

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: April 6, 2021

SUBJECT: Major Site Plan Review JSMG Investments LLC Warehousing

PRESENTER: Matt Champion, Zoning Administrator

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Warehousing & Storage

Suggested Motion: I move that the TRC approve/deny the major site plan for JSMG Investments LLC Warehousing & Storage



Henderson County, North Carolina Code Enforcement Services

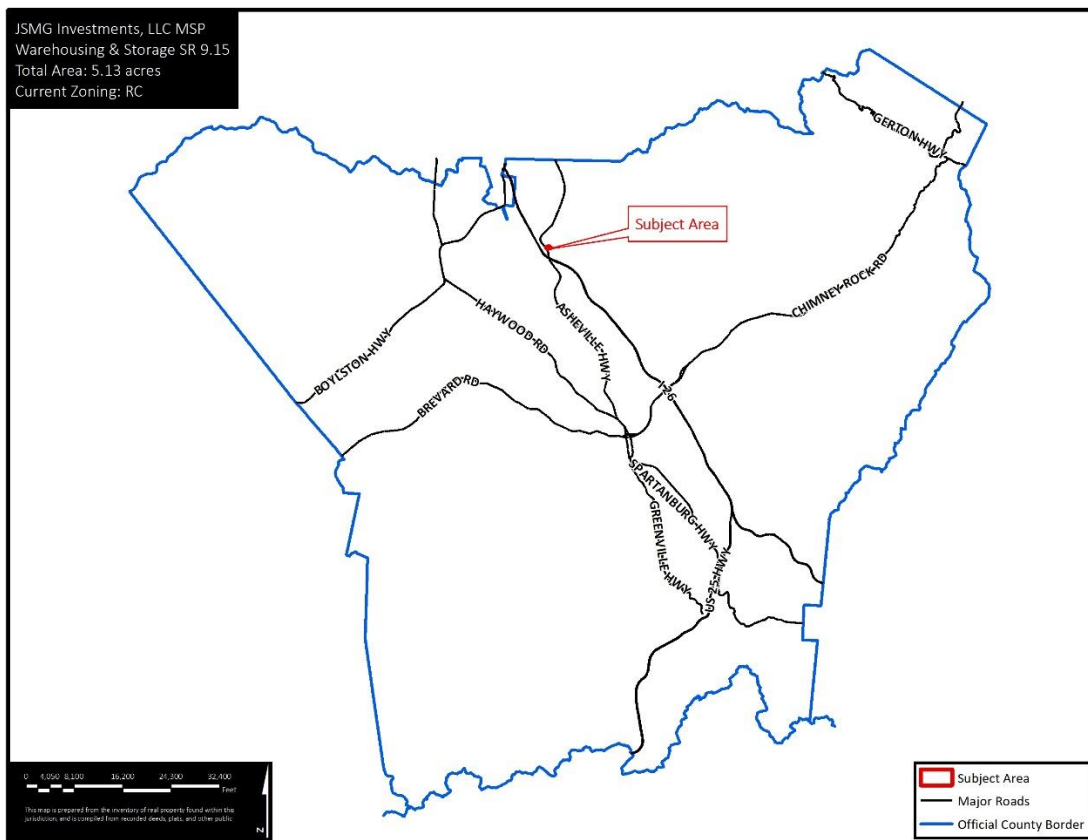
1. **Committee Request**

- 1.1. **Applicant:** JSMC Investments LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9652-40-5516
- 1.4. **Size:** 5.13 acres +/-
- 1.5. **Location:** The subject area is located off US Hwy 25 at 6034 Asheville Hwy
- 1.6. **Supplemental Requirements:**

SR 9.15. Warehousing and Storage (Excluding Warehousing of Hazardous Substances)

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travelways* and/or parking areas shall be treated to prevent dust from adverse effects to adjacent properties.

Map A: County Context



Map B: Current Zoning



2. Current Conditions

- 2.1 Current Use:** This parcel is currently vacant and was recombined in 2019 on slide 12081.
- 2.2 Adjacent Area Uses:** The surrounding properties consist of industrial and commercial uses.
- 2.3 Zoning:** The surrounding properties are zoned Regional Commercial (RC) to the north, west, and south. Industrial (I) zoning is found to the east across the railroad tracts.

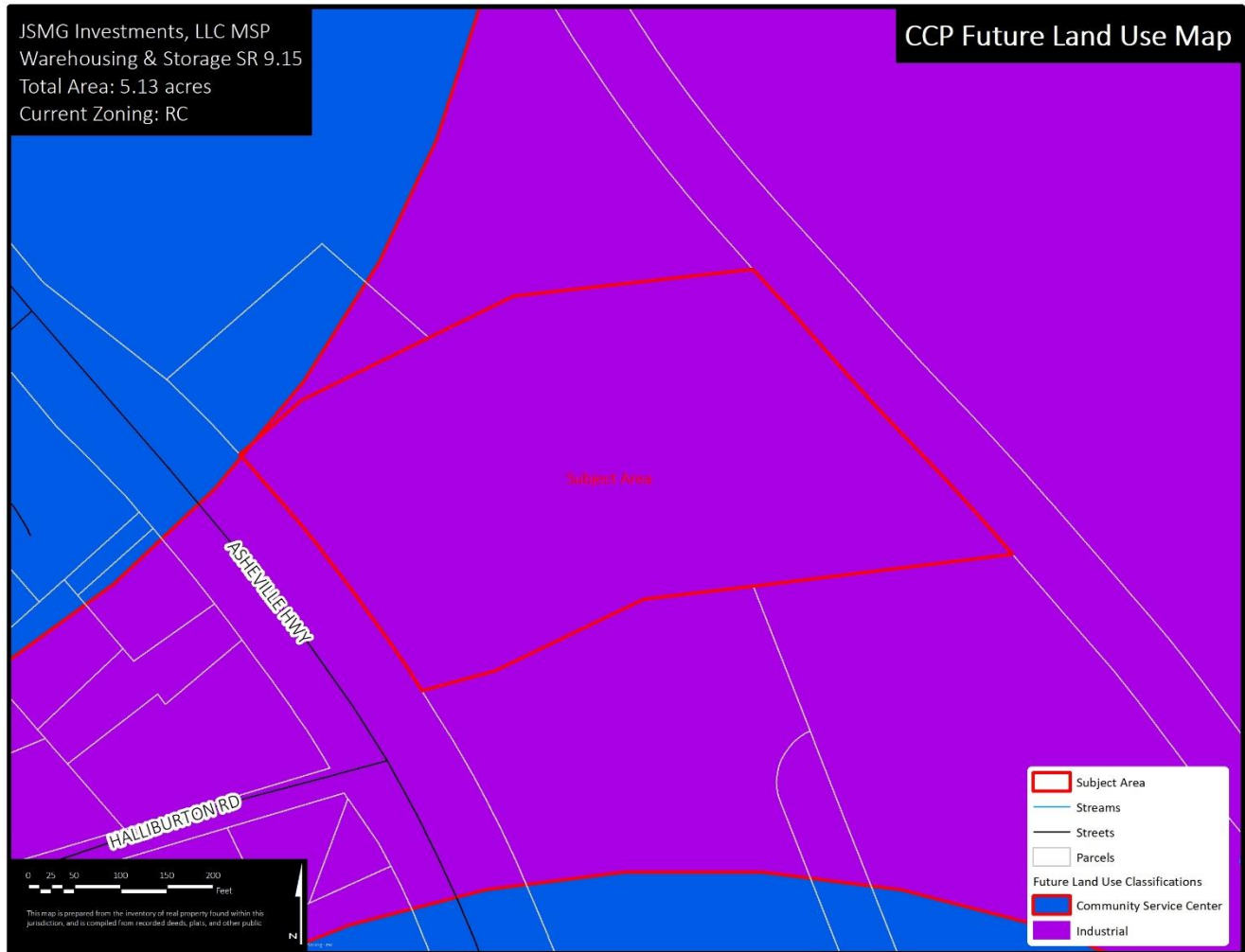
3. Floodplain /Watershed Protection The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. Water and Sewer Hendersonville Water and MSD sewer will serve this property.

Public Water: Yes

Public Sewer: Yes

Map C: CCP Future Land Use Map



5. Staff Comments

Henderson County Comprehensive Plan (CCP): The CCP Future Land Use Map places the Subject Area in the Industrial Area classification.

- a. **Industrial:** “Parcels containing facilities wherein raw or pre-processed resources, materials, substances, or components are mechanically, physically, chemically, or otherwise transformed into new products; waste materials are collected, treated, or disposed of; subsurface natural resources are extracted and/or processed; Livestock, cargo, merchandise, materials or hazardous substances are transferred, stored or warehoused for wholesale or other distribution; passengers or passenger vehicles are collected or transferred; water, fuel, or electricity is produced, processed, stored, transferred or transmitted.” (CCP, Appendix IV pg. 12).
- b. The text and map of the CCP suggest that the Subject Area would be more suitable for the following: The purpose of the Industrial District (I) is to foster orderly growth where the *principal use* of land is a mixture of industrial and heavy commercial. The intent of this district is to allow for *industrial* and heavy *commercial development* consistent with the recommendations of the *Comprehensive Plan*. In accordance with the *Comprehensive Plan*, the district will allow for and provide *industrial* and heavy *commercial development* that: (1) is compatible with adjacent development and the surrounding community; (2) will minimize conflict between land *uses*; and (3) is

sensitive to its impact on surrounding land *uses* and the environment (natural and man-made).

6. **Proposal** The applicant is proposing to construct two 40,000SQFT structures for warehousing and storage. The major site plan shows 65 parking spaces, 1 loading dock per building, a total of 71.79% impervious surface area, parking area landscaping, and a maximum building height of 50'. The major site plan also includes a dumpster with screening and 566LF of privately maintained roadways.

7. **Staff Recommendations**

Staff's Position currently, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

8. **Photographs**





**HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION**

CONTACT INFORMATION

Property Owner:

Name: JSMG INVESTMENTS, LLC Phone: (828) 255-8922
Complete Address: P.O. BOX 18135 ASHEVILLE, NC 28814

Applicant:

Name: JSMG INVESTMENTS, LLC Phone: (828) 255-8922
Complete Address: P.O. BOX 18135 ASHEVILLE, NC 28814

Agent:

Name: _____ Phone: _____
Complete Address: _____
Agent Form (Circle One): Yes No

Plan Preparer:

Name: ROBERT GRASSO, PLA Phone: (828) 242-0111
LAND PLANNING COLLABORATIVE
Complete Address: P.O. BOX 2200 ASHEVILLE, NC 28802

GENERAL INFORMATION

Date of Application: 3/24/21
Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: 9652-40-~~8883~~ 5516 Tract Size (Acres): 5.13 AC
Zoning District: RC Fire District: FLETCHER FIRE
Supplemental Requirement# _____ Watershed: N/A
Permitted by Right _____ Floodplain: N/A
Special Use Permit _____

Location / Property to be developed: PROPERTY LOCATED ON U.S. HWY 25, 0.18 MI. NORTH OF MAXWELL DRIVE (EAST SIDE OF ROAD)

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

JSMG INVESTMENTS, LLC
HOOPERS CREEK TOWNSHIP
HENDERSON COUNTY, NORTH CAROLINA
 MARCH 24, 2021

OWNER/APPLICANT:

JSMG INVESTMENTS, LLC
 P.O. BOX 18135
 ASHEVILLE, NC 28814
 PHONE: (828) 255-8922
 EMAIL: info@carolinamorance.com
 CONTACT: MARSHALL GREEN

LAND PLANNER:

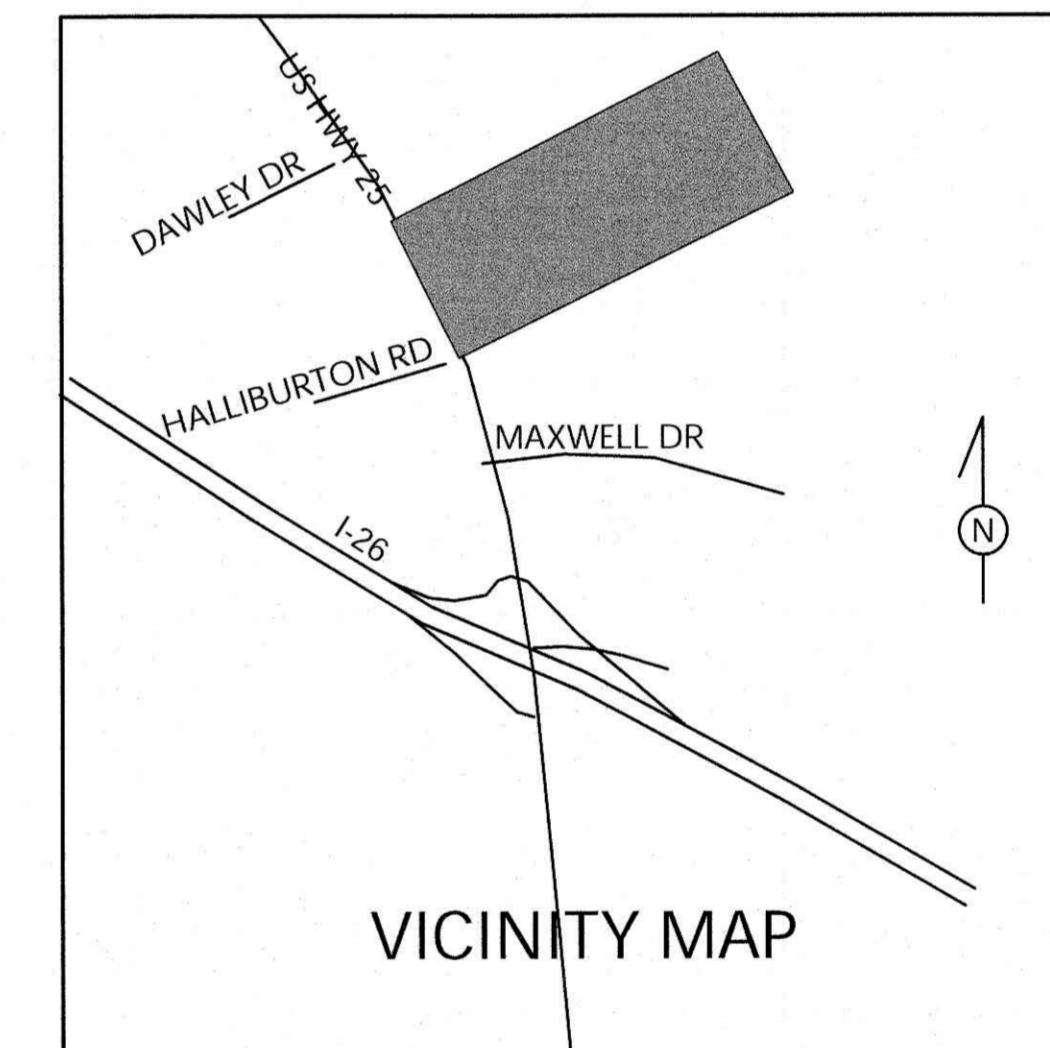
LAND PLANNING COLLABORATIVE
 P.O. BOX 2200
 ASHEVILLE, NORTH CAROLINA 28802
 PHONE: (828) 242-0111
 EMAIL: bgrasso@landplancollab.com
 CONTACT: ROBERT M. GRASSO, RLA

CIVIL ENGINEER:

DAVIS CIVIL SOLUTIONS
 134-A CHARLOTTE HIGHWAY
 ASHEVILLE, NORTH CAROLINA 28803
 PHONE: (828) 299-9449
 EMAIL: gary@daviscivilsolutions.com
 CONTACT: GARY D. DAVIS, PE

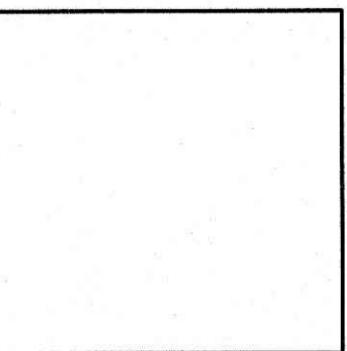
SURVEYOR:

SPENCER SURVEYING & MAPPING, PLLC
 1095 HENDERSONVILLE ROAD, SUITE S2
 ASHEVILLE, NC 28803
 PHONE: (828) 384-1480
 EMAIL: jason@spencer-surveying.com
 CONTACT: JASON SPENCER, PLS



LIST OF DRAWINGS

- L-1 MASTER PLAN
- L-2 LAYOUT & MATERIALS PLAN
- L-3 GRADING PLAN
- L-4 LANDSCAPE PLAN
- L-5 SITE CONSTRUCTION DETAILS
- C1 WATER & SEWER PLAN
- C2 STORMWATER & EROSION CONTROL



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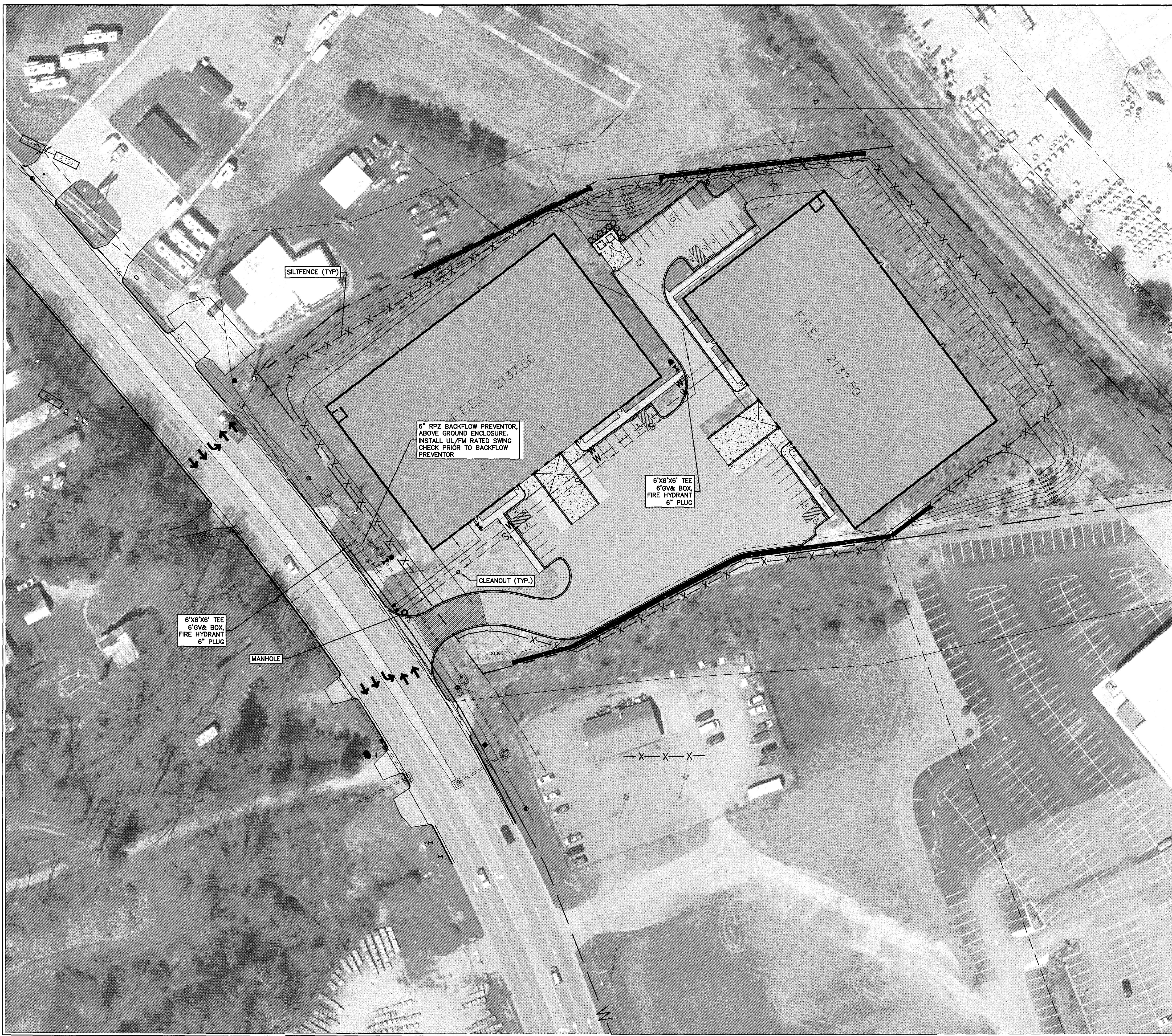
JSMG INVESTMENTS, LLC TRACT
 HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
 DWG. NAME: Hwy25-site.dwg
 DATE: MARCH 24, 2021

REVISIONS:

REV.	DATE	BY:
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△	-	-
△	-	-
△	-	-
△	-	-

SHEET
 TITLE SHEET



PROJECT INFORMATION

PROPERTY OWNER: JSMG INVESTMENTS, LLC
P.O. BOX 18135
ASHEVILLE, NC 28814
PHONE: (828) 255-8922
EMAIL: info@carolinamorange.com
CONTACT: MARSHALL GREEN

LANDSCAPE ARCHITECT: LAND PLANNING COLLABORATIVE
P.O. BOX 2200
ASHEVILLE, NC 28802
PHONE: (828) 242-0111
EMAIL: bgrasso@landplancollab.com
CONTACT: ROBERT M. GRASSO, RLA

CIVIL ENGINEER: DAVIS CIVIL SOLUTIONS, PA
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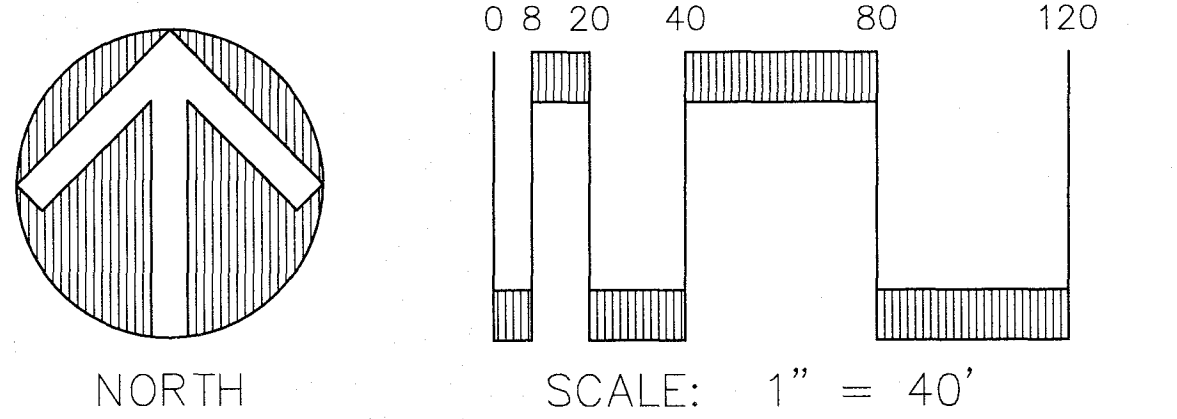
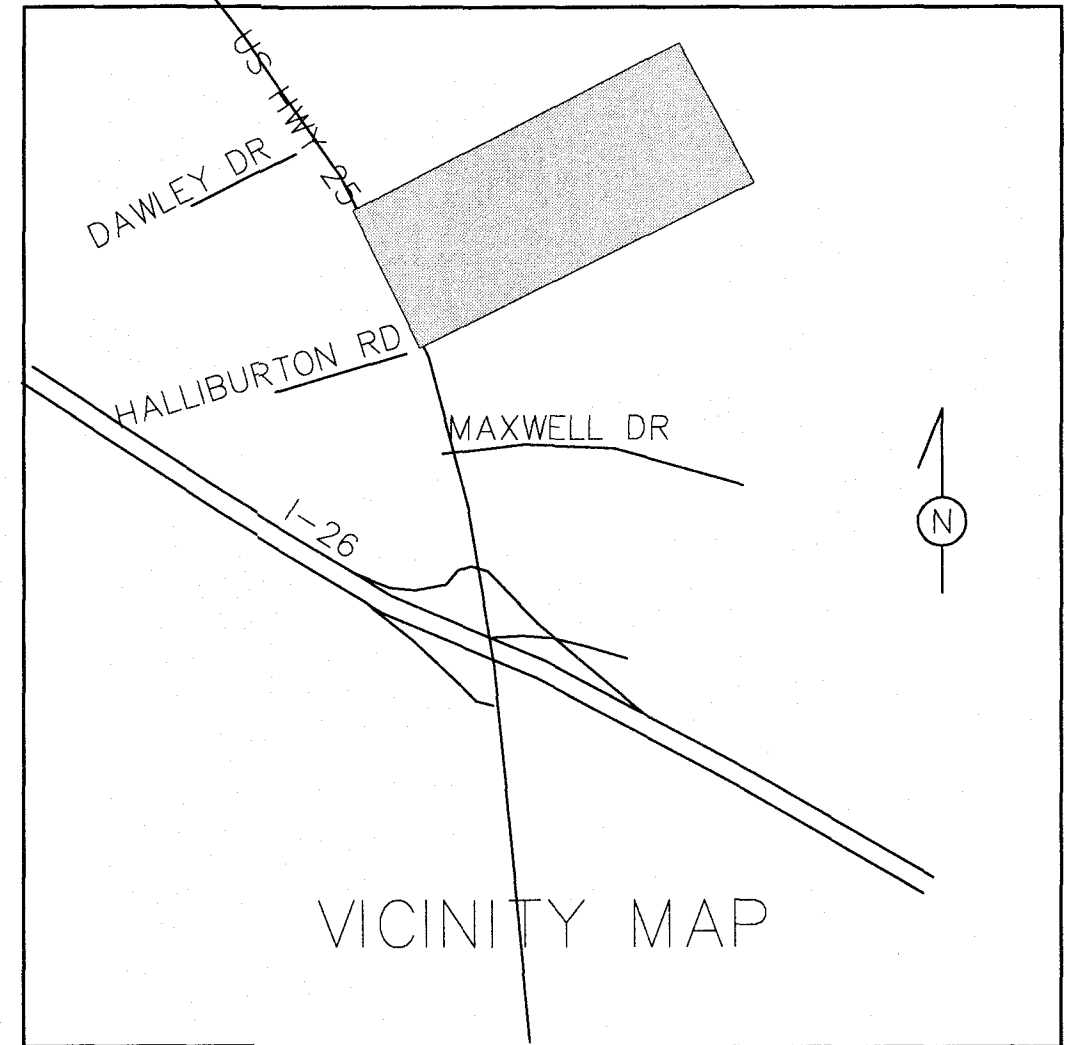
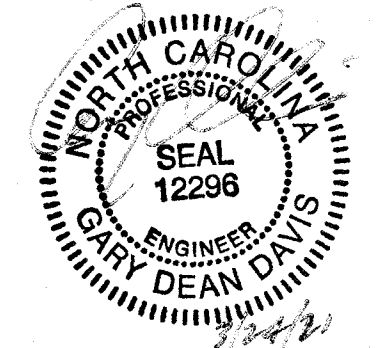
SURVEYOR: SPENCER SURVEYING & MAPPING, PLLC
1095 HENDERSONVILLE ROAD, SUITE 52
ASHEVILLE, NC 28803
PHONE: (828) 384-1480
EMAIL: jason@spencer-surveying.com
CONTACT: JASON SPENCER, PLS

SITE INFORMATION

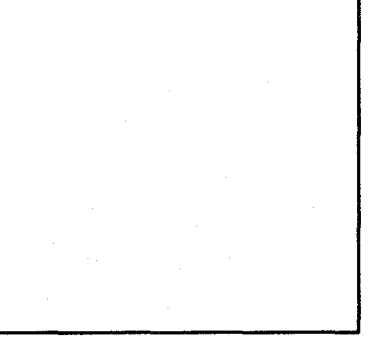
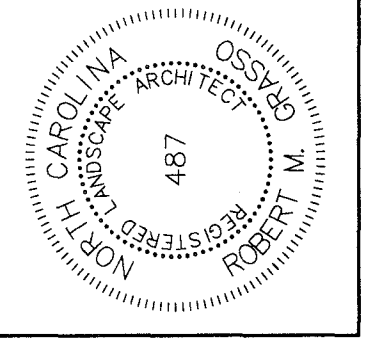
PIN: 9652-40-2383
DEED BOOK / PAGE: 3399/690
ADDRESS: N/A
ZONING CLASSIFICATION: RC REGIONAL COMMERCIAL
PROJECT ACREAGE: 5.13 AC. (223,566 SF)
PROPOSED USE: WAREHOUSE
WAREHOUSE SQUARE FOOTAGE: 80,000 SF
PERMITTED MAXIMUM BUILDING HEIGHT: 50'
PROPOSED MAXIMUM BUILDING HEIGHT: 50'
PERMITTED DENSITY (RESIDENTIAL): 16 UNITS/ACRE
BUILDING SETBACKS: FRONT: 30'
SIDE: 10'
REAR: 10'

PERMITTED MAXIMUM IMPERVIOUS AREA: 80%
PROPOSED IMPERVIOUS AREA: 69.68% (155,795 SF)
REQUIRED WAREHOUSE PARKING SPACES: 20 SPACES (1 SPACE/4,000 SF)
PROPOSED WAREHOUSE PARKING SPACES: 30 SPACES
LENGTH OF ROADS: 566 LF (PRIVATELY MAINTAINED)
REQUIRED NO. OF PARKING LOT TREES: 19 TREES
PROPOSED NO. OF PARKING LOT TREES: 22 TREES
WATER: HENDERSONVILLE WATER
SANITARY SEWER: CANE CREEK SANITARY SEWER DISTRICT
UTILITIES: DUKE ENERGY, UNDERGROUND POWER

- GENERAL NOTES:**
- ROADS & PARKING AREAS PRIVATELY MAINTAINED.
 - THE PROPERTY OWNER WILL MAINTAIN THE OPEN SPACE.
 - THE BUILDINGS WILL BE SPRINKLED FOR FIRE PROTECTION.
 - PROPOSED BUILDINGS & PARKING AREA DO NOT LIE WITHIN FLOOD HAZARD ZONE.
 - EXTERIOR PARKING LOT LIGHTING WILL CUT-OFF FIXTURES, COMPLYING WITH HENDERSON COUNTY LIGHTING REQUIREMENTS.



LAND PLANNING COLLABORATIVE
Landscape Architects and Planners
P.O. BOX 2200
ASHEVILLE, N.C. 28802
PHONE: (828) 242-0111
EMAIL: bgrasso@landplancollab.com



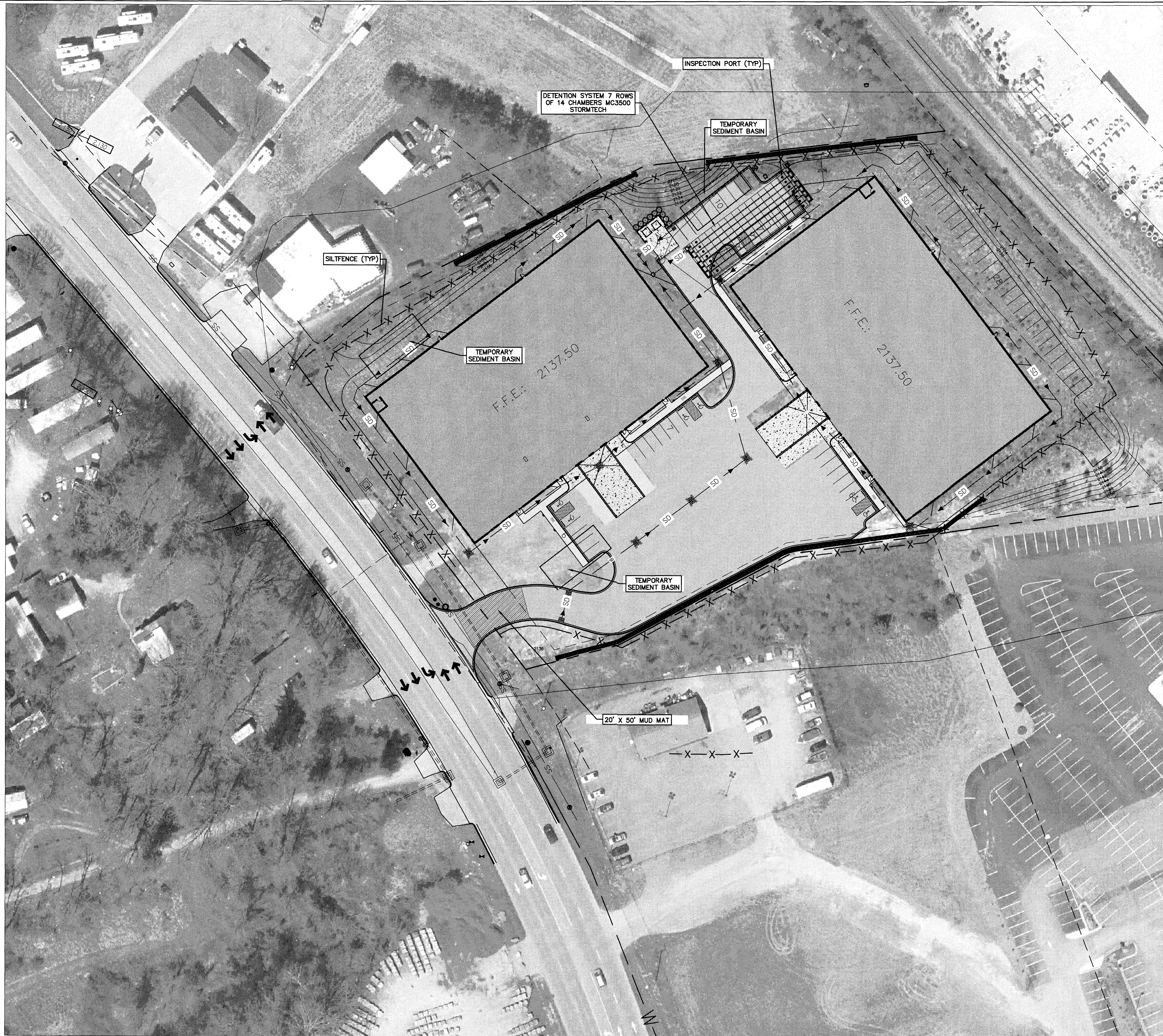
WATER-SEWER PLAN

JSMG INVESTMENTS, LLC TRACT
HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
DWG. NAME: hwy25-site.dwg
DATE: MARCH 18, 2021
REVISIONS:

REV.:	DATE:	BY:
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2		
3		
4		

SHEET
C-1



PROJECT INFORMATION
 PROPERTY OWNER: JSMG INVESTMENTS, LLC
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 ASHEVILLE, NC 28814
 PHONE: (828) 255-8922
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 CONTACT: MARSHALL GREEN

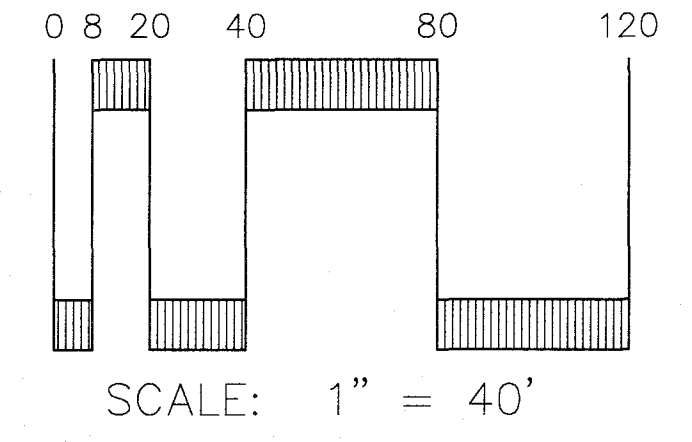
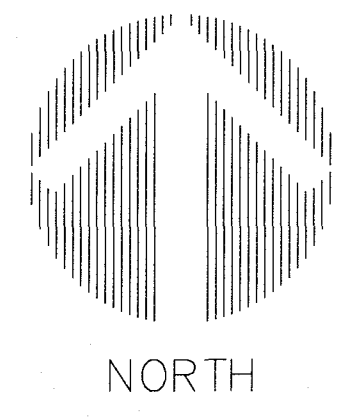
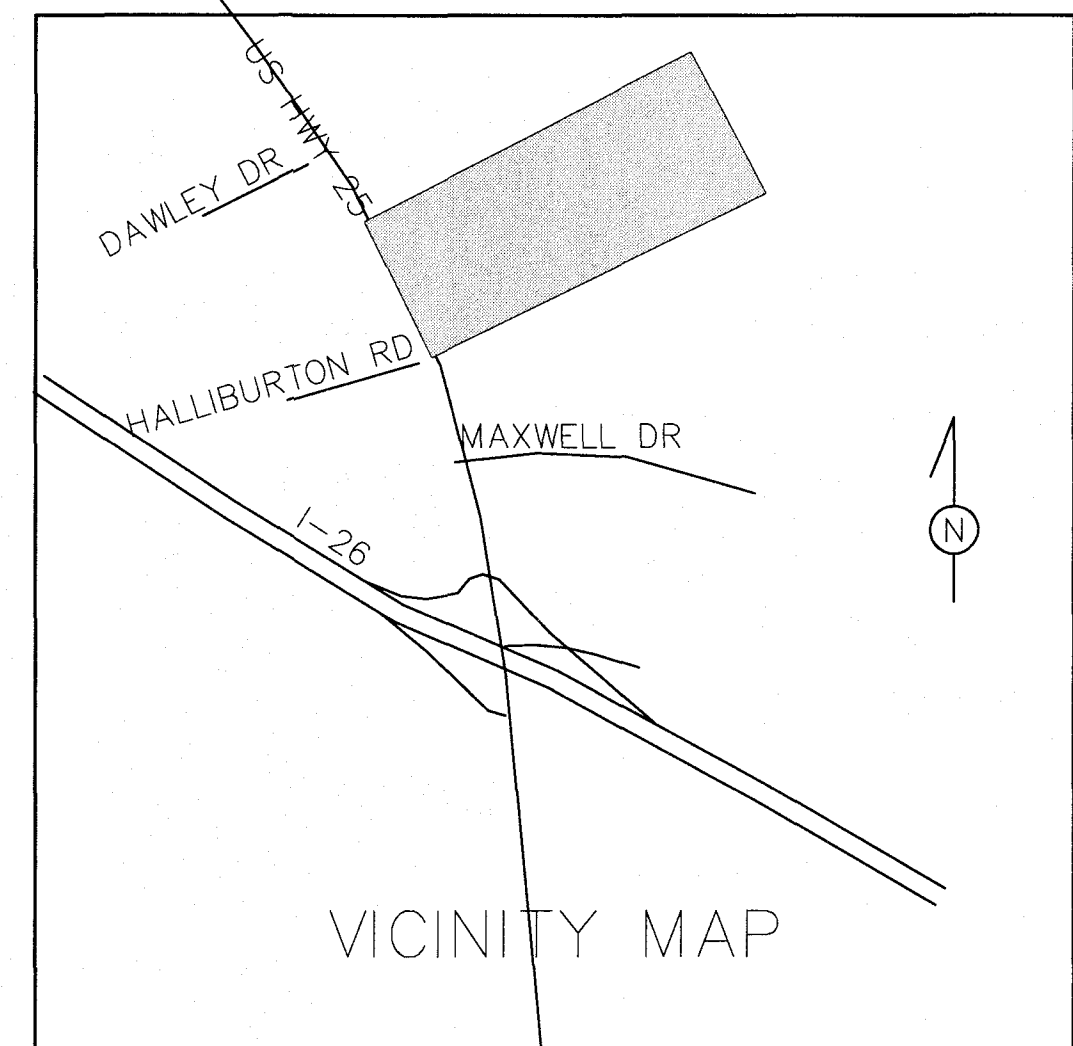
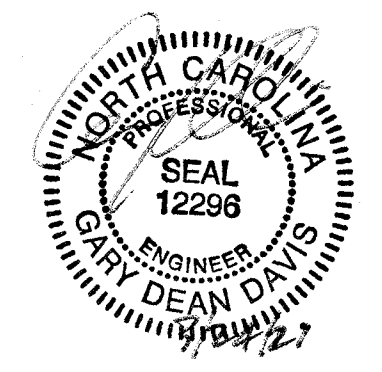
LANDSCAPE ARCHITECT: LAND PLANNING COLLABORATIVE
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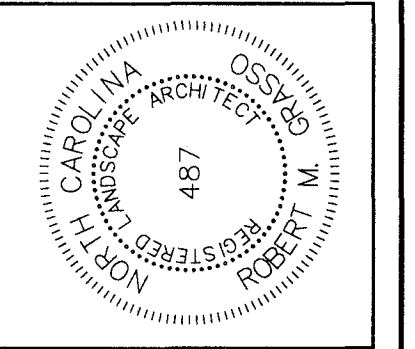
SURVEYOR: SPENCER SURVEYING & MAPPING, PLLC
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 CONTACT: JASON SPENCER, PLS

SITE INFORMATION
 PIN: 9652-40-2383
 DEED BOOK / PAGE: 3399/690
 ADDRESS: N/A
 ZONING CLASSIFICATION: RC REGIONAL COMMERCIAL
 PROJECT ACREAGE: 5.13 AC. (223,568 SF)
 PROPOSED USE: WAREHOUSE
 WAREHOUSE SQUARE FOOTAGE: 80,000 SF
 PERMITTED MAXIMUM BUILDING HEIGHT: 50'
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 PERMITTED DENSITY (RESIDENTIAL): 16 UNITS/ACRE
 BUILDING SETBACKS:
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GENERAL NOTES:
 1. ROADS & PARKING AREAS PRIVATELY MAINTAINED.
 2. THE PROPERTY OWNER WILL MAINTAIN THE OPEN SPACE.
 3. THE BUILDINGS WILL BE SPRINKLED FOR FIRE PROTECTION.
 4. PROPOSED BUILDINGS & PARKING AREA DO NOT LIE WITHIN FLOOD HAZARD ZONE.
 5. EXTERIOR PARKING LOT LIGHTING WILL CUT-OFF FIXTURES, COMPLYING WITH HENDERSON COUNTY LIGHTING REQUIREMENTS.



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STORMWATER PLAN

JSMG INVESTMENTS, LLC TRACT
 HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
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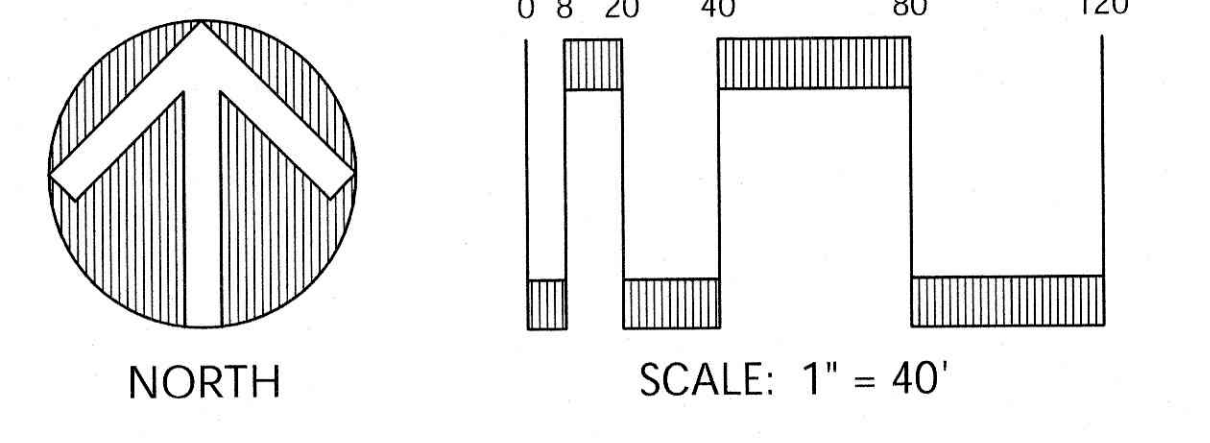
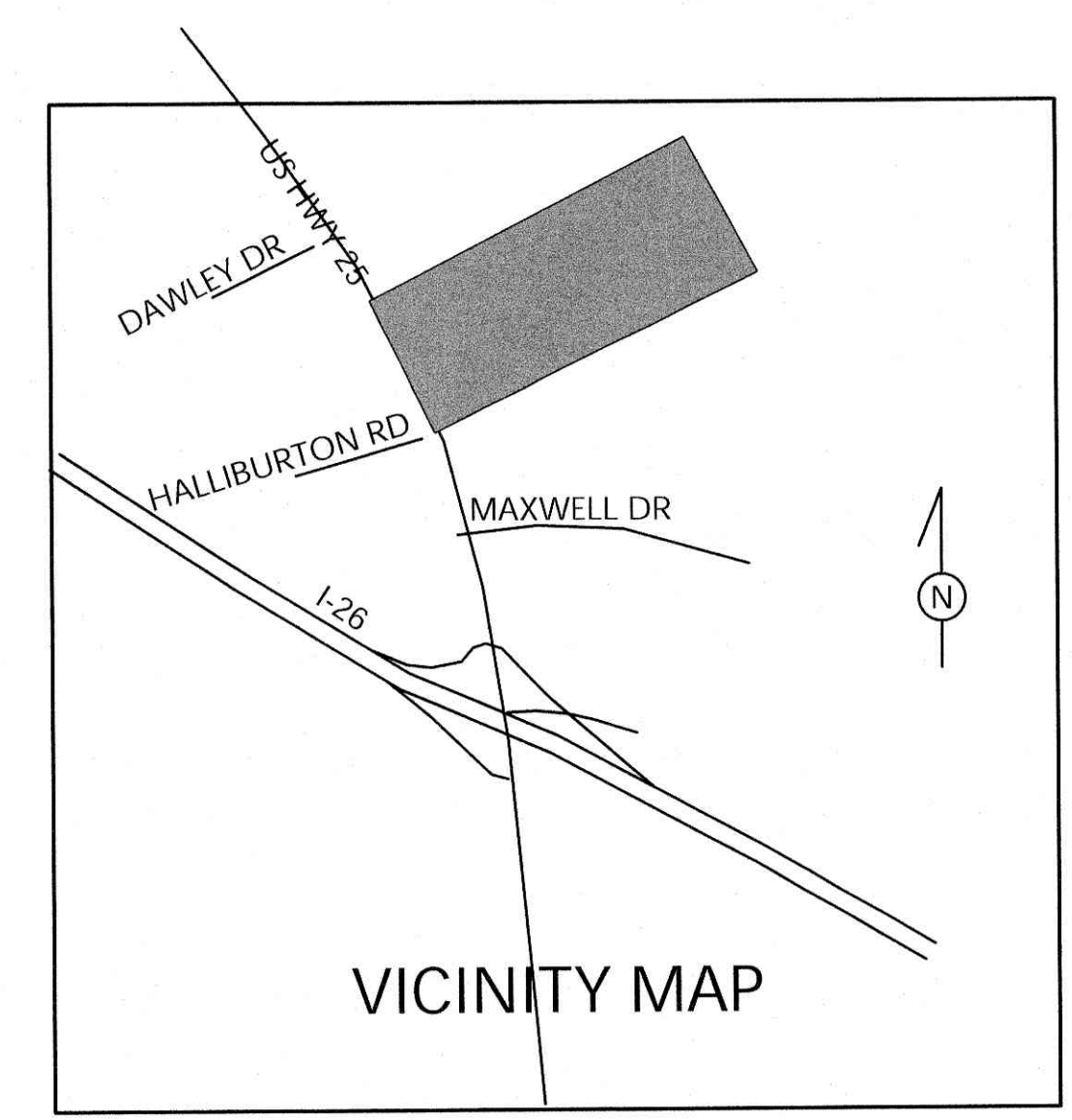
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 PERMITTED DENSITY (RESIDENTIAL): 16 UNITS/ACRE
 BUILDING SETBACKS: FRONT: 30'
 SIDE: 10'
 REAR: 10'
 PERMITTED MAXIMUM IMPERVIOUS AREA: 80%
 PROPOSED IMPERVIOUS AREA: 71.79% (160,492 SF)
 REQUIRED WAREHOUSE PARKING SPACES: 20 SPACES (1 SPACE/4,000 SF)
 PROPOSED WAREHOUSE PARKING SPACES: 65 SPACES (28 OVERFLOW SPACES)
 LENGTH OF ROADS: 566 LF (PRIVATELY MAINTAINED)
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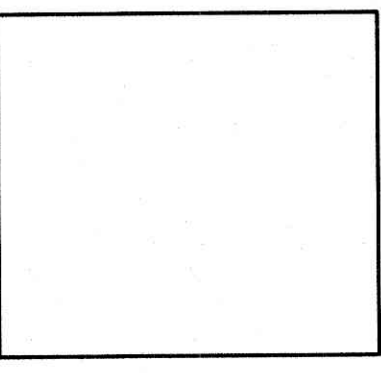
- VERTI-BLOCK RETAINING WALL
- ALL WEATHER SURFACE FIRE APPARATUS ACCESS & OVERFLOW PARKING
- DUMPSTER WITH OPAQUE SCREEN ENCLOSURE & GATES
- 40,000 SF WAREHOUSE
- 40,000 SF WAREHOUSE
- LOADING DOCK
- STORMWATER DETENTION/TREATMENT AREA FOR UNDERGROUND SYSTEM
- BUILDING SETBACK LINE
- FLOWERING TREE (TYP.)
- SHADE TREE (TYP.)
- ALL WEATHER SURFACE FIRE APPARATUS ACCESS
- VERTI-BLOCK RETAINING WALL
- ENTRANCE DRIVE



LAND PLANNING COLLABORATIVE

Landscaping Architects • Land Planners

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MASTER PLAN

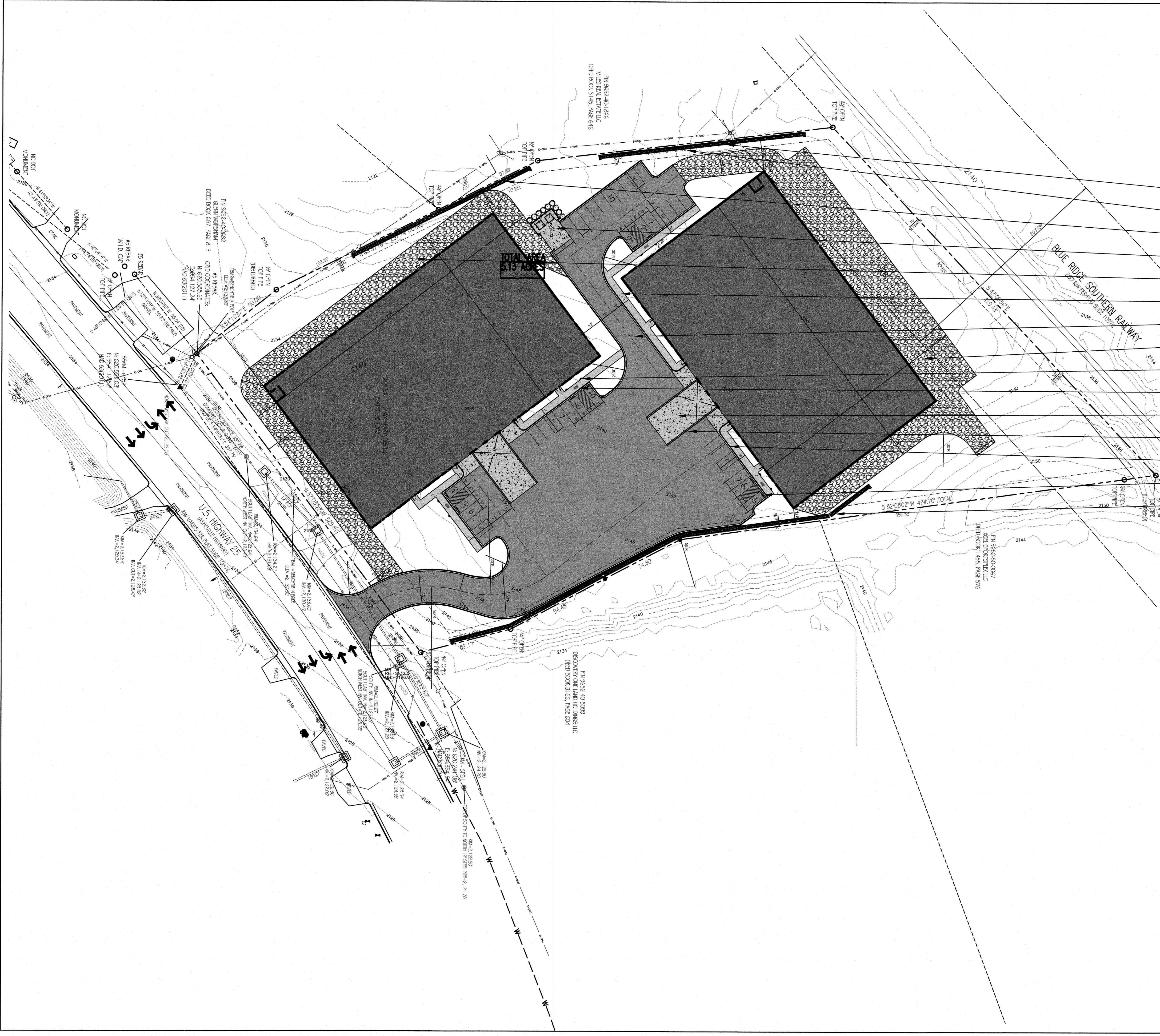
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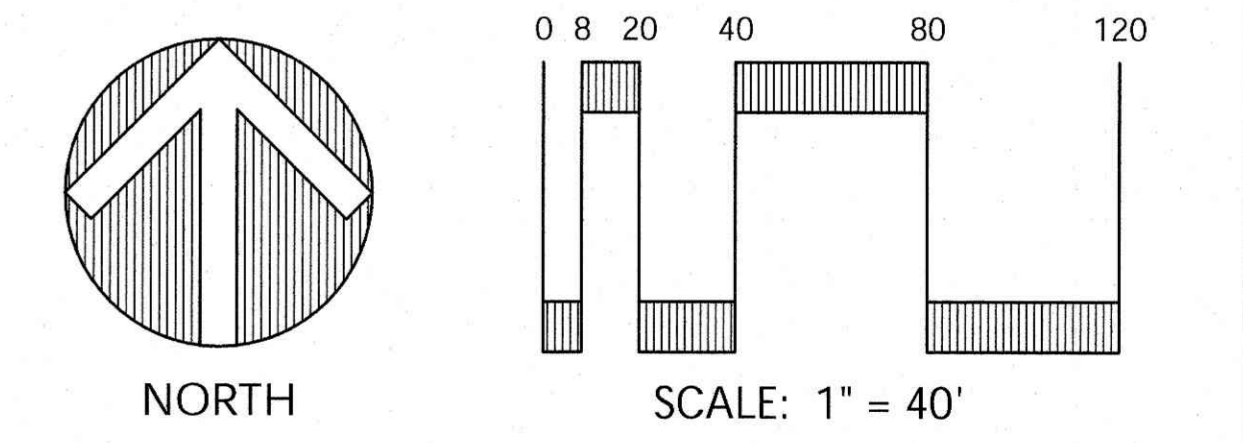
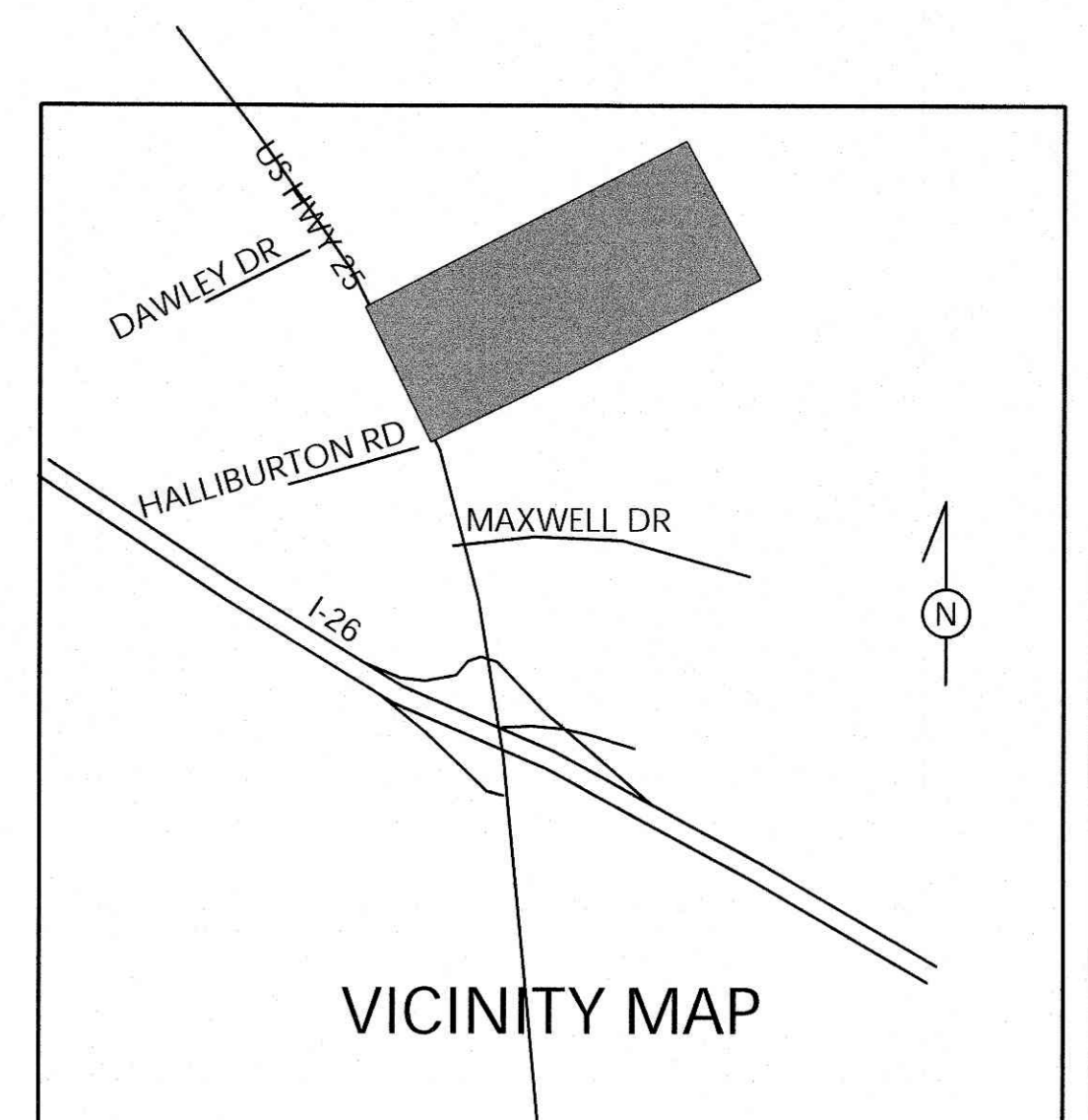
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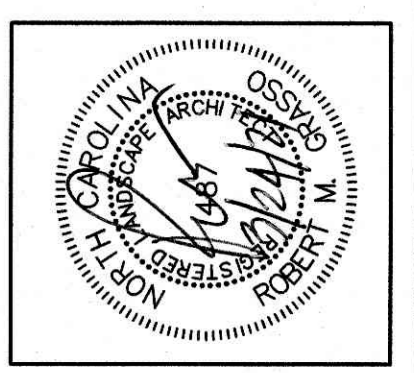


- LAYOUT NOTES**
- DO NOT SCALE FROM DRAWINGS.
 - ALL DIMENSIONS TO FACE OF CURB OR WALL UNLESS NOTED OTHERWISE.
 - ALL ANGLES 90d UNLESS NOTED OTHERWISE.
 - ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
 - VERIFY LAYOUT IN FIELD.
 - CONTACT LANDSCAPE ARCHITECT IF CONFLICTS OR AMBIGUITIES ARISE.
 - COORDINATE RELOCATION OF UTILITIES WITH UTILITY COMPANIES.
 - LAYOUT SHALL BE STAKED USING COORDINATE GEOMETRY.

VERTI-BLOCK RETAINING WALL	12
PEDESTRIAN GUARDRAIL	9
VERTI-BLOCK RETAINING WALL	12
HEAVY DUTY CONCRETE PAVEMENT (TYP.)	4
ALL WEATHER SURFACE	7
CONCRETE WALK (TYP.)	5
ASPHALTIC CONCRETE PAVEMENT	6
ALL WEATHER SURFACE	7
ADA PARKING SIGN (TYP.)	8
ADA CURB RAMP (TYP.)	2
HEAVY DUTY CONCRETE PAVEMENT (TYP.)	4
CONCRETE RETAINING WALL (TYP.)	-
18" CONCRETE CURB & GUTTER (TYP.)	1
CONCRETE WHEELSTOP (TYP.)	3
VERTI-BLOCK RETAINING WALL	12



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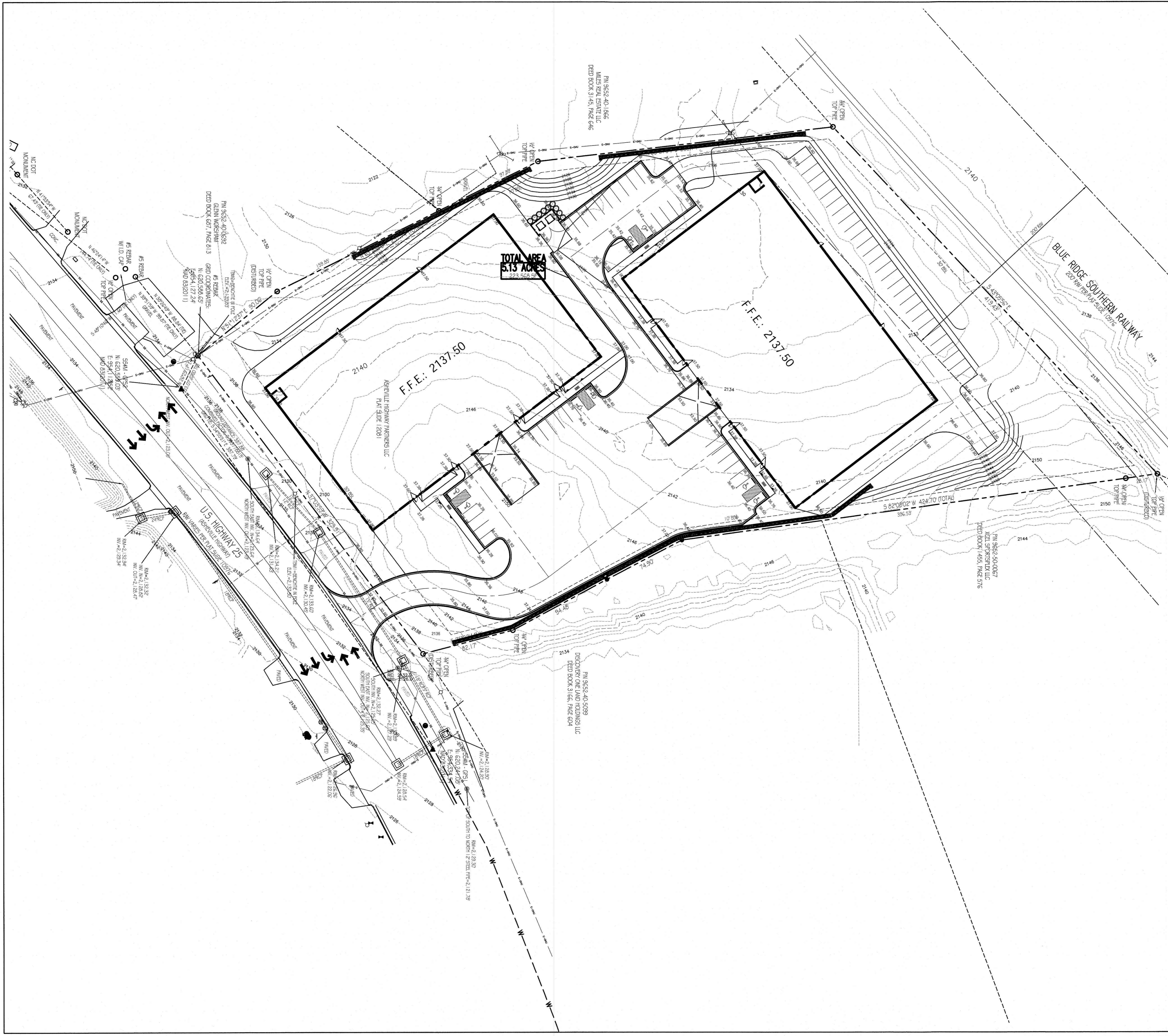


LAYOUT & MATERIALS PLAN

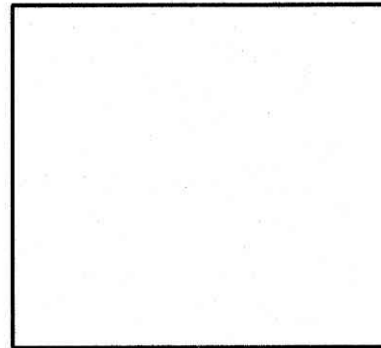
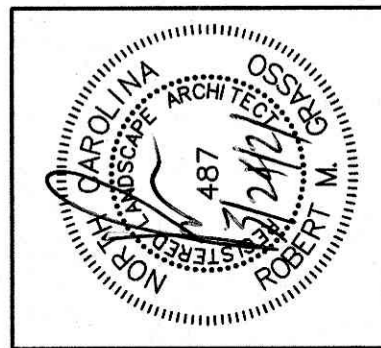
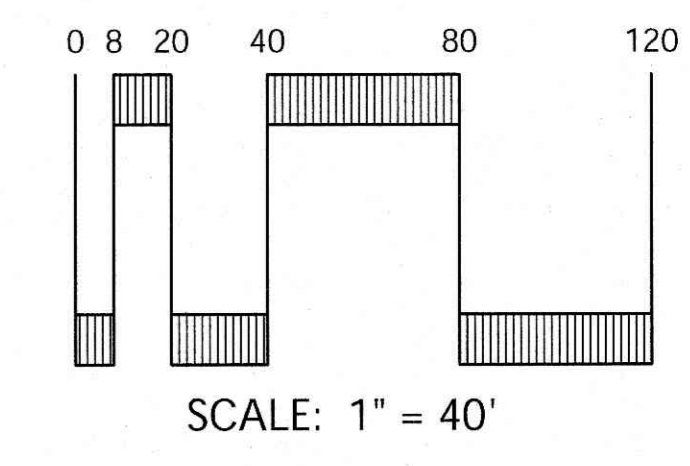
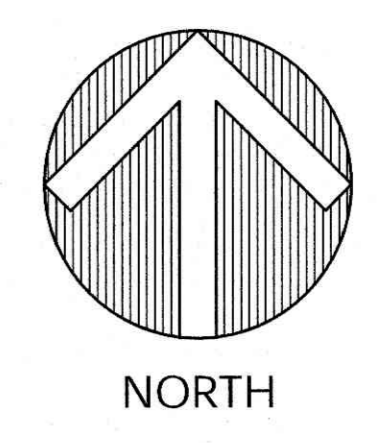
JSMG INVESTMENTS, LLC TRACT
 HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
 DWG. NAME: hwy25-site.dwg
 DATE: MARCH 24, 2021

REV:	DATE:	BY:
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- GENERAL NOTES:**
1. ROADS & PARKING AREAS PRIVATELY MAINTAINED.
 2. THE PROPERTY OWNER WILL MAINTAIN THE OPEN SPACE.
 3. THE BUILDINGS WILL BE SPRINKLED FOR FIRE PROTECTION.
 4. PROPOSED BUILDINGS & PARKING AREA DO NOT LIE WITHIN FLOOD HAZARD ZONE.
 5. EXTERIOR PARKING LOT LIGHTING WILL CUT-OFF FIXTURES, COMPLYING WITH HENDERSON COUNTY LIGHTING REQUIREMENTS.



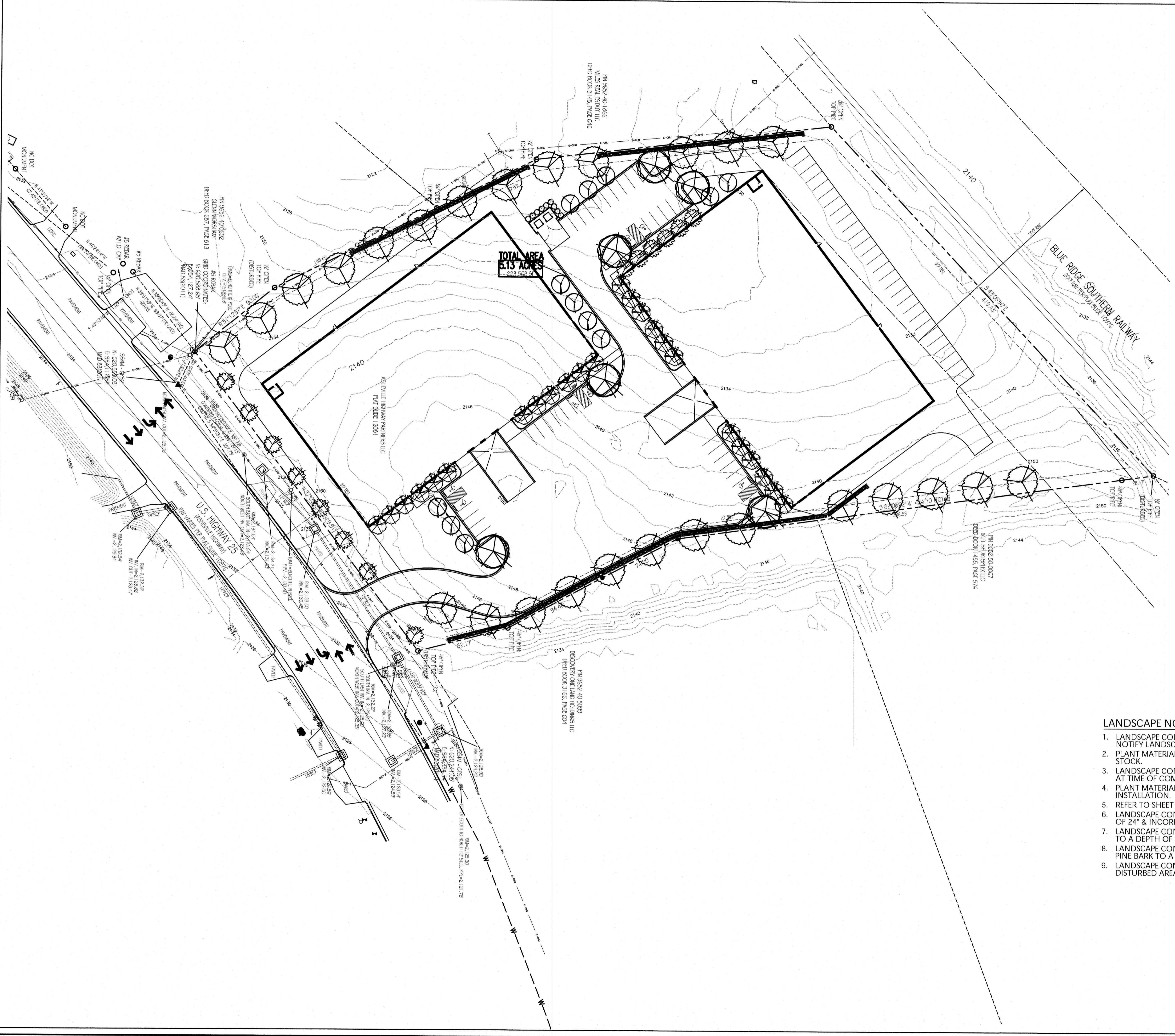
GRADING PLAN

JSMG INVESTMENTS, LLC TRACT
 HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
 DWG. NAME: hwy25-site.dwg
 DATE: MARCH 24, 2021

REVISIONS:

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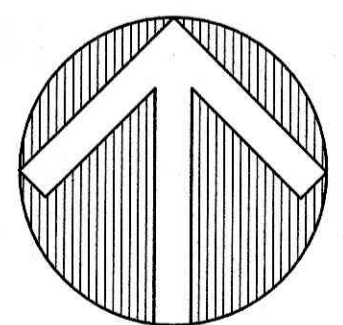


TOTAL AREA
5.13 ACRES

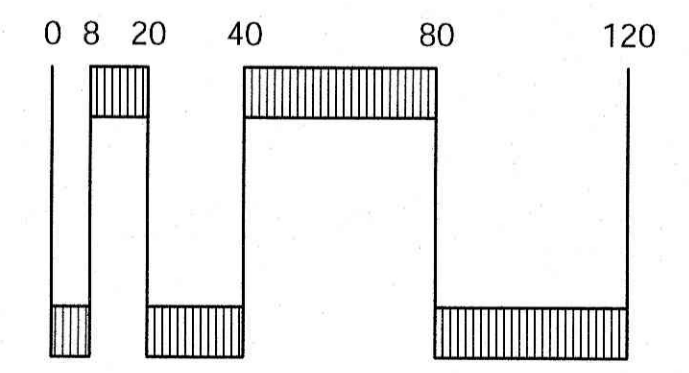
PLANT LIST			
SYMBOL	QUANT	NAME	SIZE / SPECIFICATION
	6	Acer rubrum 'Red Sunset' Red Sunset Maple	2" - 2 1/2" cal., 12' - 14' Ht., B&B, Single Straight Leader, Matched
	27	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	2" - 2 1/2" cal., 12' - 14' Ht., B&B, Single Straight Leader, Matched
	12	Betula nigra River Birch	1 1/4" - 1 1/2" cal., 8' - 10' Ht., B&B, Multi-stem, 3 stems min., Matched
	14	Cercis canadensis Eastern Redbud	1 1/4" - 1 1/2" cal., 8' - 10' Ht., B&B, Multi-stem, 3 stems min., Matched
	24	Cornus 'Appalachian Spring' Appalachian Spring Dogwood	1 1/4" - 1 1/2" cal., 8' - 10' Ht., B&B, Single Straight Leader, Matched

LANDSCAPE NOTES:

1. LANDSCAPE CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLAN & SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
2. PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1-1996 STANDARDS FOR NURSERY STOCK.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY FOR PLANTS & LABOR AT TIME OF COMPLETION & ACCEPTANCE OF WORK.
4. PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING INSTALLATION.
5. REFER TO SHEET L-5 FOR LANDSCAPE PLANTING DETAILS.
6. LANDSCAPE CONTRACTOR SHALL PREPARE ALL PLANTING BEDS BY TILLING TO A DEPTH OF 24" & INCORPORATING "NATURES HELPER" AT A RATE OF 2:1.
7. LANDSCAPE CONTRACTOR SHALL PREPARE ALL LAWN AREAS BY TILLING EXISTING SOIL TO A DEPTH OF 6" (EXCEPT WITHIN DRIPLINE OF EXISTING TREES).
8. LANDSCAPE CONTRACTOR SHALL MUCH ALL PLANTING BEDS WITH AGED SHREDDED PINE BARK TO A DEPTH OF 3".
9. LANDSCAPE CONTRACTOR SHALL ESTABLISH PERMANENT GRASS COVER ON ALL DISTURBED AREAS & AREAS NOT TO BE PLANTED.

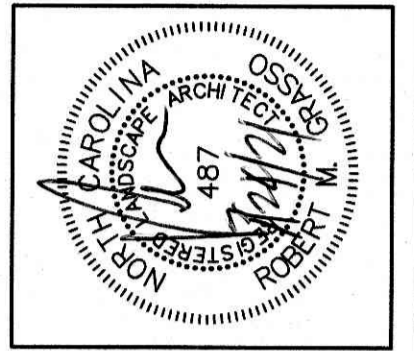


NORTH



SCALE: 1" = 40'

LAND PLANNING
COLLABORATIVE
Landscape Architects • Land Planners
P.O. BOX 2200
ASHVILLE, N.C. 28802
828.342.0111
EMAIL: lpc@landplanningcollab.com



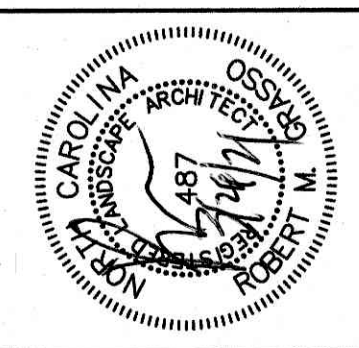
LANDSCAPE PLAN

JSMG INVESTMENTS, LLC TRACT
HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
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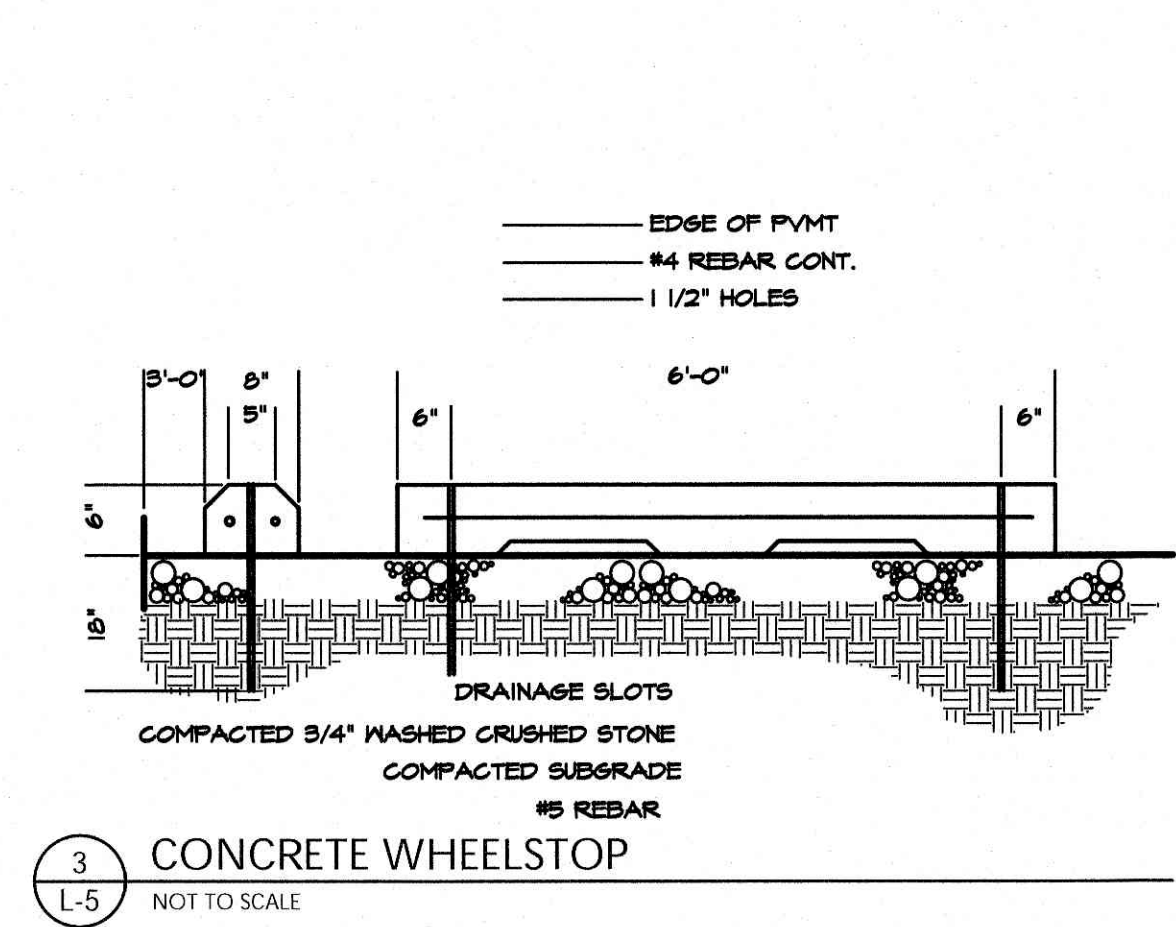
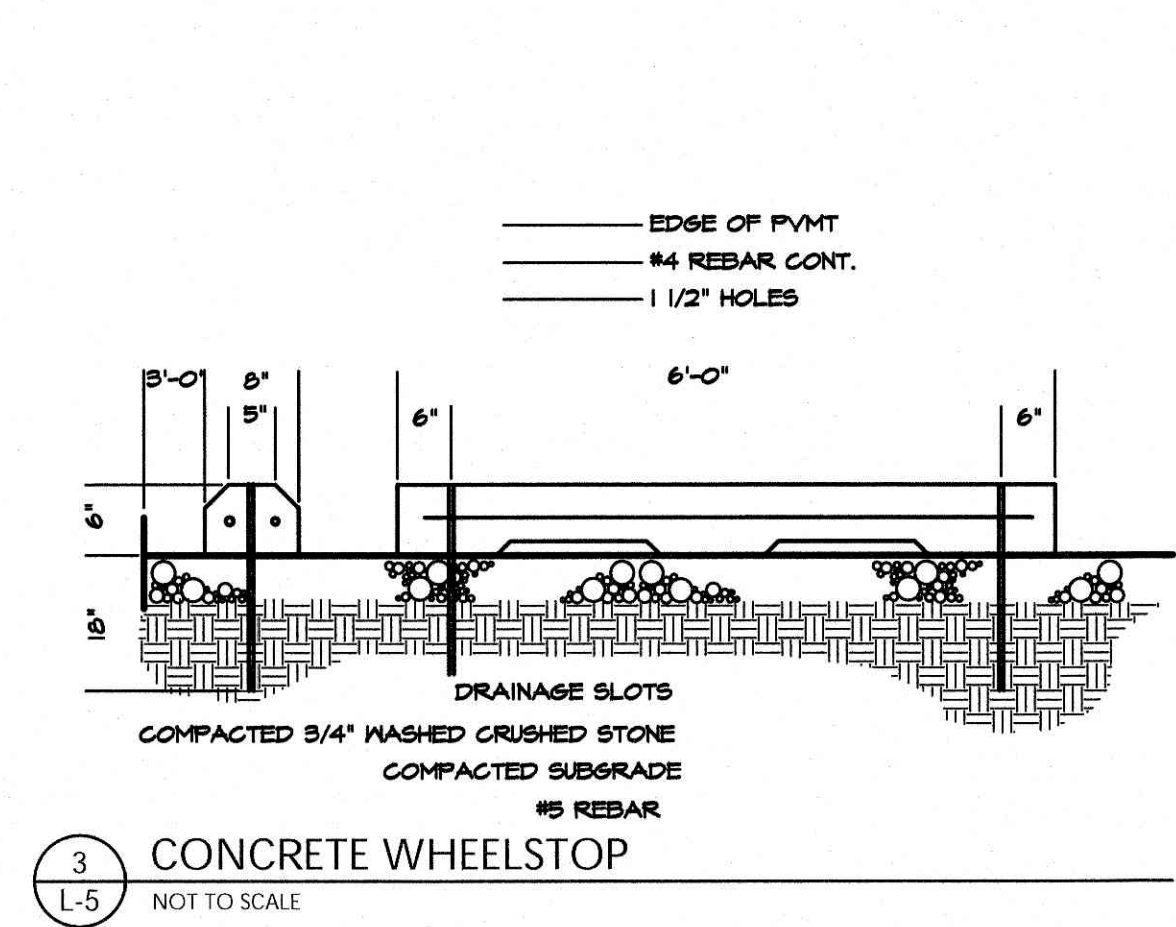
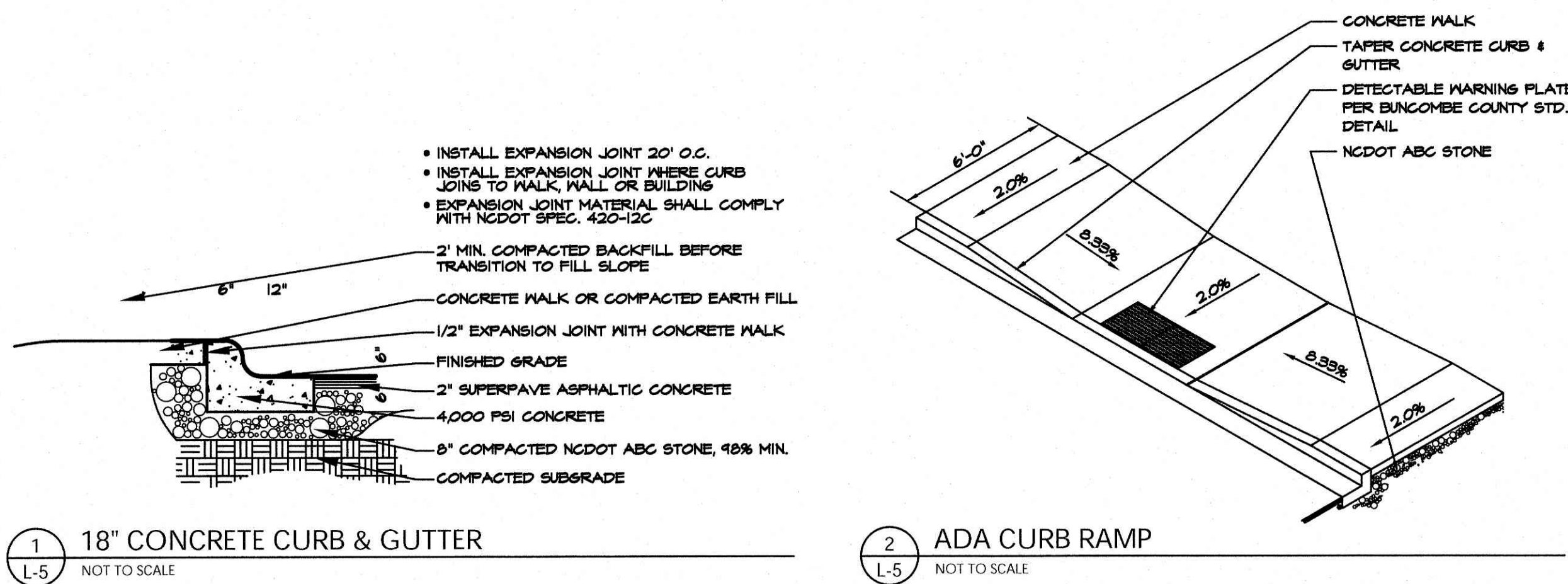


SITE CONSTRUCTION DETAILS

JSMG INVESTMENTS, LLC TRACT
 HENDERSON COUNTY, NORTH CAROLINA

JOB NO.: 2019650
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 DATE: MARCH 24, 2021

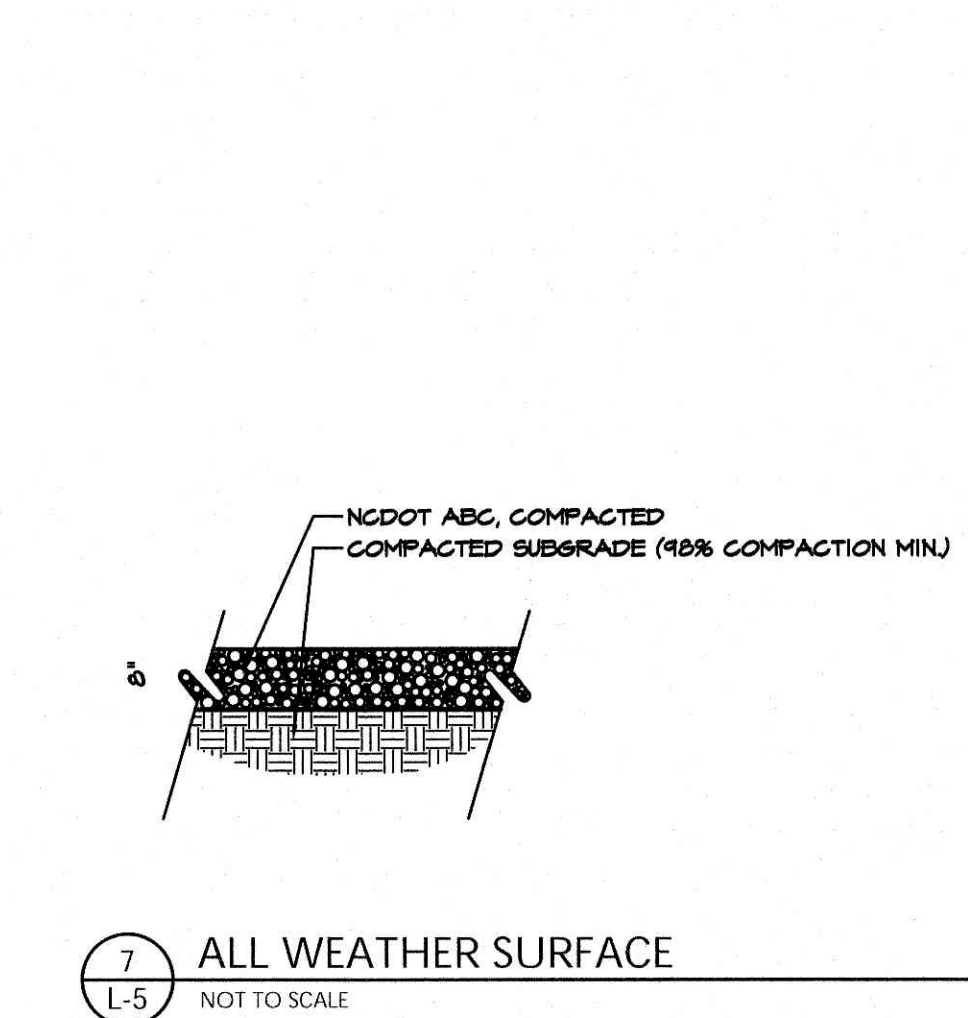
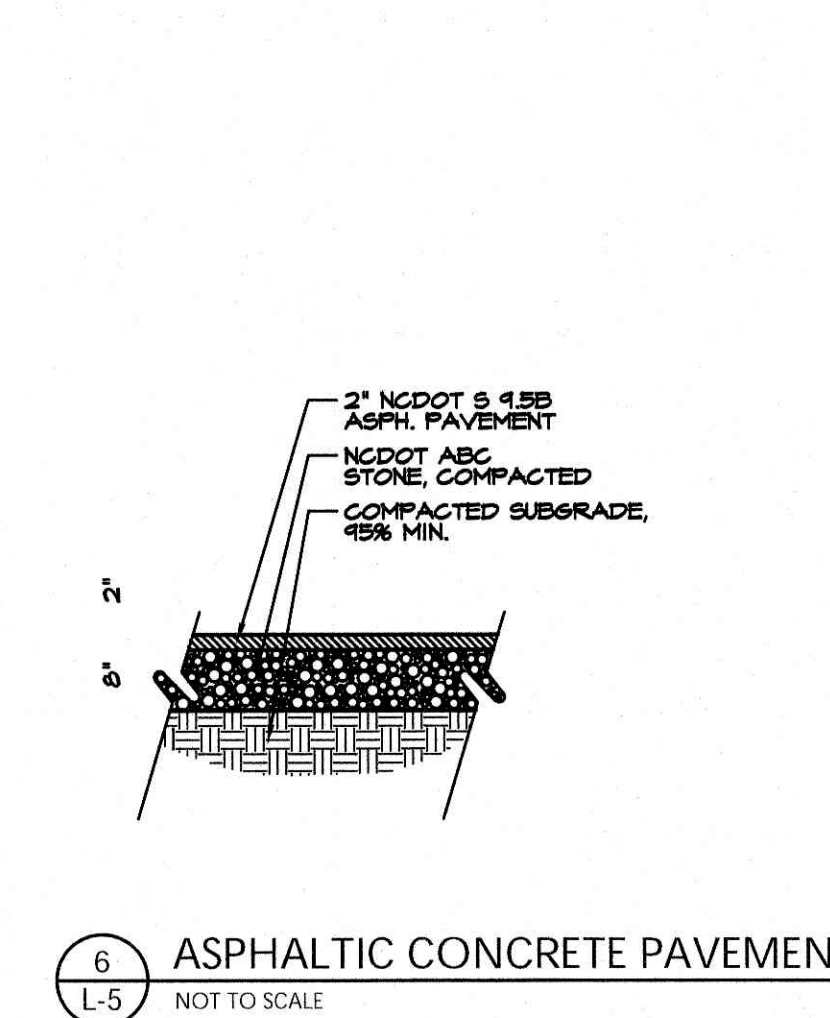
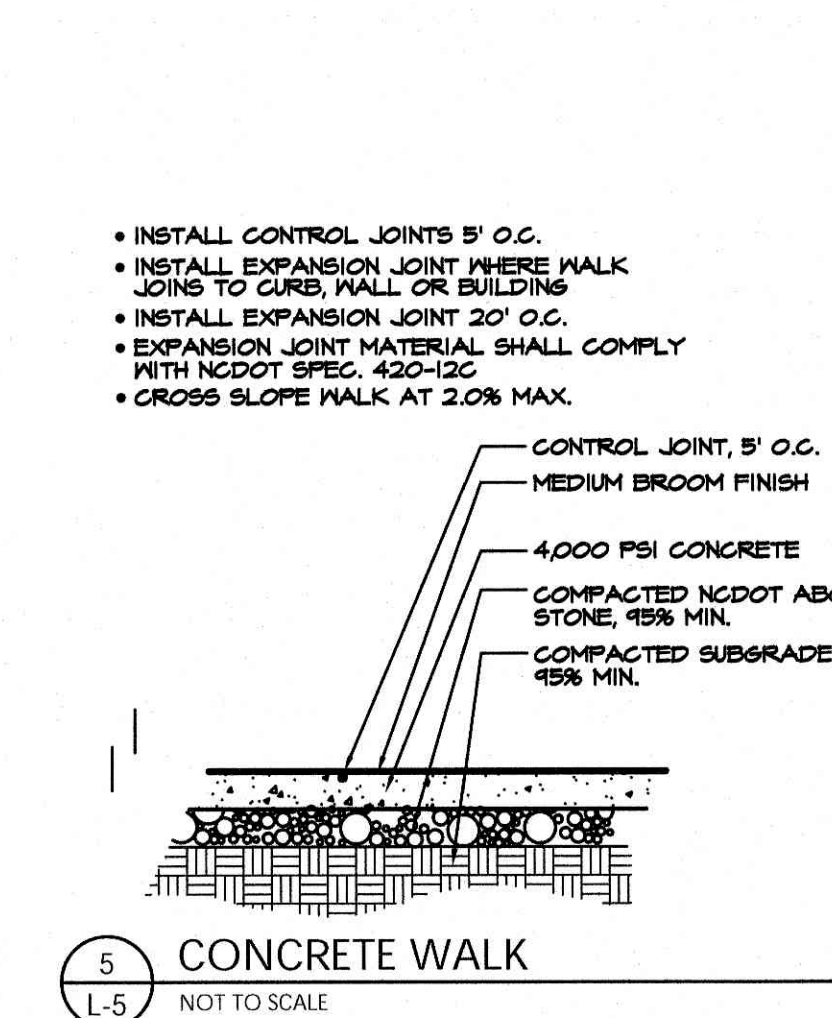
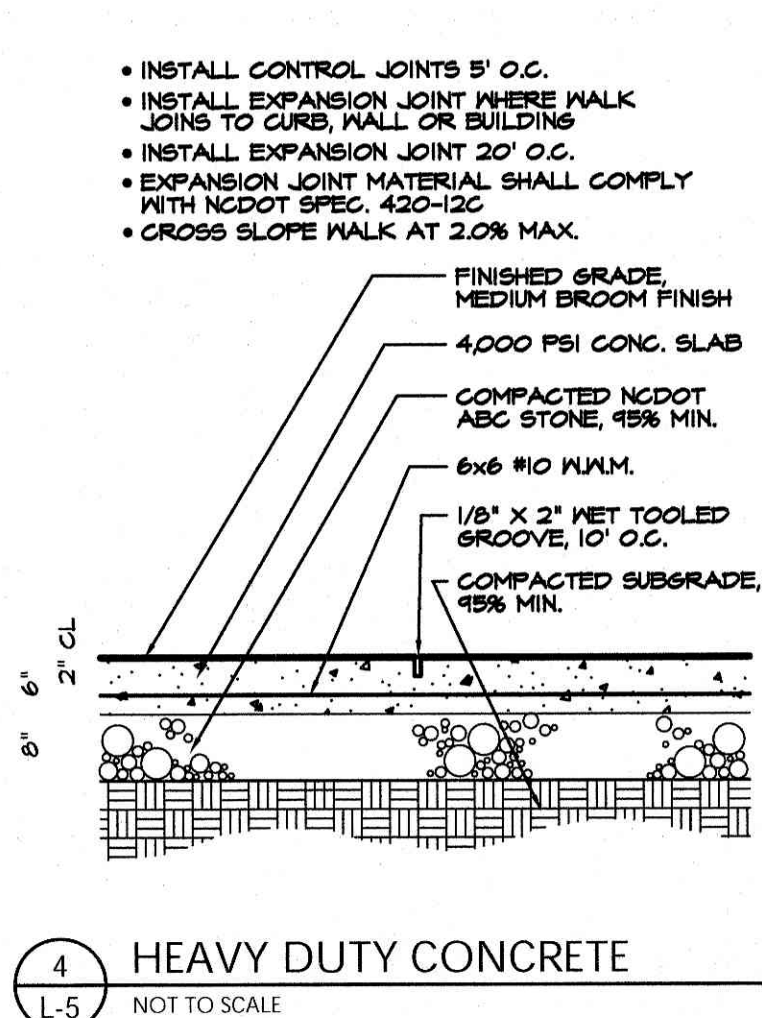
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1 18" CONCRETE CURB & GUTTER
L-5 NOT TO SCALE

2 ADA CURB RAMP
L-5 NOT TO SCALE

3 CONCRETE WHEELSTOP
L-5 NOT TO SCALE

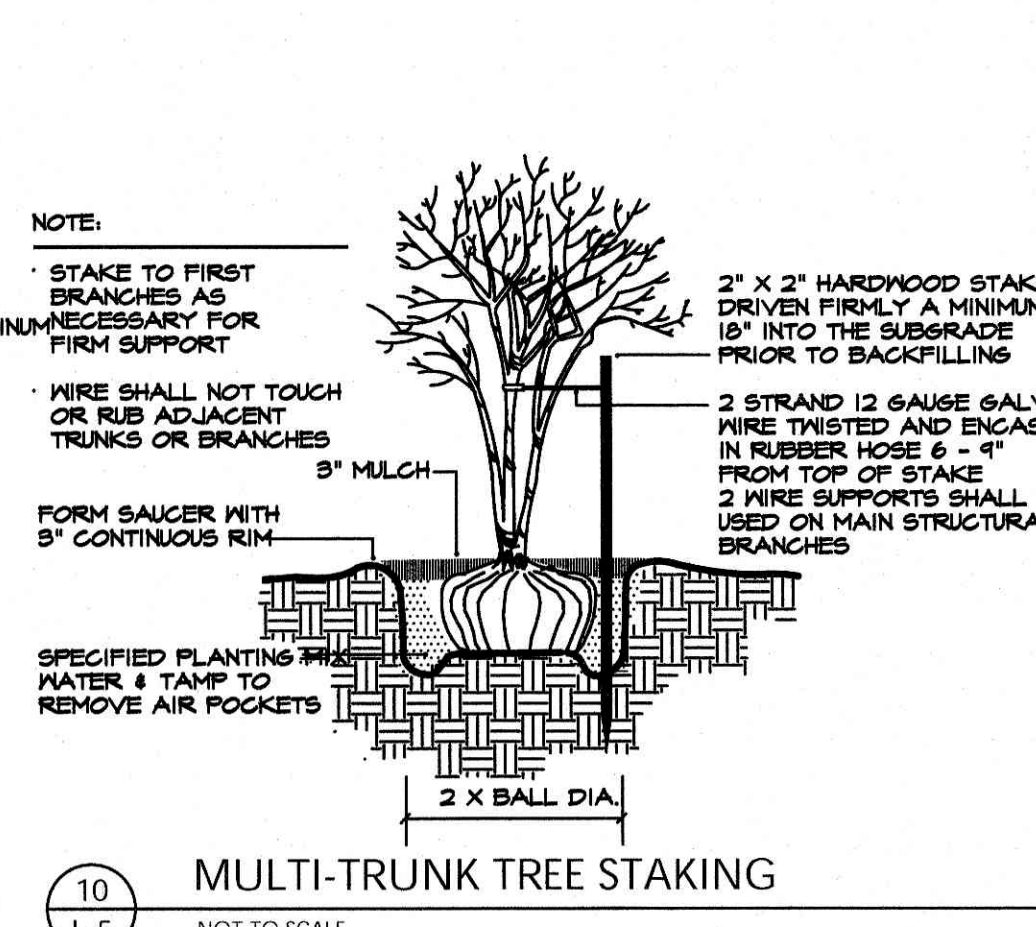
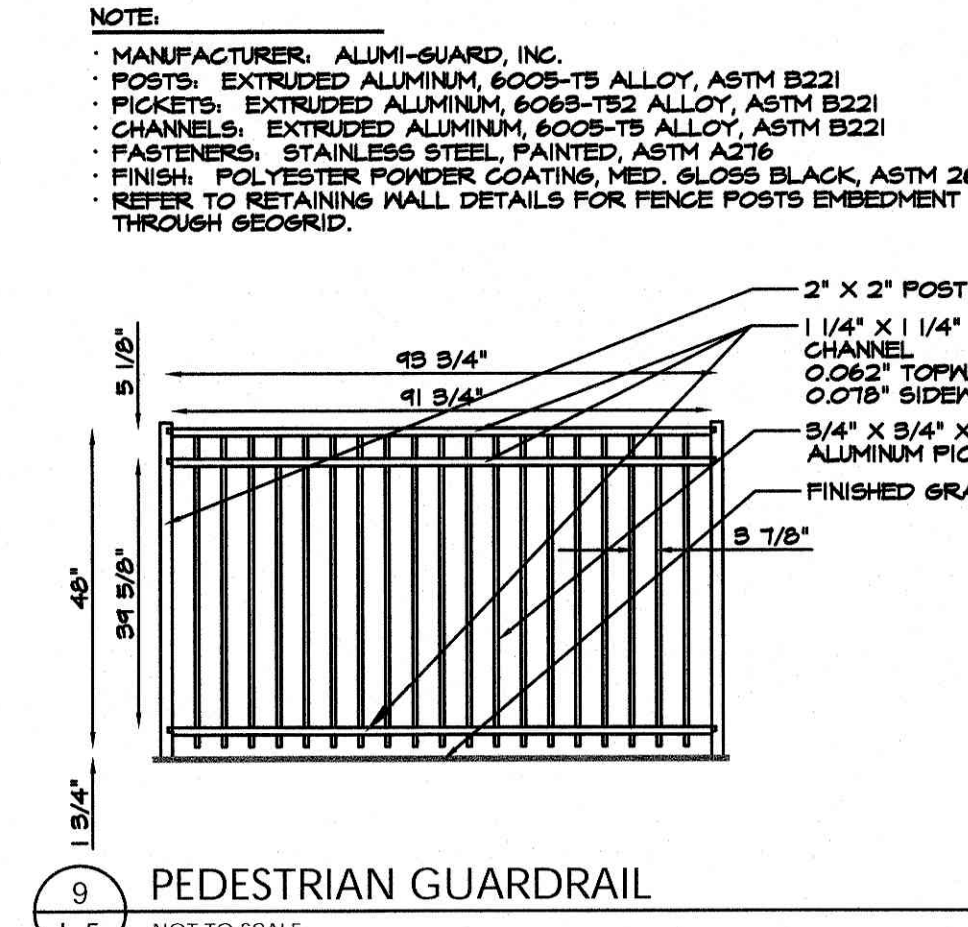
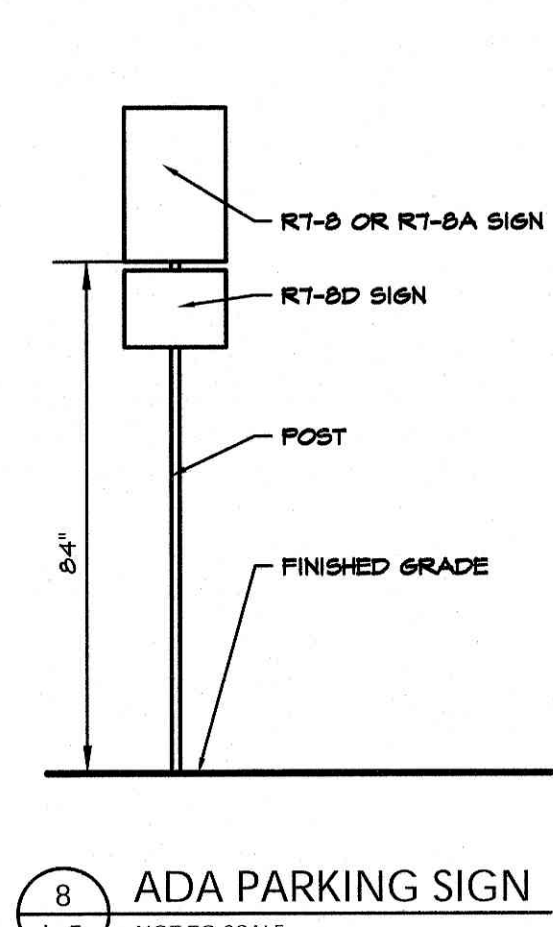


4 HEAVY DUTY CONCRETE
L-5 NOT TO SCALE

5 CONCRETE WALK
L-5 NOT TO SCALE

6 ASPHALTIC CONCRETE PAVEMENT
L-5 NOT TO SCALE

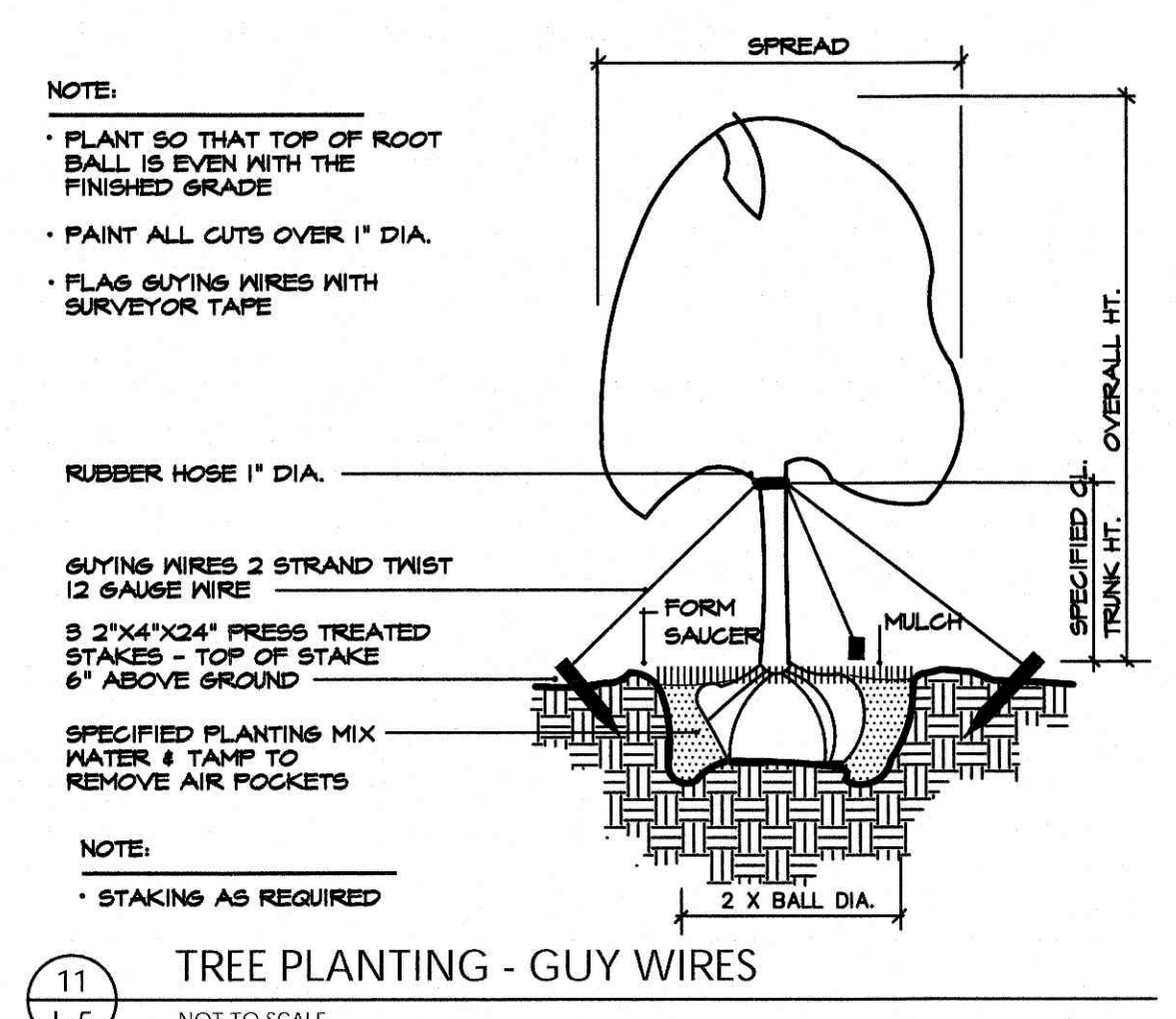
7 ALL WEATHER SURFACE
L-5 NOT TO SCALE



8 ADA PARKING SIGN
L-5 NOT TO SCALE

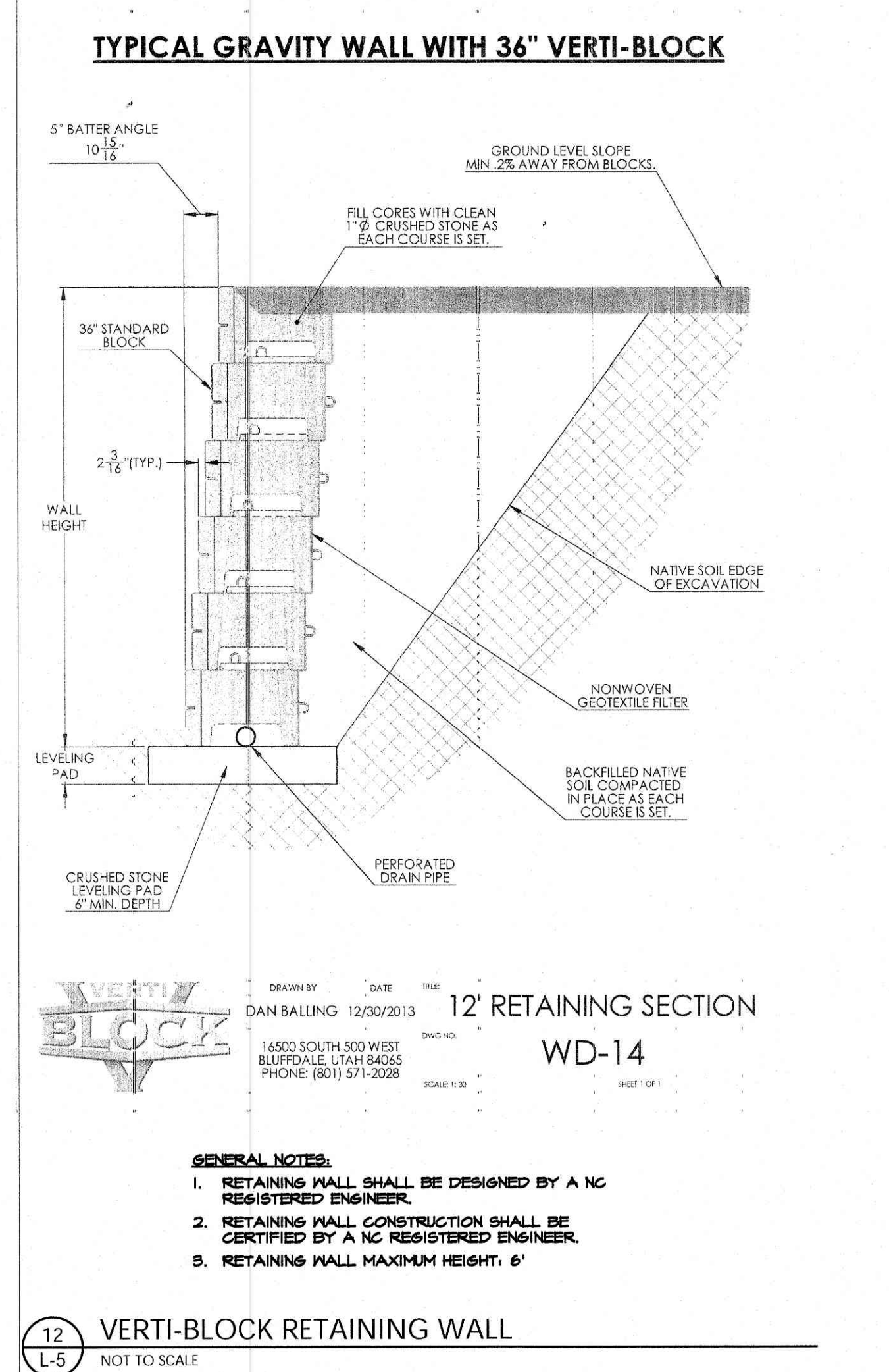
9 PEDESTRIAN GUARDRAIL
L-5 NOT TO SCALE

10 MULTI-TRUNK TREE STAKING
L-5 NOT TO SCALE



11 TREE PLANTING - GUY WIRES
L-5 NOT TO SCALE

Permanent Seeding	Lawns Seeding Mixture
	Species: Kentucky Bluegrass (20%), Rebel Fescue (80%)
	Rate (lb/acre): 260 lbs.
	Seeding Dates: March 15 - May 15, August 15 - October 15
	Mountains: March 15 - May 15, August 15 - October 15
	Soil Amendments: Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.
	Mulch: Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.
	Maintenance: Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.
	Slope Seeding Mixture
	Species: Valde Hard Fescue (20%), Astro Tall Fescue (80%)
	Rate (lb/acre): 20 lbs.
	Seeding Dates: March 15 - May 15, August 15 - October 15
	Mountains: March 15 - May 15, August 15 - October 15
	Soil Amendments: Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 400 lb/acre 18-46-50 fertilizer.
	Mulch: Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt.
	Maintenance: Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.



12 VERTI-BLOCK RETAINING WALL
L-5 NOT TO SCALE

- GENERAL NOTES:
- RETAINING WALL SHALL BE DESIGNED BY A NC REGISTERED ENGINEER.
 - RETAINING WALL CONSTRUCTION SHALL BE CERTIFIED BY A NC REGISTERED ENGINEER.
 - RETAINING WALL MAXIMUM HEIGHT: 6'