

**REQUEST FOR COMMITTEE ACTION**

**HENDERSON COUNTY**

**TECHNICAL REVIEW COMMITTEE**

MEETING: TRC 8-3-21 & ZBA 8-25-21

SUBJECT: **Major Site Plan Review – Turnbreeches Creek Resort SUP-21-05**

PRESENTER: **Matt Champion**

ATTACHMENTS: **Staff Report & Site Plan**

SUMMARY OF REQUEST: **Major site plan review for Recreational Vehicle Park**

SUGGESTED MOTION:

**I move that the TRC approve the major site plan for Turnbreeches Creek Resort**

**I recommend forwarding the Special Use Permit to the Zoning Board of Adjustment**



## Henderson County, North Carolina Code Enforcement Services

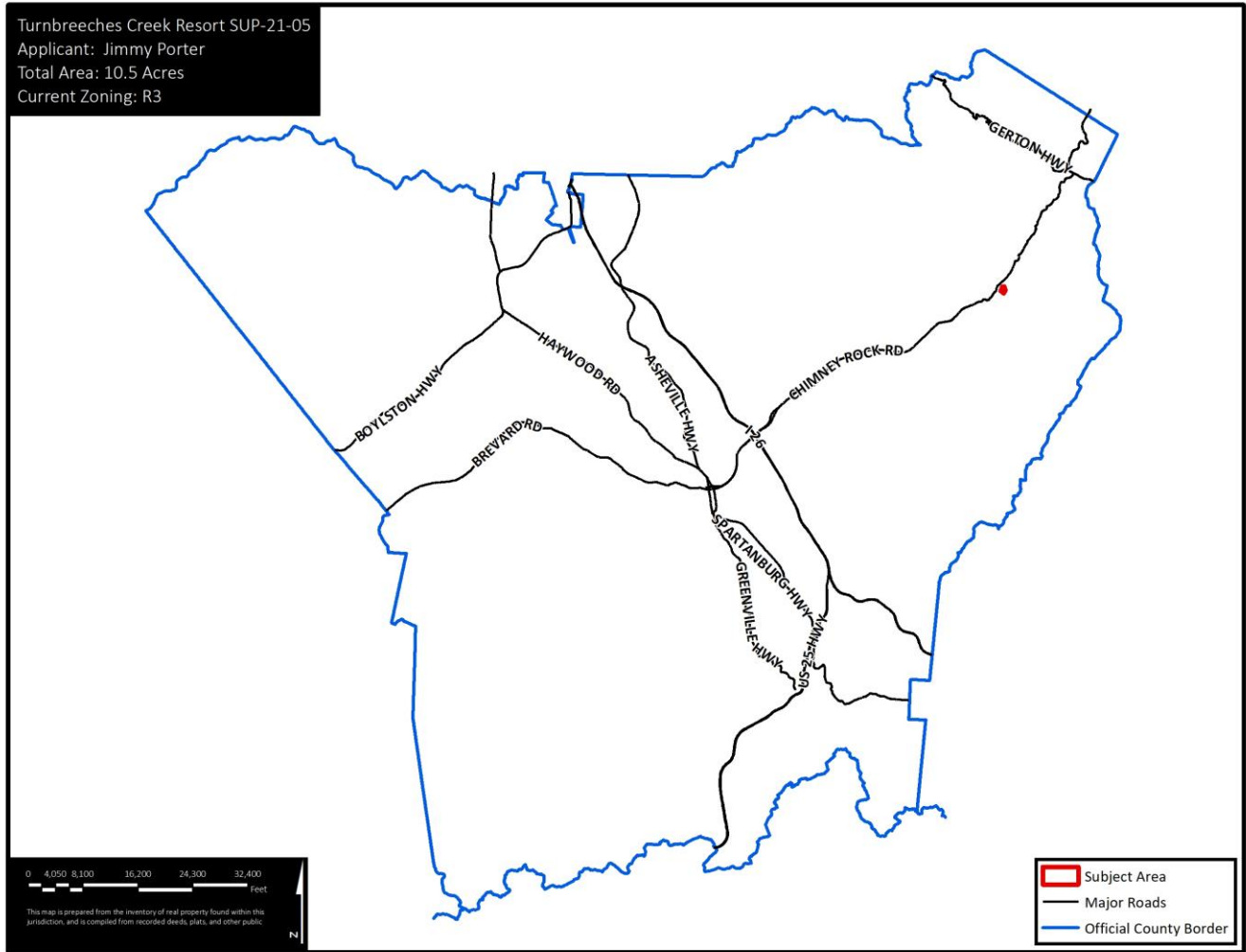
### 1. Committee Request

- 1.1. **Applicant:** Ronald Delbuono
- 1.2. **Request:** Major Site Plan Approval/SUP-21-03
- 1.3. **PIN:** 0611-08-9300
- 1.4. **Size:** 10.5 acres +/-
- 1.5. **Location:** East Old Mill Road.
- 1.6. **Supplemental Requirements:**

#### **SR 4.15. Recreational Vehicle Park**

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Lighting mitigation* required.
- (3) Perimeter Setback. Fifty (50) feet.
- (4) Recreational Vehicle Spaces. *Recreational vehicle* spaces shall be a minimum of 2,000 square feet and shall have dimensions no less than 40 feet by 50 feet. A *recreational vehicle* space may contain up to four (4) campsites for tent set-up. No *recreational vehicle* space is permitted in the 100-year *floodplain*.
- (5) Common Area. A *common area* shall be provided, that is equivalent in square footage to 25 percent the total square footage in: *recreational vehicle/park model home* spaces, *structures* on site, parking areas and *driveways*. *Common area* shall be accessible for the use and enjoyment of *recreational vehicle park* occupants, located as to be free of traffic hazards and maintained in good condition by the *applicant*.
- (6) Operations. The *recreational vehicle park*: a. Shall provide rental spaces:
  1. For the location of *recreational vehicles*, *park model homes* and/or tent set-up,
  2. Which may contain an open or covered porch not exceeding 15 feet in height and not to exceed 400 square feet in area, and
  3. Which have no point of direct access not indicated on the *site plan*;b. May contain *structures* ancillary to the use; c. Shall be permitted one (1) store, exclusively for the sale of incidental gifts and foodstuffs; and d. Shall provide, at the time of application, an evacuation plan for a natural disaster event.
- (7) Solid Waste Collection. The facility shall provide a suitable method of solid waste disposal and collection consisting of either private collection from individual *uses* or the *use* of dumpsters (installed and/or operated to meet all local and state statutes, ordinances and regulations (including Chapter 95 of the Henderson County Code, *Solid Waste*) and thereafter certified by the Department of Public Health). Where dumpsters are used, Screen Class One (1), Two (2) or Three (3) shall be provided consistent with the requirements of §42-182 (Screen Classification).
- (8) Sewage System. *Recreational vehicle/park model home* spaces shall not be provided individual hookups to a septic tank, *approved public or community sewage disposal system* or *municipal sewage disposal system*; instead, a central dump station shall be provided for the *use* of all occupants. A *recreational vehicle park* shall connect to a *municipal sewage disposal system* when the system is located within a distance equal to the product of 50 feet multiplied by the number of spaces proposed for the *recreational vehicle park*. If a *park* is located more than 2,500 feet from an existing *municipal sewage disposal system*, such connection shall not be required.
- (9) *Common Area Recreation and Service Facilities*. Those facilities within the *recreational vehicle park* shall be for the sole purpose of serving the overnight guests in the *park*, and shall adhere to the development standards established in SR 4.6 (*Common Area Recreation and Service Facilities*).

### Map A: County Context Map



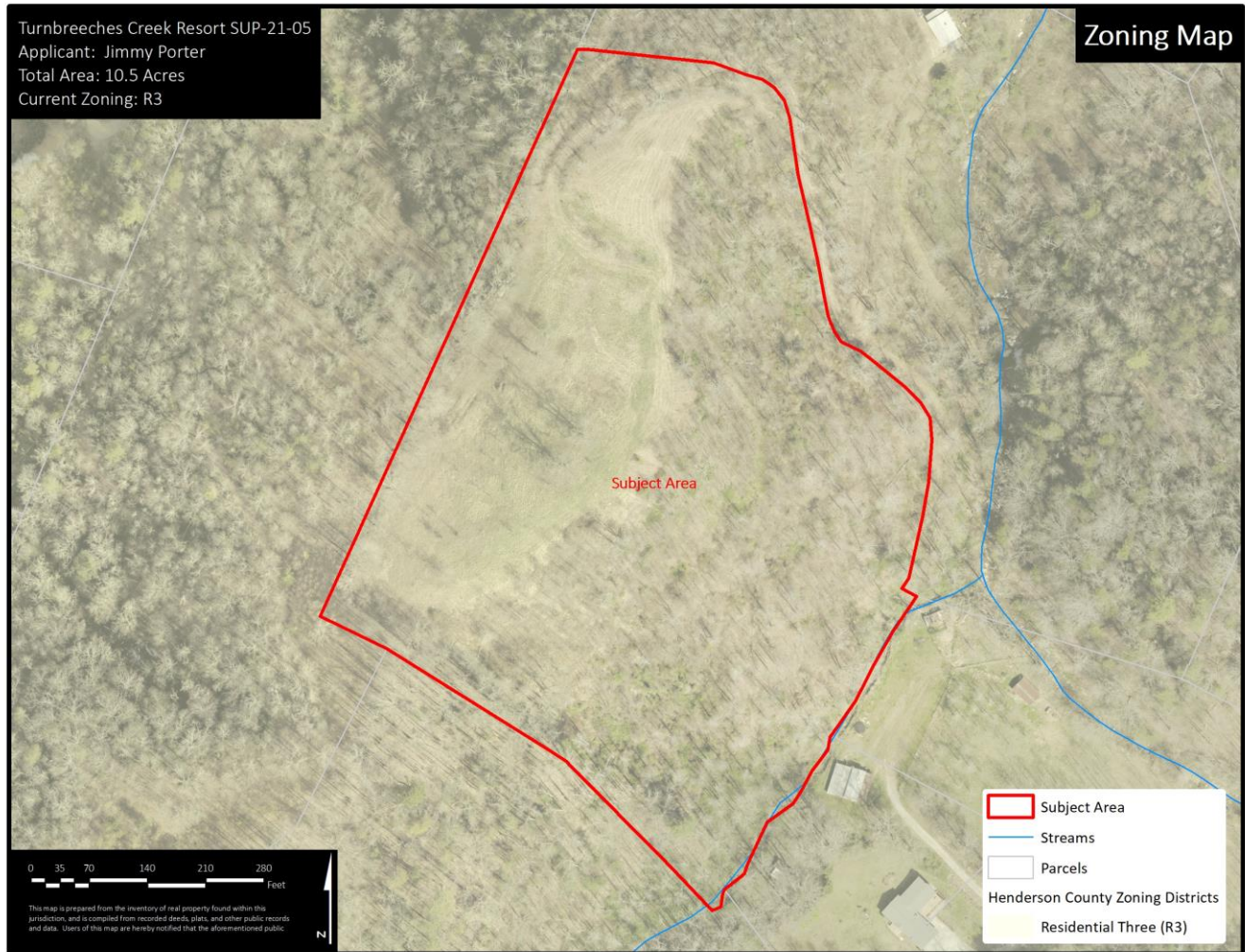
## 2. Current Conditions

- 2.1. **Current Use:** The subject area is currently vacant and primarily forested. There are no existing roads constructed to access the property. The proposed access will be through E. Old Mill Dr that has connections to Chimney Rock Rd and Bald Rock Rd.
- 2.2. **Adjacent Area Uses:** Adjacent land uses consist of residential, vacant land, and agricultural. The Old Orchard major residential subdivision is approximately a ¼ mile west from the subject area. Hideaway RV Park is located a ½ mile north of the subject area.

**Map B: Aerial Map**



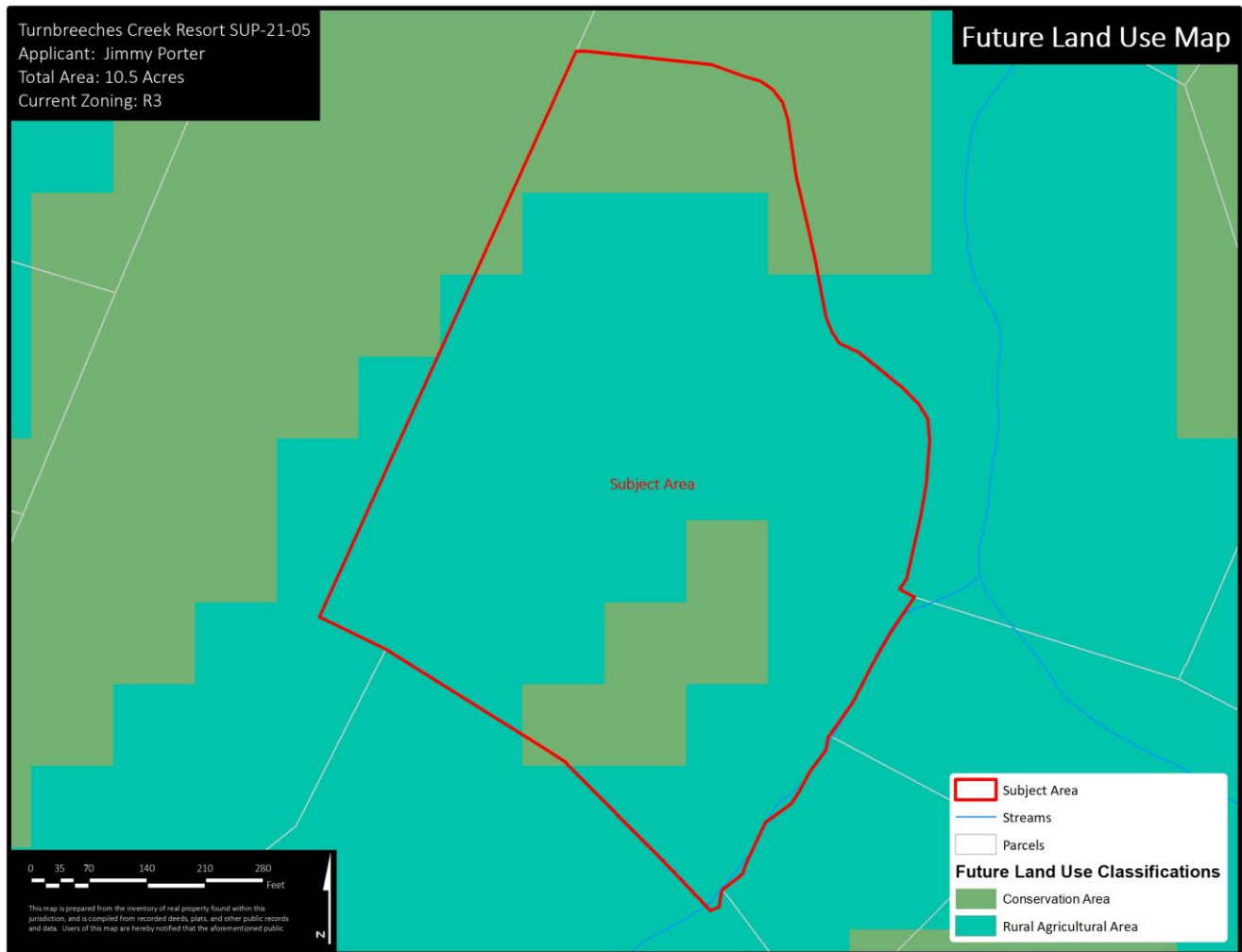
### Map C: Zoning Map



3. **Zoning:** The subject area is currently zoned Residential Three (R3). The purpose of the R3 zoning district is to foster orderly growth where the principal use of land is low density residential. The subject area is surrounded by Residential Three (R3) in all directions. Residential Two Rural (R2R) zoning district is found to the west of the subject area across Chimney Rock Rd.

3.1. **Recreational Vehicles Parks:** RV Parks are allowed in the Residential Three (R3) zoning district with a Special Use Permit.

### Map D: CCP Future Land Use Map



#### 4. Comprehensive Plan

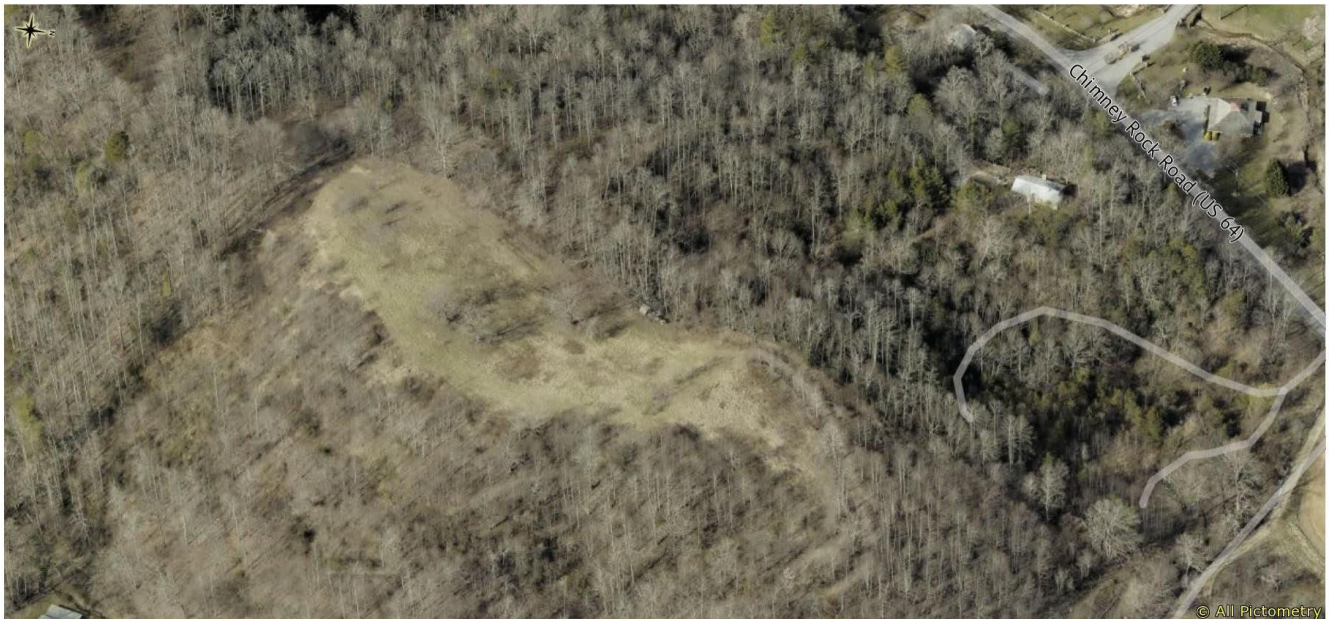
**Henderson County Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the Subject Area as being primarily located within the Rural Agricultural Area (RAA) Classification and a portion within the Conservation Area Classification.

- a. **Rural Agricultural Area:** “The RAA covers those portions of the county that are predominantly rural and are characterized by low-density residential development with substantial land areas devoted to agriculture and undeveloped lands.”
  - i. Population and residential densities should be considerably lower than that of the USA or the RTA. The suitability of land within these regions of the county should be a principal consideration in determining developmental densities and segregation of incompatible land uses.
  - ii. Most sections of the RAA are so far from sewer services as to make their extension largely impossible. Land development regulations should recognize this by not permitting densities that would require sewer services.
- b. **Conservation Area:** “This category includes land areas that are intended to remain largely in their natural state, with only limited development. Such areas should be targeted for protection through regulations and incentives.”

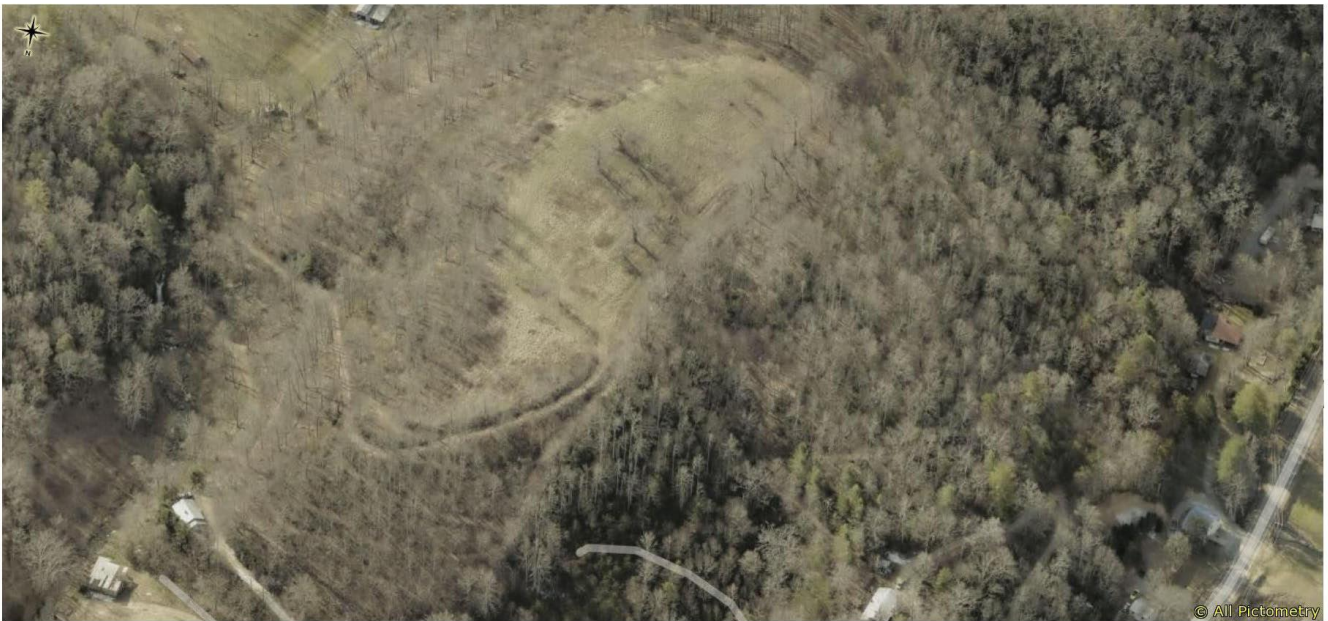
5. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area or within a Water Supply Watershed district. There is a stream running along the eastern boundary of the subject area. The applicant is required to setback 30’ from the edge of surface water.

6. **Water and Sewer** This property will be served by individual wells and a community waste treatment plant. The waste treatment plant will require approval from North Carolina Department of Environmental Quality Division of Water Resources.
7. **Proposal** The applicant is proposing to develop the subject area as a Recreational Vehicle Park with 66 RV spaces. Each space will be approximately 50' by 40' and accessed through 4,700LF of internal roads. The internal roads will be gravel and approximately 16' wide with 3' shoulders on each side of the roadway. The applicant will be constructing 1,200LF of gravel roadway offsite to access the subject area. The major site plan shows the following: a screened dumpster for solid waste, 50' perimeter setback, 250,250SQFT of disturbance, 66 RV spaces, more than 50% of common space, 3 wells, and a wastewater treatment plant.
8. **Staff Recommendations** Staff's position currently, under the guidelines of current plans, policies, and studies, is to approve the Major Site Plan.
9. **Oblique Photos**

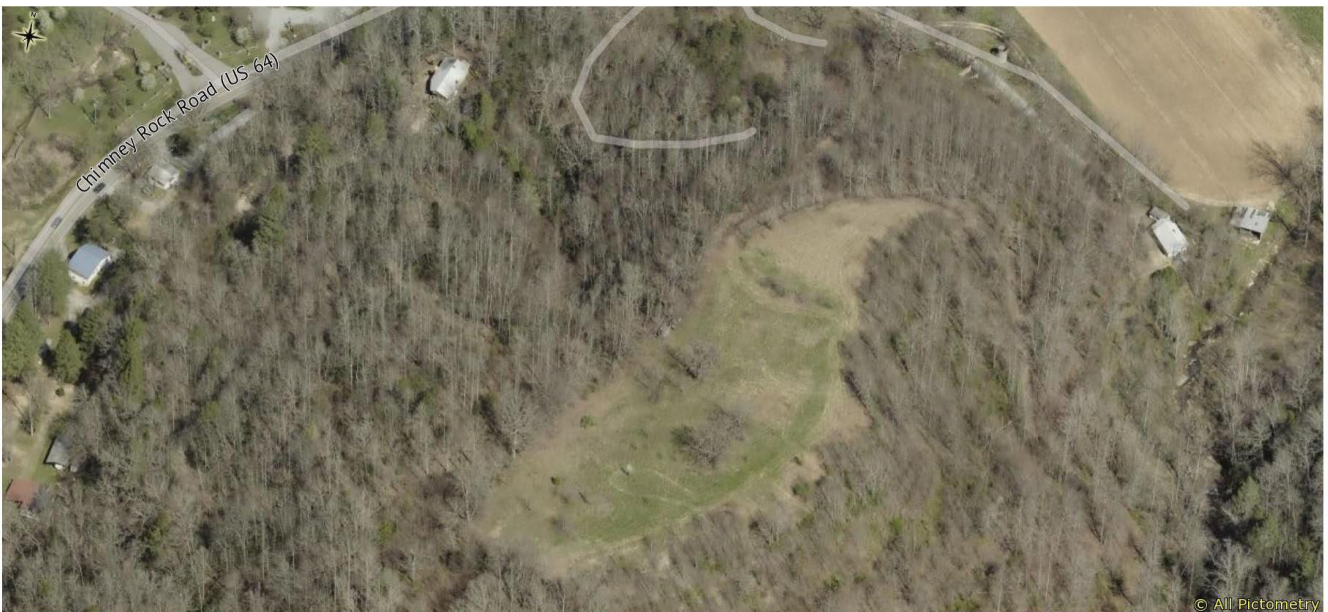
## View from East



## View From North



## View From South





# View From West



HENDERSON COUNTY  
MAJOR SITE PLAN REVIEW APPLICATION

CONTACT INFORMATION

Property Owner:

Name: JP COMMUNICATIONS Phone: 828 696 9912  
Complete Address: 903 FLEETWOOD PLAZA HENDERSONVILLE NC 28739

Applicant:

Name: TIMMY PORTER / PRESIDENT Phone: 828 696 9912  
Complete Address: 903 FLEETWOOD PLAZA HENDERSONVILLE NC 28739

Agent:

Name: FREELAND - CLINKSCALES Phone: 828 697 6539 (TREVOR)  
Complete Address: 201 2ND AVE EAST HENDERSONVILLE NC 28792  
Agent Form (Circle One): Yes  No

Plan Preparer:

Name: FREELAND - CLINKSCALES Phone: 828 697 6539  
Complete Address: 201 2ND AVE EAST HENDERSONVILLE NC 28792

GENERAL INFORMATION

Date of Application: 5/15/21  
Site Plan Attached (Circle One):  Yes  No

PARCEL INFORMATION

PIN: 0611-08-9300 Tract Size (Acres): 10 1/2 ACRES  
Zoning District: R3 Fire District: EDNEYVILLE  
Supplemental Requirement# 4.15 Watershed: -  
Permitted by Right SPECIAL USE Floodplain: NONE  
Special Use Permit YES

Location / Property to be developed: CHIMNEY ROCK ROAD / EDNEYVILLE TOWNSHIP  
OFF HWY 64

\*\*\*\*\*

County Use Only

Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Received by: \_\_\_\_\_

**HENDERSON COUNTY  
SPECIAL USE PERMIT APPLICATION FORM**

**GENERAL INFORMATION**

Date of Application: 5/15/21  
 Previously Submitted (Circle One): Yes  No   
 Date of Pre-Application Conference: \_\_\_\_\_  
 Site Plan Attached (Circle One): Yes  No   
 Traffic Impact Study Required (Circle One): Yes  No

**SPECIAL USE PERMIT INFORMATION**

Type of use to be permitted: RV RESORT SR #: \_\_\_\_\_  
 Existing Structures or Uses on property: TIMBERLAND  
 Road System (Circle): Public  Private   
 Water System (Circle): Individual  Community  Public (Municipal or County)  
 Sewer System (Circle): Individual  Community  Public (Municipal or County)

**SITE PLAN REQUIREMENTS**

If a minor or major site plan is not specifically required, the applicant shall submit a site plan with the following items:

- Dimensions of property.
- Location of existing and proposed structures (including accessory structures), and general use thereof.
- Setbacks of existing and proposed structures from property lines and edge of right-of-way for roads (from centerline of roads for uses located in the R-40, WR, or SW districts).
- Separation of existing and proposed structures from one another.
- Parking and off/on loading areas
- Location of signs (including sign dimensions, height, type of material, lighting).
- Location and dimensions of existing and proposed roads / driveways and their entrance/exits.
- Location of dumpsters.
- Location and general description of any fences, landscaping or other buffering (proposed or existing).

Site plan not to exceed 11 X 17 size. Anything submitted larger than 11 X 17, the applicant must provide 12 copies with the application form.

**PARCEL INFORMATION**

PIN: 0611-08-9300 Deed Book/Page: 3647/78 Tract Size (Acres): 10 1/2 ACRES  
 Zoning District: R3 Fire District: \_\_\_\_\_ Watershed: \_\_\_\_\_ Floodplain: \_\_\_\_\_  
 Location of property to be developed: CHIMNEY ROCK ROAD / EDNEVILLE TOWNSHIP  
OFF HWY 64

**CONTACT INFORMATION****Property Owner:**

Name: JP COMMUNICATIONS Phone: 828-696-9912  
 Address: 903 FLEETWOOD PLAZA City, State, and Zip: HENDERSONVILLE NC 28739

**Applicant:**

Name: JIMMY PORTER / PRESIDENT Phone: 828-696-9912

Address: 903 FLEETWOOD PLAZA Application No. \_\_\_\_\_  
City, State, and Zip: HENDERSONVILLE, NC 28739

**Agent:**

Name: FREELAND - CLINKSCALES Phone: 828 697 6539 (TREVOR)  
Address: 201 2<sup>ND</sup> AVE EAST City, State, and Zip: HENDERSONVILLE NC 28792  
Agent Form (Circle One): Yes  No

**Plan Preparer:**

Name: FREELAND - CLINKSCALES Phone: 828 697 6539  
Address: 201 2<sup>ND</sup> AVE EAST City, State, and Zip: HENDERSONVILLE, NC 28792

**STANDARDS FOR REVIEW**

The Land Development Code imposes the following GENERAL REQUIREMENTS on the use requested by the applicant. Under each requirement, the applicant should explain, where applicable, how the proposed use satisfies these requirements:

A. General Requirement #1: The use will not materially endanger the public health, safety or welfare:

AN RV RESORT PROMOTES A SAFE AND CLEAN  
RECREATIONAL ENVIRONMENT

B. General Requirement #2. The use will not substantially injure the value of property or improvements in the area.

THE PROPERTY IS BORDERED ON ALL SIDES BY  
FARMLAND AND TIMBERLAND.  
AN ADJOINING RV RESORT WILL ENHANCE ADJOINING PROPERTY  
VALUES

C. General Requirement #3. The use will be in harmony with the surrounding area.

THE AREA IS WELL SUITED TO RECREATIONAL USE  
ALONG WITH RESIDENTIAL AS WELL

The Land Development Code also imposes the following SPECIFIC REQUIREMENTS on the use requested by the applicant. The applicant should be prepared to demonstrate that satisfactory provisions have been made for the following, where applicable.

The proposed use shall be located and developed in such a manner as to:

a. Comply with all applicable local, state and federal statutes, ordinance and regulations.

WE CERTIFY THAT WE WILL FULLY COMPLY WITH ALL  
APPLICABLE LOCAL, STATE AND FEDERAL STATUTES

b. Be in accordance with the Comprehensive Plan, Long Range Transportation Plans and Comprehensive Transportation Plans of the county and/or Long Range Transportation Plans and comprehensive Transportation Plans of any municipality of the County.

THIS SPECIAL USE REQUEST CONFORMS TO THESE  
COUNTY PLANS AND APPLICANT WILL FULLY  
COMPLY WITH ALL TRANSPORTATION PLAN REQUIREMENTS

- c. Minimize the effects of noise, glare, dust, solar access and odor on those persons residing or working in the neighborhood of the proposed use.

THE APPLICANT HAS ESTABLISHED 50 FOOT BUFFERS  
 AROUND THE PROPERTY AND WILL PRACTICE  
 GOOD NEIGHBOR POLICIES AT ALL TIMES

- d. Minimize the environmental impacts on the neighborhood including the following groundwater, surface water, wetlands, endangered/threatened species, archeological sites, historic preservation sites and unique natural areas.

ALL WORK WILL BE PERFORMED WITH PRIORITY  
 EMPHASIS ON PROTECTING ALL OF THE ABOVE  
 AND MINIMIZING ENVIRONMENTAL IMPACTS AT ALL TIMES

Show that satisfactory provision/arrangement has been made (where applicable or required) concerning:

- a. Ingress and egress to property and proposed structures thereon (with particular reference to automotive/pedestrian safety/convenience and traffic flow/control).

THERE IS A RECORDED 30 FOOT RIGHT OF WAY  
 FROM THE HIGHWAY TO THE SITE TRAVERSING  
 EXISTING FARMLAND

- b. Off-street parking and loading areas.

OVER 50 PERCENT OF THE SITE IS OPEN AREA  
 WITH SUFFICIENT PARKING AND LOADING AREA  
 THROUGHOUT THE SITE

- c. Utilities (with particular reference to locations, availability and compatibility).

WE WILL PROVIDE COMMUNITY WATER  
 ALONG WITH COMMUNITY SEWER AS WELL AS  
 ELECTRIC TO EACH SITE

- d. Buffering and landscaping (with particular reference to type, location and dimensions).

NATURAL VEGETATION SHALL BE PRESERVED IN  
 THE SURROUNDING BUFFER BY SAVING ALL MATURE  
 TREES WHEREVER PRACTICAL TO CREATE A PARKLIKE ENVIREMENT

- e. Structures (with particular reference to location, size and use).

HOMESITE LOCATIONS ARE SHOWN  
 ON MAJOR SITE PLAN PROVIDED

I certify that the information shown above is true and accurate and is in conformance with the Land Development regulations of Henderson County.

Jimmy W. FORTER

Print Applicant (Owner or Agent)

[Signature]

Signature Applicant (Owner or Agent)

5-15-2021

Date

County Use Only

Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Received by: \_\_\_\_\_

Authority to grant the requested permit is contained in the Land Development Code, Sections: \_\_\_\_\_

Community Planning Area: \_\_\_\_\_

<b>APPLICATION IDENTIFICATION</b>		<b>N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION</b>
Driveway Permit No.	Date of Application <u>5/15/21</u>	
County: <u>HENDERSON COUNTY</u>		
Development Name: <u>TURNBREECHES CREEK</u>		

**LOCATION OF PROPERTY:**

Route/Road: HWY 64 / CHIMNEY ROCK ROAD (1670 FEET SOUTH VIA 30 FT PRIVATE DRIVE)

Exact Distance 1670  Miles  Feet      N  S  E  W

From the Intersection of Route No. HWY 64 and Route No. (PRIVATE DRIVE) Toward CHIMNEY ROCK

Property Will Be Used For:  Residential /Subdivision  Commercial  Educational Facilities  TND  Emergency Services  Other RV RESORT

Property:  is  is not within HENDERSONVILLE City Zoning Area.

**AGREEMENT**

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

**SIGNATURES OF APPLICANT**

PROPERTY OWNER (APPLICANT)		WITNESS	
COMPANY	X JP COMMUNICATIONS	NAME	X Anthony Porter
SIGNATURE	<i>Just over</i>	SIGNATURE	<i>Anthony Porter</i>
ADDRESS	X 903 FLEETWOOD PLAZA	ADDRESS	X 115 LAKE DRIVE
	X HENDERSONVILLE, NC Phone No. X 828 696 9912		X HENDERSONVILLE NC 28739

AUTHORIZED AGENT		WITNESS	
COMPANY	JP COMMUNICATIONS / PRESIDENT JIMMY PORTER	NAME	ANTHONY PORTER
SIGNATURE	<i>Just over</i>	SIGNATURE	<i>Anthony Porter</i>
ADDRESS	903 FLEETWOOD PLAZA	ADDRESS	115 LAKE DRIVE
	HENDERSONVILLE NC Phone No. 28739		HENDERSONVILLE NC 28739

**APPROVALS**

APPLICATION RECEIVED BY DISTRICT ENGINEER

\_\_\_\_\_  
SIGNATURE DATE

APPLICATION APPROVED BY LOCAL GOVERNMENTAL AUTHORITY (when required)

\_\_\_\_\_  
SIGNATURE TITLE DATE

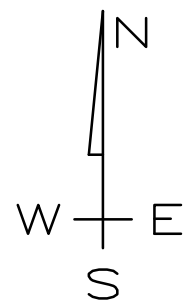
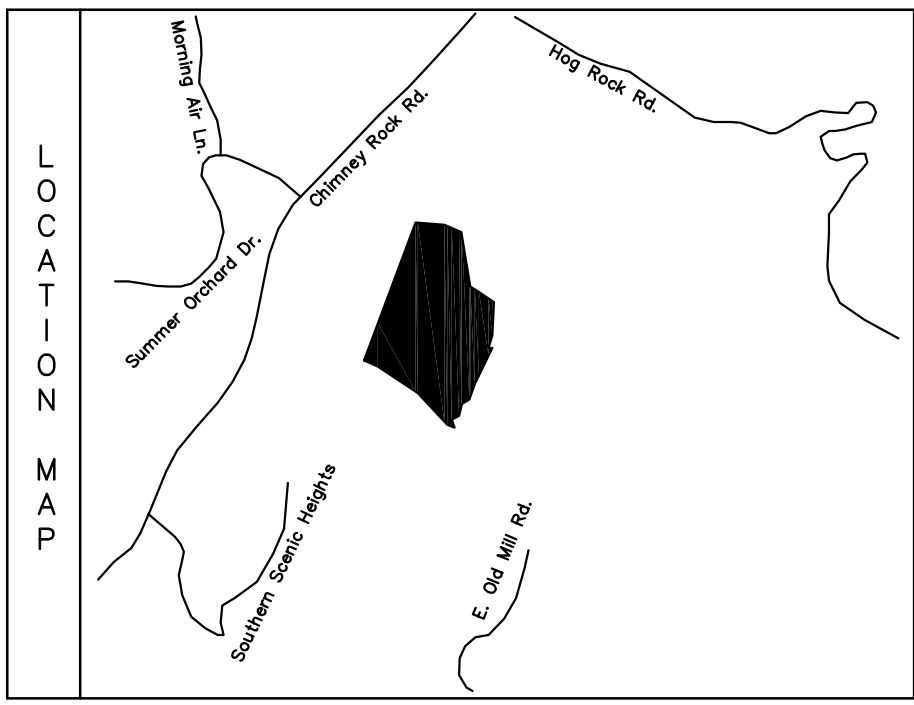
APPLICATION APPROVED BY DISTRICT ENGINEER

\_\_\_\_\_  
SIGNATURE DATE

INSPECTION BY NCDOT

\_\_\_\_\_  
SIGNATURE TITLE DATE

COMMENTS:



**GENERAL SURVEY NOTES:**

1. This survey was made in accordance with laws and/or Minimum Standards of the State of North Carolina.
2. The basis of bearing for this site plan is NC Grid based on NAD83(2011).
3. The 4' contour intervals as shown are based on a NC One Map Digital Elevation Models, dated November 17, 2013.
4. Subject Property is located within an area having a Zone Designation "X" by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 370096B200J, with a date of identification of October 2, 2008, for Community No. 370125, in Henderson County, State of North Carolina, which is the current Flood Insurance Rate Map for the community in which said premises is situated.
5. Subject Property is within a Farmland Preservation Area.
6. There are 66 RV Sites within the Subject Property.
7. More than 50% of the Subject Property will be retained as Common Area.
8. Dumpster Area screened with Fraser Firs.
9. Space for parking is included in to the 2000 sq.ft. Homesites.
10. The total length of roadways is 5,900 linear feet, including 1,200 linear feet offsite as access to the site.
11. All lamp posts, as shown, will be down-facing pedestal lights spaced a maximum of 50' apart along the roadways.
12. A B-1 Buffer will be installed around the perimeter of property if or when the existing vegetation is removed.

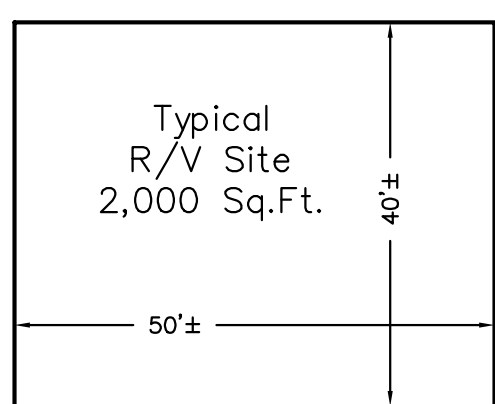
**ZONING INFORMATION**

Zoning District: R-3 (Residential)  
 Setbacks:  
 Front: 15' (Local)  
 Side: 15'  
 Rear: 15'  
 RV Buffer: 50'  
 Stream Buffer: 30'  
 Height: 40'

John Jay & Marion Dalton Heirs  
 W.B. 2008E, Pg. 667  
 PIN: 0611-08-5612  
 Zoned: R3

**LAND AREA:**

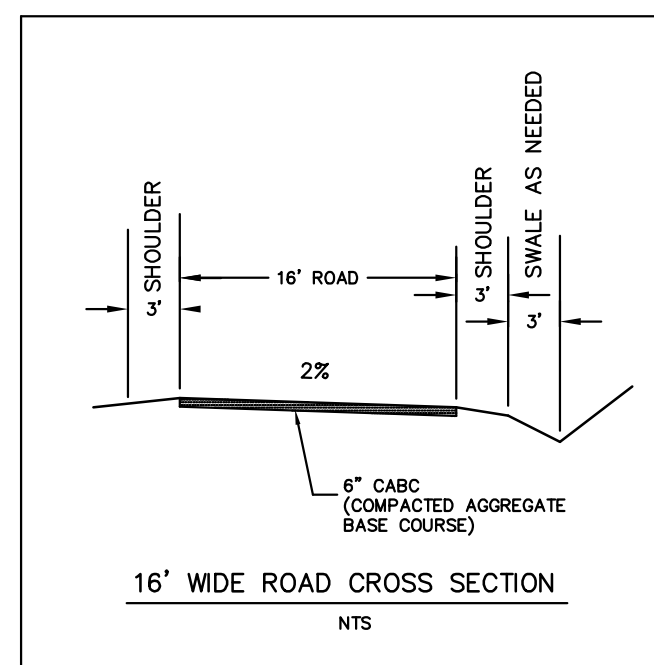
10.53 Acres±



Scale 1" = 20'

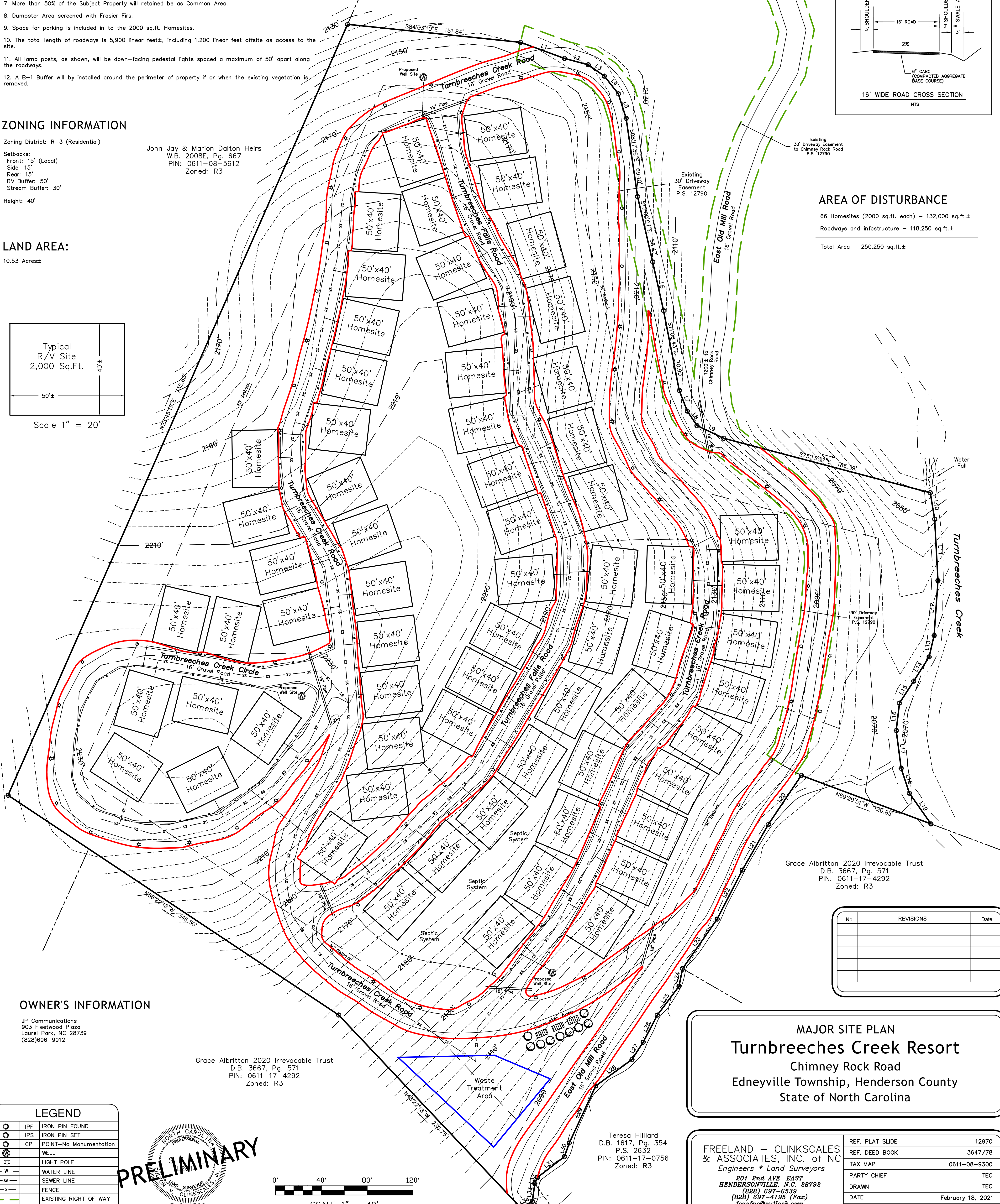
LINE	BEARING	DISTANCE
L1	S69°53'06"E	40.75'
L2	S74°48'16"E	21.53'
L3	S45°57'24"E	17.18'
L4	S38°25'20"E	19.77'
L5	S17°32'48"E	22.47'
L6	S12°37'01"E	43.73'
L7	S211°42'40"E	18.35'
L8	S33°43'53"E	15.22'
L9	S84°37'33"E	25.93'
L10	S03°03'59"E	23.94'
L11	S04°00'15"W	48.08'
L12	S12°59'41"W	19.20'
L13	S32°28'16"W	25.01'
L14	S33°01'26"W	22.88'
L15	S06°50'34"W	24.15'
L16	S07°23'33"E	33.57'
L17	S18°28'08"E	22.74'
L18	S34°59'28"E	32.81'
L19	S33°53'19"W	51.35'
L20	S29°44'49"W	46.08'
L21	S27°07'00"W	48.08'
L22	S34°51'50"W	52.81'
L23	S11°30'20"W	15.69'
L24	S36°52'53"W	31.46'
L25	S27°40'59"W	26.71'
L26	S32°48'42"W	17.99'
L27	S35°31'17"W	39.16'
L28	S24°54'55"W	54.93'
L29	S19°11'25"W	12.55'
L30	S21°13'51"W	30.07'
L31	S22°34'51"W	5.60'
L32	S07°55'13"W	16.10'
L33	S66°29'13"W	11.56'

Lot 2R  
 Brenda & Michael Dalton  
 D.B. 1549, Pg. 608  
 P.S. 12970  
 PIN: 0611-18-3517  
 Zoned: R3



**AREA OF DISTURBANCE**

66 Homesites (2000 sq.ft. each) - 132,000 sq.ft.±  
 Roadways and infrastructure - 118,250 sq.ft.±  
 Total Area - 250,250 sq.ft.±



Grace Albritton 2020 Irrevocable Trust  
 D.B. 3667, Pg. 571  
 PIN: 0611-17-4292  
 Zoned: R3

No.	REVISIONS	Date

**OWNER'S INFORMATION**

JP Communications  
 903 Fleetwood Plaza  
 Laurel Park, NC 28739  
 (828)696-9912

Grace Albritton 2020 Irrevocable Trust  
 D.B. 3667, Pg. 571  
 PIN: 0611-17-4292  
 Zoned: R3

**LEGEND**

○	IPF	IRON PIN FOUND
○	IPS	IRON PIN SET
○	CP	POINT-No Monumentation
⊙		WELL
☆		LIGHT POLE
— W		WATER LINE
— SS		SEWER LINE
— X		FENCE
—		EXISTING RIGHT OF WAY
—		AREA OF DISTURBANCE



Teresa Hilliard  
 D.B. 1617, Pg. 354  
 P.S. 2632  
 PIN: 0611-17-0756  
 Zoned: R3

**MAJOR SITE PLAN**  
**Turnbreeches Creek Resort**  
 Chimney Rock Road  
 Edneyville Township, Henderson County  
 State of North Carolina

FREELAND - CLINKSCALES & ASSOCIATES, INC. of NC  
 Engineers \* Land Surveyors  
 201 2nd AVE. EAST  
 HENDERSONVILLE, N.C. 28792  
 (828) 697-6339  
 (828) 697-4195 (Fax)  
 fcaofnc@outlook.com

REF. PLAT SLIDE	12970
REF. DEED BOOK	3647/78
TAX MAP	0611-08-9300
PARTY CHIEF	TEC
DRAWN	TEC
DATE	February 18, 2021
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