL CODES.

DESIGN AND DEVELOPMENT CONTACTS:

OWNER: THE SPINX COMPANY
1414 E. WASHINGTON ST.
GREENVILLE, SC 29607
CONTACT: BRIAN PRICE
TEL: 864-245-5322

DEVELOPER/APPLICANT: THE SPINX COMPANY
1414 E. WASHINGTON ST.
GREENVILLE, SC 29607
CONTACT: BRIAN PRICE
TEL: 864-245-5322

CIVIL ENGINEER: CORE STATES GROUP
3237 SATELLITE BOULEVARD, SUITE 465
DULUTH, GA 30096
CONTACT: BRIAN SEARCY, PE
TEL: 770-242-9550

ARCHITECT: CORE STATES GROUP
201 S. MAPLE AVE SUITE 300
AMBLER, PA 19002
CONTACT: ROB ALDEN
TEL: 678-405-1961

SURVEYOR: SITE DESIGN, INC
225 ROCKY CREEK ROAD
GREENVILLE, SC 29615
CONTACT: A. CLAY JONES, PLS
TEL: 864-271-0496 # 119

GOVERNING AGENCIES CONTACTS:

PLANNING: PLANNING DEPARTMENT, HENDERSON COUNTY
100 NORTH KING STREET
HENDERSONVILLE, NC 28792
TEL: 828-697-4819

CODE ENFORCEMENT AND ZONING: CODE ENFORCEMENT & ZONING, HENDERSON COUNTY
100 NORTH KING STREET
HENDERSONVILLE, NC 28792
TEL: 828-697-4819

NORTH CAROLINA DEPARTMENT OF TRANSPORTATION: NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
DIVISION 14
253 WEBSTER ROAD
SYLVA, NC 28779
TEL: 828-586-2141

ASHEVILLE REGIONAL AIRPORT: ASHEVILLE REGIONAL AIRPORT PLANNING STAFF
61 TERMINAL DR #1
FLETCHER, NC 28732
CONTACT: MIKE REISMAN (CHIEF OPERATING OFFICER)
EMAIL: MREISMAN@FLYAVL.COM

UTILITY CONTACTS:

TELEPHONE / INTERNET: VERIZON VIRGINIA
TEL: 877-728-6101

SEWER: METROPOLITAN SEWERAGE DISTRICT
2028 RIVERSIDE DRIVE
ASHEVILLE, NC 28804
TEL: 828-254-9646

WATER: HENDERSONVILLE WATER AND SEWER
305 WILLIAMS STREET
HENDERSONVILLE, NC 28792
TEL: 828-697-3073

ELECTRICITY: DUKE ENERGY
96 NEW ROCKWOOD RD
ARDEN, NC 28704
TEL: 800-777-9898

GAS: N/A

PROJECT INFORMATION

PROPERTY PIN NUMBER: 9652405099
MUNICIPALITY: UNINCORPORATED (HENDERSON COUNTY)
PARCEL ZONING: RC (REGIONAL COMMERCIAL)
FIRE TAX DISTRICT: FLETCHER FIRE
WATERSHED DISTRICT: N/A
WETLANDS ON SITE: N/A
HIGH QUALITY WATER ZONES: N/A
FALLS LAKE WATERSHED: N/A

FLOOD NOTE:

THE PROPERTY LIES IN AN AREA DETERMINED TO BE WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FEMA FIRM #370086100, EFFECTIVE DATE OCTOBER 2, 2008. 100-YEAR BASE FLOOD ELEVATION NOT APPLICABLE PER FEMA MAP.

ALERT TO CONTRACTOR:

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

SHEET INDEX					
SHEET NUMBER	SHEET TITLE	REVISION NUMBER			
		1	2	3	4
TRC	COVER				
TRC	SITE PLAN				
TRC	OVERALL GRADING AND DRAINAGE PLAN				
TRC	UTILITY PLAN				
TRC	UTILITY PROFILE				
REFERENCE SHEETS					
SHEET NUMBER	DESCRIPTION	REVISION NUMBER			
		1	2	3	4
1	TOPOGRAPHIC SURVEY BY SITE DESIGN, INC				

CORE STATES
3237 SATELLITE BOULEVARD, SUITE 465
DULUTH, GA 30096
PHONE (770) 242-9550
BSEARCY@CORESTATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN ANY WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS OR OTHER MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT WARRANT THE LOCATION OR DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES OR CALL 811 BEFORE BEGINNING ANY EXCAVATION TO VERIFY EXISTING UTILITIES AND DEPTHS OF UTILITIES.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT

SPINX
SITE PLAN

SITE LOCATION

6024 ASHVILLE HWY
HENDERSONVILLE, NC 28791

ENGINEER SEAL

SHEET TITLE

COVER SHEET

JOB #: SPX.35112
DATE: 6/20/2023
SCALE:
DRAWN BY: DC
CHECKED BY: BS

SHEET NO.

TRC

A
B
C
D
E
F
G
H
I

SITE KEY NOTES:

- A. PROPOSED CONVENIENCE STORE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- B. PROPOSED 6 IN VERTICAL CONCRETE CURB (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- C. PROPOSED CONCRETE SIDEWALK (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- D. PROPOSED FUELING STATION (TYP.). REFER TO BUILDING PLANS FOR DETAILS.
- E. PROPOSED FUELING CANOPY. REFER TO BUILDING PLANS FOR DETAILS.
- F. PROPOSED ASPHALT PAVING (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- G. PROPOSED 24 IN. ROLL BACK CURB AND GUTTER (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- H. PROPOSED BOLLARDS AT 9 FT O.C. (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- I. PROPOSED ADA PAVEMENT MARKINGS. REFER TO CONSTRUCTION DETAIL SHEET.
- J. PROPOSED RETAINING WALL. REFER TO STRUCTURAL PLANS FOR DETAILS.
- K. PROPOSED DIRECTIONAL MARKINGS (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- L. PROPOSED PARKING MARKINGS (TYP.). REFER TO CONSTRUCTION DETAIL SHEET.
- M. PROPOSED STOP SIGN. REFER TO CONSTRUCTION DETAIL SHEET.
- N. PROPOSED STOP BAR. REFER TO CONSTRUCTION DETAIL SHEET.
- O. PROPOSED RIGHT TURN ONLY SIGN. REFER TO CONSTRUCTION DETAIL SHEET.
- P. PROPOSED CONCRETE TRASH ENCLOSURE PAD. REFER TO CONSTRUCTION DETAIL SHEET.
- Q. PROPOSED TRASH ENCLOSURE. REFER TO CONSTRUCTION DETAIL SHEET.
- R. LIMIT OF PROPOSED 6 IN VERTICAL CONCRETE CURB AND 24 IN. ROLL BACK CURB AND GUTTER.
- S. PROPOSED EXTENTS OF UNDERGROUND FUEL STORAGE.
- T. PROPOSED 5 FT WIDE CONCRETE SHOULDER AT ENTRANCE AND EXIT.
- U. EXISTING PAVEMENT MARKINGS TO REMAIN (TYP.).
- V. PROPOSED STRIPED ISLAND. REFER TO CONSTRUCTION DETAIL SHEET.
- W. PROPOSED 5 IN. DOUBLE YELLOW STRIPE. REFER TO CONSTRUCTION DETAIL SHEET.
- X. 5 FT TRANSITION FROM 24 IN. ROLL BACK CURB TO 6 IN. VERTICAL CURB (TYP.).
- Y. PROPOSED RAISED MOUNTABLE CONCRETE ISLAND. REFER TO CONSTRUCTION DETAIL SHEET.
- Z. GREEN SPACE.
- AA. PROPOSED FUTURE OUTPARCEL.
- AB. PROPOSED STORMWATER MANAGEMENT AREA.
- AC. EXISTING ACCESS TO SITE TO BE MAINTAINED.

CORE STATES GROUP
 3237 SATELLITE BOULEVARD, SUITE 405
 DULUTH, GA 30096
 PHONE (770) 242-9550
 BSEARC@CORESTATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

811
 Know what's below.
 Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT

SPINX
 MAJOR SITE PLAN

SITE LOCATION

6024 ASHEVILLE HWY
 HENDERSONVILLE, NC 28791

ENGINEER SEAL

SHEET TITLE

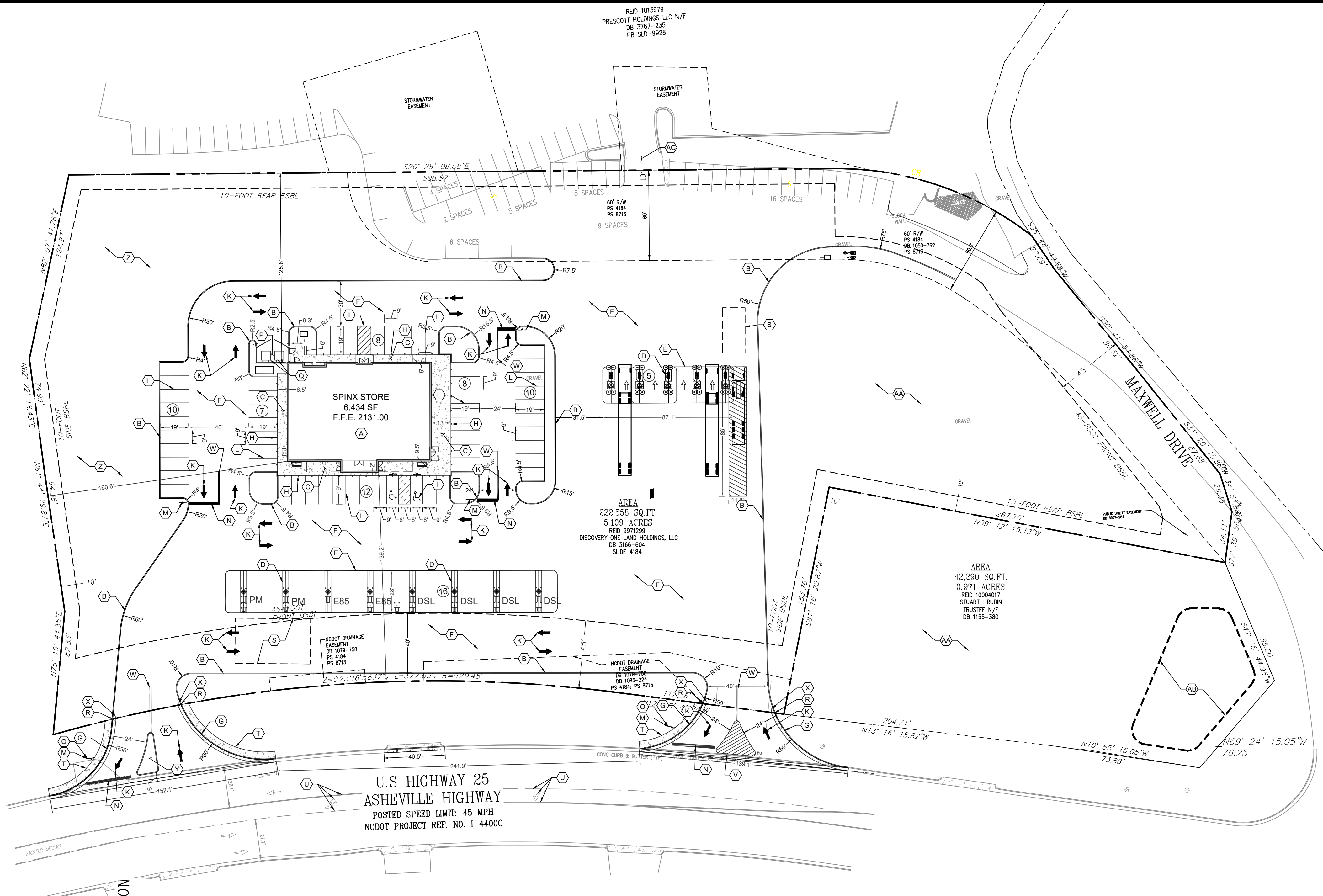
SITE PLAN

JOB #: SPX.35112
 DATE: 6/20/2023
 SCALE: 1" = 40'
 DRAWN BY: DC
 CHECKED BY: BS

SHEET NO.
TRC

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED DEPRESSED CURB
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED RIPRAP
- PROPOSED ASPHALT
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- PROPOSED PARKING COUNT

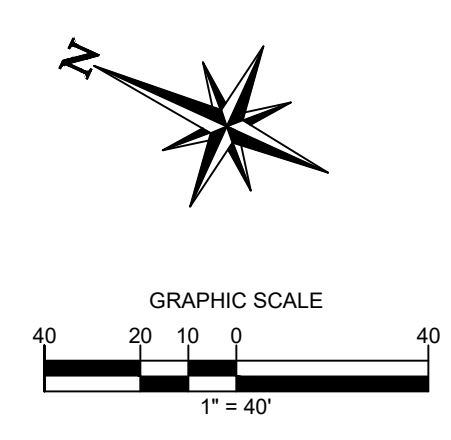


GENERAL NOTES:

- ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS WITHIN THE RIGHT OF WAY OF US HIGHWAY 25 TO BE PER NCDOT STANDARDS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND CANOPY DETAILS.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- ANY ADJACENT EXISTING LANDSCAPE MATERIAL DISTURBED DURING CONSTRUCTION SHALL BE REPLACED PER LOCAL REGULATIONS.

SITE NOTES:

- REFER TO SHEET C2 FOR GENERAL NOTES.
- REFER TO SHEET C3 FOR DEMOLITION PLAN.
- REFER TO SHEET C5 FOR GRADING PLAN.
- REFER TO SHEET C6 FOR UTILITY PLAN.
- ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND CANOPY DETAILS.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- CONTRACTOR TO SOD ALL DISTURBED VEGETATED AREAS UNLESS NOTED OTHERWISE.
- ANY ADJACENT EXISTING LANDSCAPE MATERIAL DISTURBED DURING CONSTRUCTION SHALL BE REPLACED PER LOCAL REGULATIONS.
- ALL CONSTRUCTION WITHIN THE RIGHT OF WAY OF US HIGHWAY 25 SHALL BE PER NCDOT STANDARDS AND SPECIFICATIONS.
- POSTED SPEED LIMIT ALONG ASHEVILLE HIGHWAY: 45 MPH.



IMPERVIOUS SURFACE CALCULATION

ITEM	VALUE
TOTAL LOT AREA	222,558 S.F. (5.109 AC.)
EXISTING IMPERVIOUS SURFACES	91,399 S.F. (2.10 AC.) - 41.10%
PROPOSED IMPERVIOUS SURFACES	131,868 S.F. (3.03 AC.) - 59.25%

**ZONING DATA - HENDERSON COUNTY
 ZONED RC - REGIONAL COMMERCIAL**

ITEM	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
RESIDENTIAL DENSITY (UNITS/ACRE)	16	N/A	N/A	COMPLIANT
MAX. IMPERVIOUS SURFACE (%)	80%	41.10%	59.25%	COMPLIANT
MAX. FLOOR AREA (S.F.)	UNLIMITED	1,841 S.F.	6,434 S.F.	COMPLIANT
FRONT OR R.O.W. YARD SETBACK (FT)	45 FT	45.12 FT	139.2 FT	COMPLIANT
SIDE SETBACK (FT)	10 FT	68.49 FT	160.6 FT	COMPLIANT
REAR SETBACK (FT)	10 FT	242.48 FT	125.8 FT	COMPLIANT
MAXIMUM HEIGHT (FT)	50 FT	< 50 FT	< 50 FT	COMPLIANT
BUILT UPON AREA (BUA)	-	41.10%	59.25%	-
ROAD FRONTAGE	-	490 FT	NO CHANGE	-

PARKING CALCULATION - HENDERSON COUNTY

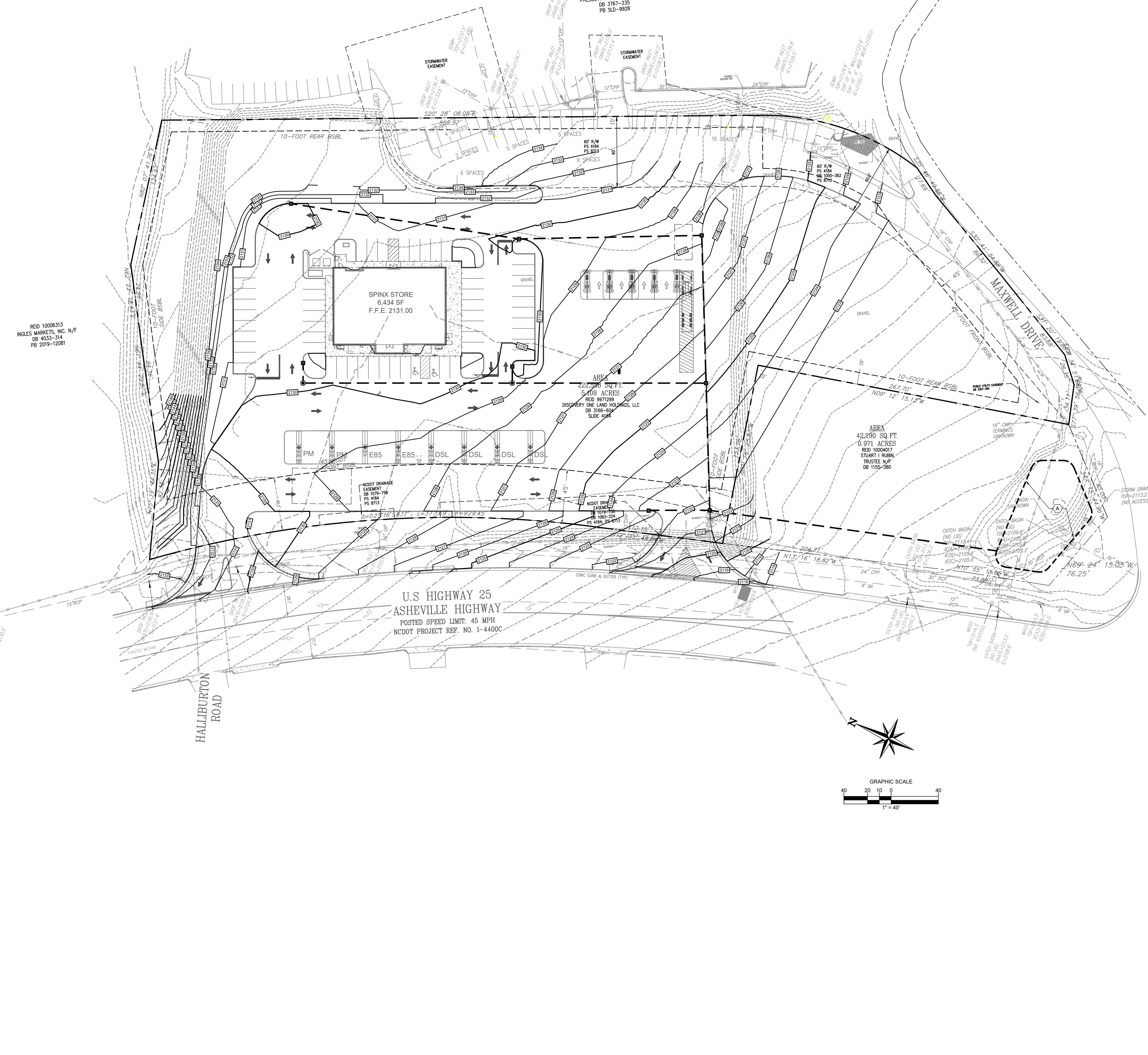
REQUIRED PARKING SPACES (1 SPACE PER 500 S.F. OF GFA)	6,434 S.F. / 500 = 13 SPACES
EXISTING PARKING SPACES TO BE REMOVED	23 SPACES
PROPOSED PARKING SPACES ADJACENT TO PROPOSED DEVELOPMENT	55 SPACES (STANDARD) 16 SPACES (STANDARD FUELING) 5 SPACES (TRAILER FUELING) 76 SPACES TOTAL
REQUIRED STALL SIZE	9 FT X 19 FT (STANDARD) 9 FT X 22 FT (PARALELL)

PARKING CALCULATION NOTES:

- EXISTING PARKING SPACES LOCATED TO THE EAST OF THE PROPOSED IMPROVEMENTS HAVE NOT BEEN INCLUDED IN TABLE ENTITLED "PARKING CALCULATION - HENDERSON COUNTY"

ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



GRADING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE

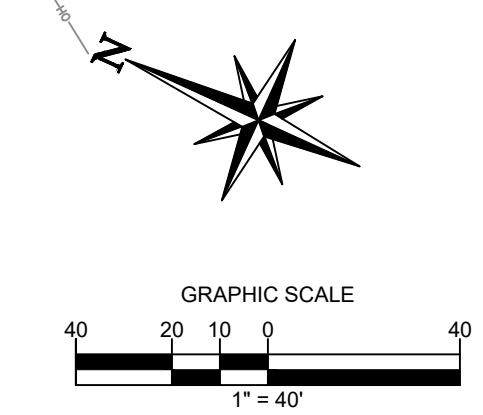
- PROPOSED SPOT SHOTS
- PROPOSED STORM PIPE CALL OUT
- PROPOSED STORM STRUCTURES NAME
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB AND GUTTER
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED RIPRAP
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SITE LIGHTING FIXTURES
- EXISTING STORMWATER STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- PROPOSED STORM PIPE
- PROPOSED WATER
- PROPOSED SANITARY
- PROPOSED SANITARY FORCEMAIN
- PROPOSED DRAINAGE BASIN DIVIDE

ABOVE-GROUND DETENTION POND NOTE:

- ABOVE GROUND DETENTION POND SUBJECT TO REVIEW AND APPROVAL FROM THE ASHEVILLE REGIONAL AIRPORT PLANNING STAFF AND HENDERSON COUNTY PER THE 5 MILE RULE WHICH RESTRICTS STORM WATER PONDS DUE TO THE ATTRACTION FOR WILDLIFE PRIMARILY PER PREVIOUS REVIEW FROM MIKE REISMAN (CHIEF OPERATING OFFICER) THE POND CAN BE APPROVED UNDER CERTAIN CONDITIONS I.E. RIP RAP ALONG ALL SLOPES OF THE POND FROM THE TOE OF THE SLOPE TO A POINT 10 FEET FROM THE TOP OF SLOPE, INSTALL A BIRD NET OVER THE POND AND FLOATING BALLS THAT FILL THE SURFACE OF THE POND WHEN FULL THAT BIRDS CANNOT LAND ON.

SITE KEY NOTES:

- A. PROPOSED STORMWATER MANAGEMENT AREA.



CORE STATES
 3237 SATELLITE BOULEVARD, SUITE 405 GROUP
 DULUTH, GA 30096
 PHONE (770) 242-9550
 BSEARC@CORESTATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
 SPINX
 MAJOR SITE PLAN

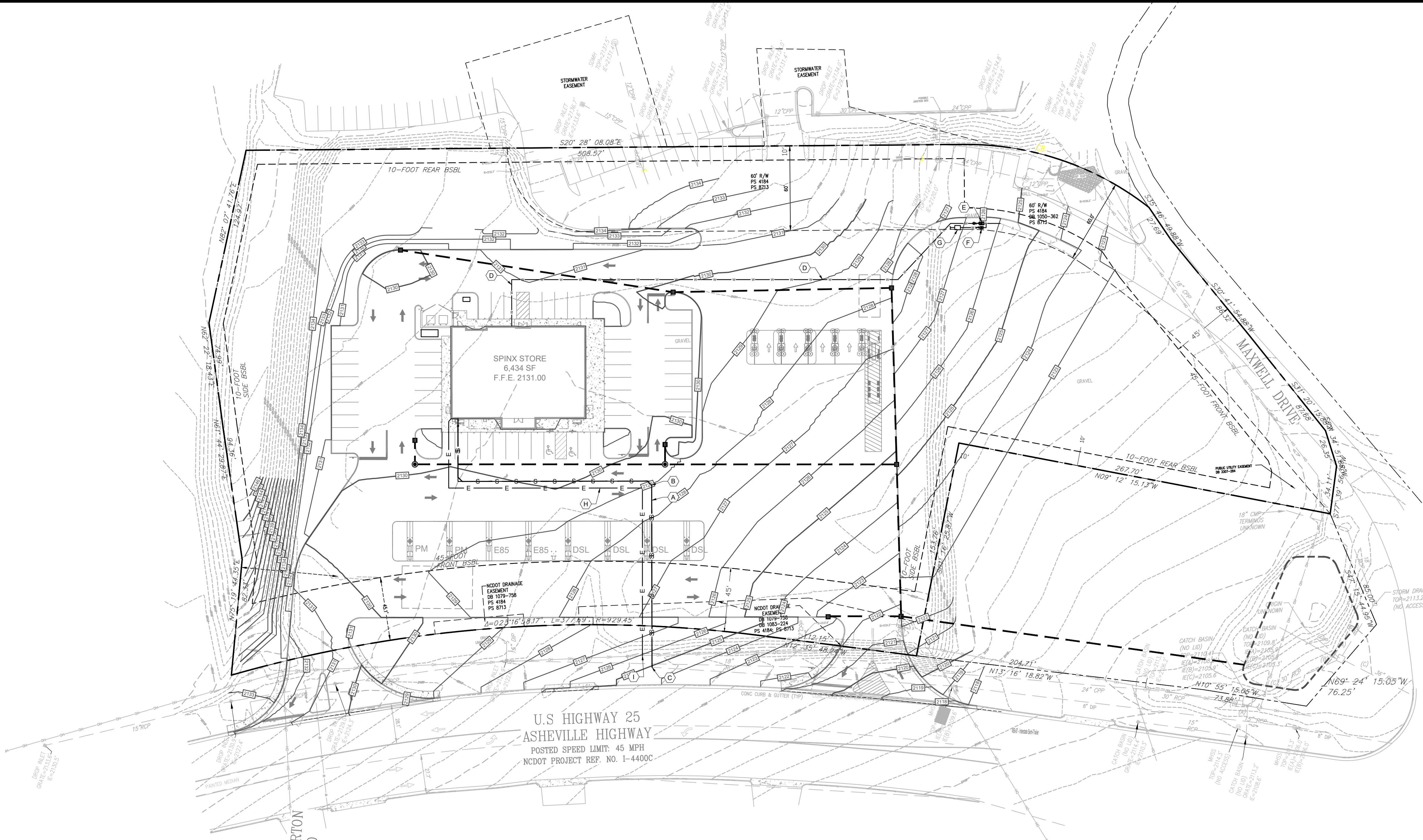
SITE LOCATION
 6024 ASHEVILLE HWY
 HENDERSONVILLE, NC 28791

ENGINEER SEAL

SHEET TITLE
 OVERALL GRADING AND
 DRAINAGE PLAN

JOB #:	SPX.35112
DATE:	6/20/2023
SCALE:	1" = 40'
DRAWN BY:	DC
CHECKED BY:	BS
SHEET NO.	TRC

ALERT TO CONTRACTOR:
 PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

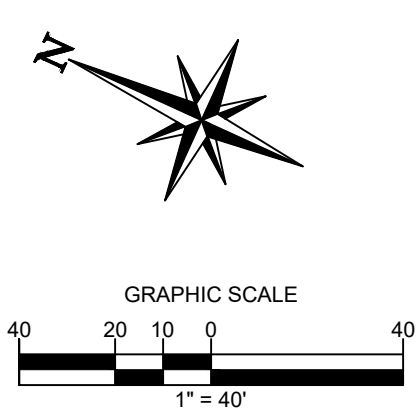


STORMWATER LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING SETBACK
- EXISTING BUILDING
- EXISTING CURB
- EXISTING TREE
- EXISTING SIGNAGE
- EXISTING BOLLARD
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING WATER MAIN
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING OVERHEAD WIRES
- EXISTING SANITARY
- EXISTING STORM
- EXISTING GAS MAIN
- EXISTING UTILITY POLE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING TELEPHONE STRUCTURE
- EXISTING ELECTRIC STRUCTURE
- EXISTING LIGHT POLE
- PROPOSED CURB
- PROPOSED FLUSH CURB
- PROPOSED BUILDING
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CONCRETE
- PROPOSED PARKING STRIPING
- PROPOSED SIGN
- PROPOSED DETECTABLE WARNING SURFACE
- PROPOSED STORM STRUCTURE
- PROPOSED SANITARY STRUCTURE
- PROPOSED WATER PIPE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SANITARY PIPE
- PROPOSED STORM PIPE
- PROPOSED GAS PIPE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- PROPOSED SUBSURFACE BASIN
- PROPOSED BASIN STORM PIPE
- PROPOSED DIRECTION OF FLOW

UTILITY NOTES:

1. NO MORE THAN 500 LINEAR FEET OF OPEN TRENCH FOR UTILITY INSTALLATION SHALL BE ALLOWED AT ANY ONE TIME ON THIS SITE.
2. AT ALL UTILITY CROSSINGS, CONTRACTOR SHALL MAINTAIN REQUIRED VERTICAL SEPARATION FOR ALL UTILITIES. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY AND AHJ TO MAINTAIN ALL REQUIRED UTILITY CLEARANCES.
3. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
4. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.



UTILITY KEY NOTES:

- A. PROPOSED 6 IN. SDR 26 PVC SANITARY SEWER PIPE.
- B. PROPOSED SANITARY SERVICE CLEANOUT. REFER TO CONSTRUCTION DETAIL SHEET.
- C. PROPOSED SANITARY SERVICE CONNECTION TO EXISTING MANHOLE.
- D. PROPOSED 2 IN. PVC WATER LINE (DOMESTIC SERVICE TO BUILDING).
- E. PROPOSED 2 IN. DOMESTIC WATER METER ASSEMBLY PER COUNTY STANDARDS.
- F. PROPOSED 1 IN. IRRIGATION WATER METER ASSEMBLY.
- G. PROPOSED BACKFLOW PREVENTION DEVICE.
- H. PROPOSED UNDERGROUND ELECTRIC SERVICE LINE.
- I. PROPOSED ELECTRIC CONNECTION TO EXISTING. CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDER PRIOR TO CONNECTION TO EXISTING.

ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

CORE STATES
 3237 SATELLITE BOULEVARD, SUITE 465
 DULUTH, GA 30096
 PHONE (770) 242-9550
 BSEARC@CORESTATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

REVISIONS

REV	DATE	COMMENT	BY

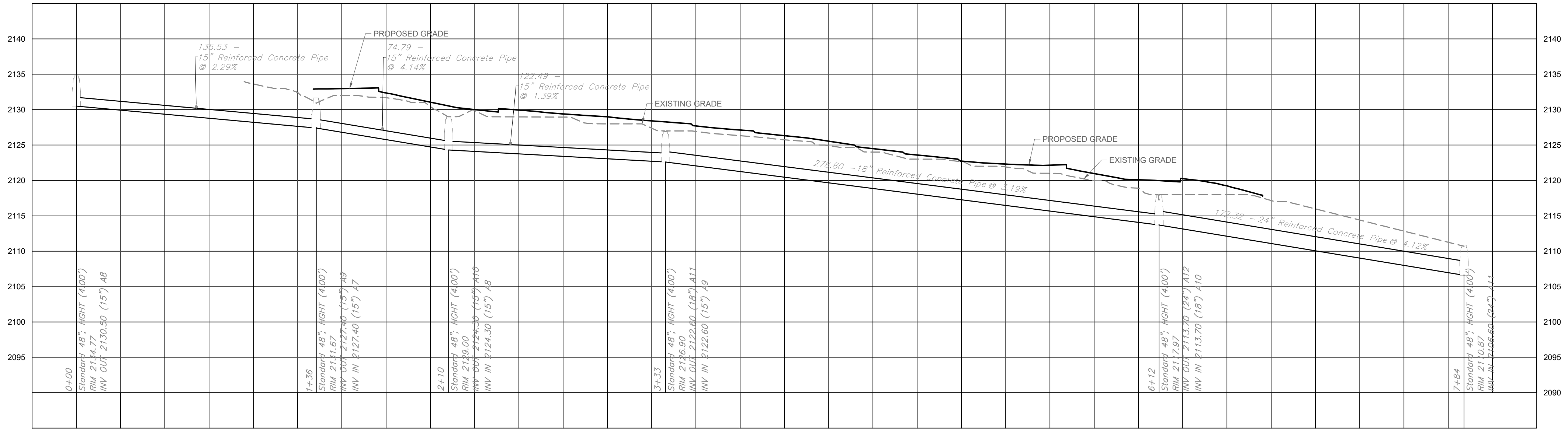
DOCUMENT
 SPINX
 MAJOR SITE PLAN

SITE LOCATION
 6024 ASHEVILLE HWY
 HENDERSONVILLE, NC 28791

ENGINEER SEAL

SHEET TITLE
 UTILITY PLAN

JOB #:	SPX.35112
DATE:	6/20/2023
SCALE:	1" = 40'
DRAWN BY:	DC
CHECKED BY:	BS
SHEET NO.	TRC



EXISTING STORM PROFILE

SCALE
VERTICAL 1" = 10'
HORIZONTAL 1" = 40'

CORE STATES
3237 SATELLITE BOULEVARD, SUITE 465
DULUTH, GA 30096
PHONE (770) 242-9550
BSEARC@CORESTATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Know what's below. Call before you dig.

REVISIONS			
REV	DATE	COMMENT	BY

DOCUMENT
SPINX
MAJOR SITE PLAN

SITE LOCATION
6024 ASHEVILLE HWY
HENDERSONVILLE, NC 28791

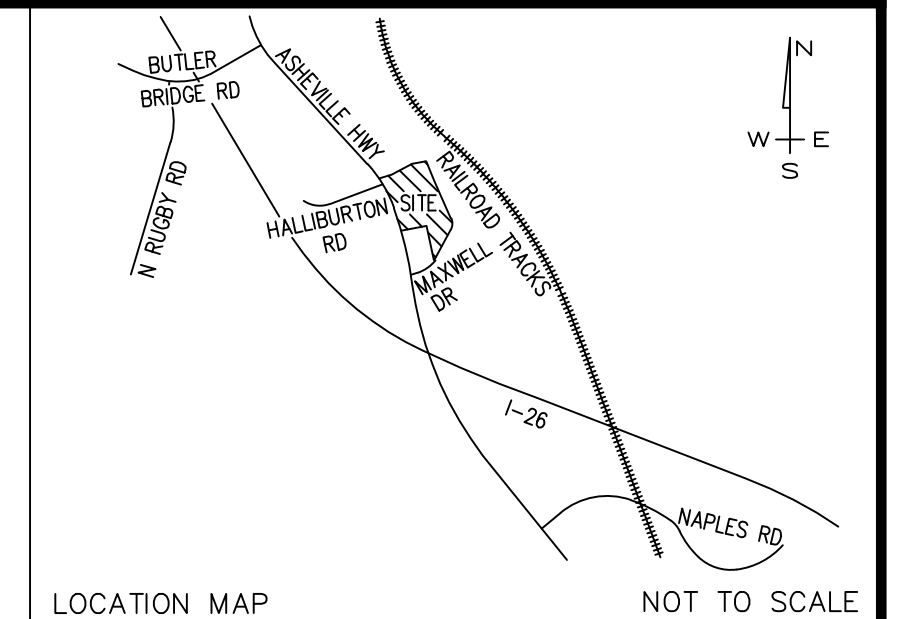
ENGINEER SEAL

SHEET TITLE
UTILITY PROFILE

JOB #: SPX.35112
DATE: 6/20/2023
SCALE: AS SHOWN
DRAWN BY: DC
CHECKED BY: BS
SHEET NO.
TRC

ALERT TO CONTRACTOR:
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

NOTE: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: RIGHTS-OF-WAY, EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE - ANY FLOOD PLAIN DATA SHOWN HEREON IS AN APPROXIMATE LOCATION GRAPHICALLY PLOTTED FROM THE REFERENCED FEMA MAP UNLESS OTHERWISE NOTED. - THIS SURVEY DOES NOT CONSTITUTE A TITLE RESEARCH, FLOOD STUDY, WETLAND DELINEATION OR ENVIRONMENTAL INSPECTION BY SURVEYOR.



CURVE TABLE				
CURVE #	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	377.69	929.45	N24°17'50"W	375.10
C2	140.99	210.00	S01°11'26"E	138.36

I, A. CLAY JONES, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (PLAT BOOK 2000, PAGE 4184); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN (PLAT BOOK 2000, PAGE 4184); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION LICENSE NUMBER AND SEAL THIS 25 DAY OF APRIL, A.D., 2022.

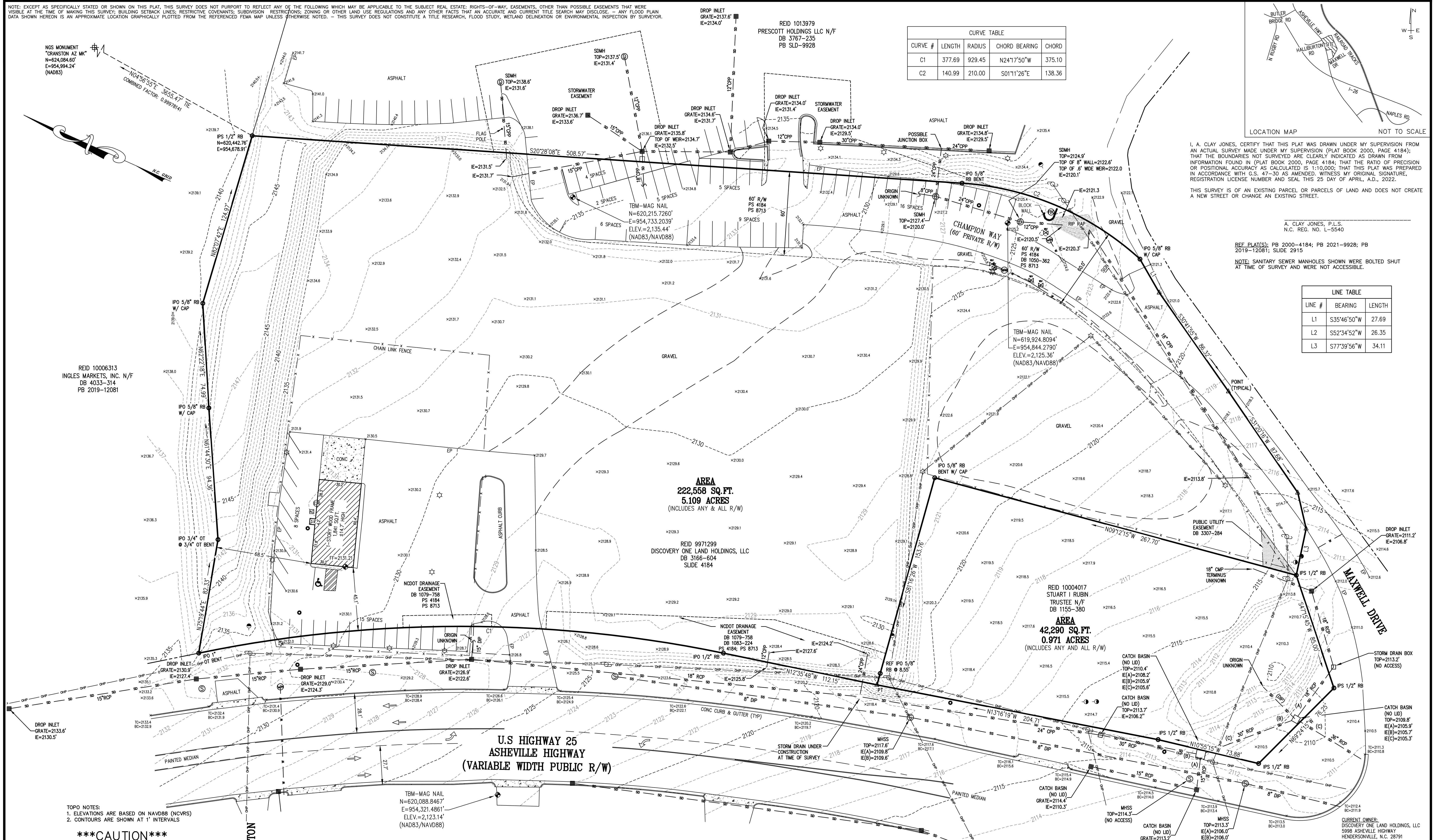
THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

A. CLAY JONES, P.L.S.
N.C. REG. NO. L-5540

REF. PLAT(S): PB 2000-4184; PB 2021-9928; PB 2019-12081; SLIDE 2915

NOTE: SANITARY SEWER MANHOLES SHOWN WERE BOLTED SHUT AT TIME OF SURVEY AND WERE NOT ACCESSIBLE.

LINE TABLE		
LINE #	BEARING	LENGTH
L1	S35°46'50"W	27.69
L2	S52°34'52"W	26.35
L3	S77°39'56"W	34.11



REID 10006313
INGLES MARKETS, INC. N/F
DB 4033-314
PB 2019-12081

AREA
222,558 SQ. FT.
5.109 ACRES
(INCLUDES ANY & ALL R/W)

REID 9971299
DISCOVERY ONE LAND HOLDINGS, LLC
DB 3166-604
SLIDE 4184

REID 1000417
STUART I RUBIN
TRUSTEE N/F
DB 1155-380

AREA
42,290 SQ. FT.
0.971 ACRES
(INCLUDES ANY AND ALL R/W)

U.S. HIGHWAY 25
ASHEVILLE HIGHWAY
(VARIABLE WIDTH PUBLIC R/W)

TOPO NOTES:
1. ELEVATIONS ARE BASED ON NAVD83 (NCVRS)
2. CONTOURS ARE SHOWN AT 1' INTERVALS

CAUTION



THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

S220424

- LEGEND**
- BL BUILDING LINE
 - CL CENTERLINE
 - CMP CORRUGATED METAL PIPE
 - CT GRIMP TOP
 - DE DRAINAGE EASEMENT
 - EP EDGE OF PAVEMENT
 - IP IRON PIN OLD
 - IP IRON PIN SET
 - N&C NAIL & CAP
 - OT OPEN TOP
 - RB REBAR
 - RCP REINFORCED CONC PIPE
 - R/W RIGHT OF WAY
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - SSE SSE EASEMENT

- CAV CABLE TV PEDESTAL
- TEL TELEPHONE PEDESTAL
- EM ELECTRIC METER
- CB CATCH BASIN
- DI DROP INLET
- WV WATER VALVE
- ELEV ELEVATION
- FF FIRE HYDRANT
- GM GAS METER
- GV GAS VALVE
- LP LIGHT POLE
- PP POWER POLE
- GP GUY ANCHOR
- SMH SD MANHOLE
- SMH SS MANHOLE
- TMH TELEPHONE MANHOLE
- CO CLEAN OUT

- TC/BC TOP/BOTTOM CURB
- TW/BW TOP/BOTTOM WALL
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- WV WATER VALVE
- CTV CABLE TV
- F FENCE LINE
- FOC FIBER OPTIC CABLE
- GAS GAS LINE
- OHP OVERHEAD POWER
- OHT OVERHEAD TELEPHONE
- SD STORM DRAIN
- SS SANITARY SEWER
- UGP UNDERGROUND POWER
- UGT UNDERGROUND TEL
- W WATER LINE

STATE OF NORTH CAROLINA
HENDERSON COUNTY

I, _____ REVIEW OFFICER OF HENDERSON COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____

TOPOGRAPHIC SURVEY FOR
THE SPINX COMPANY
HENDERSON COUNTY, NORTH CAROLINA

SCALE: 1"=30'
DATE: 4/21/22

PROPERTY ADDRESS: 6024 ASHEVILLE HWY
REID: 9971299 & 1000417

FIELD CREW: MM/CW
DRAWN BY: JM

SITE DESIGN, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

225 ROCKY CREEK ROAD, GREENVILLE, SC 29615
PH: (864)271-0498
www.sitedesign-inc.com

DATE	REVISION	BY	APPROVED
6/5/2023		HS	ACJ