REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

Technical Review Committee

MEETING DATE: TRC 2-2-21

SUBJECT: Major Site Plan Review for Stuller Power Solutions Office at 3533 Asheville Hwy

PRESENTER: Matt Champion, Interim Zoning Administrator

ATTACHMENTS:

- 1. Staff Report
- 2. Photographs
- 3. Site Plan

SUMMARY OF REQUEST:

Staff requests that the TRC review and take the appropriate action on the application.

Suggested Motion:

I move that the TRC approve/deny the major site plan for Stuller Power Solutions Office



Henderson County, North Carolina Code Enforcement Services

1. Board Request

1.1. **Applicant:** Brian & Cheryl Stuller1.2. **Request:** Major Site Plan Review

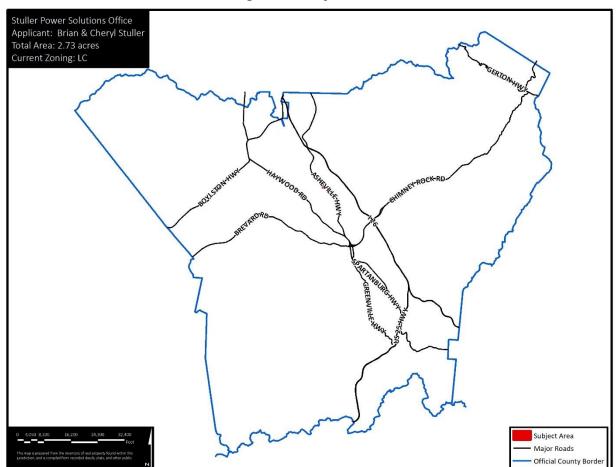
1.3. **PIN:** 9650-97-5120 1.4. **Size:** 2.73 acres +/-

1.5. **Location:** The subject area is located at 3533 Asheville Hwy

1.6. Supplemental Requirements:

SR 6.9. Office: Business, Professional and Public

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

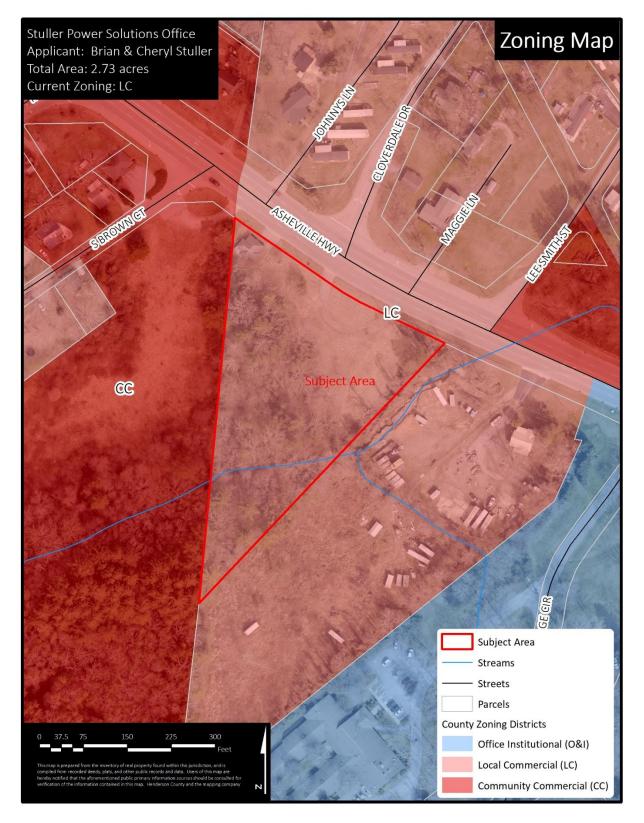


Map A: County Context

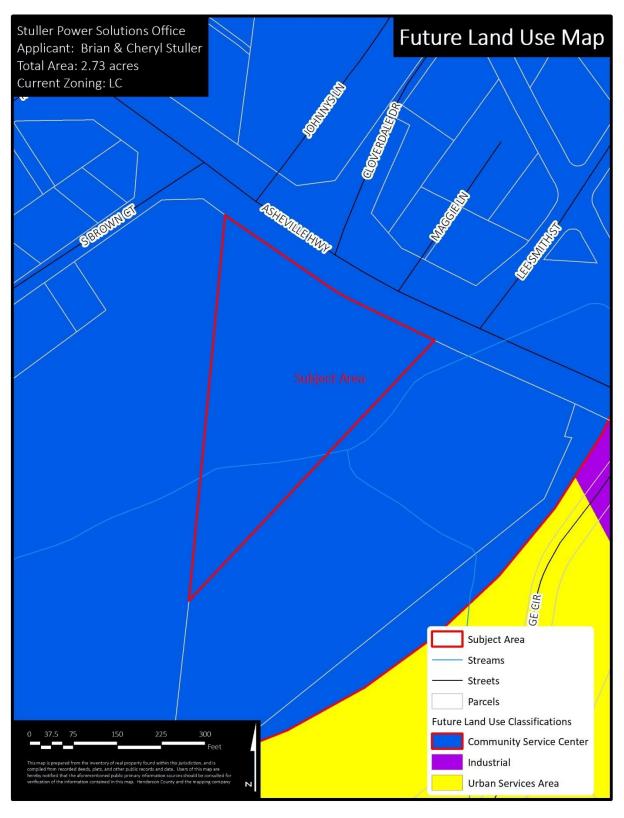
Map B: Aerial



Map C: Current Zoning



Map D: CCP Future Land Use Map



2. Current Conditions

- **2.1 Current Use:** This parcel currently contains one commercial office building. The applicant has applied for a demolition permit to remove the dilapidated structure.
- **2.2 Adjacent Area Uses:** The surrounding properties consist of residential uses to the west and north of the subject area. Commercial uses surround the subject area to the east and south.
- **2.3 Zoning:** The subject area is zoned Local Commercial (LC). Surrounding properties are zoned Local Commercial (LC) to the north, east, and south, and Regional Commercial (RC) to the west.
 - a. **Local Commercial (LC)**: The purpose of the Local Commercial District (LC) is to foster orderly growth where the *principal use* of land is commercial and residential. The intent of this district is to allow for *commercial development* consistent with the recommendation of the *Comprehensive Plan*. In accordance with the *Comprehensive Plan*, the district will allow for and provide commercial and residential development that: (1) includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on a local or neighborhood scale; (2) is directed largely to Community Service Centers as defined in the *Comprehensive Plan*; (3) is compatible with adjacent development and the surrounding community; and (4) will minimize congestion and sprawl. This general *use district* is meant to be utilized in all service areas. (LDC §42-33)
- **3.** Floodplain /Watershed Protection: The subject area is not located in a Special Flood Hazard Area. The parcel is not in Water Supply Watershed district. The property does have a stream running across the southern portion of the site that requires a 30 non-disturbance buffer from both sides of the streambank.

4. Water and Sewer: This property will be served by public utilities.

Public Water: City of Hendersonville **Public Sewer:** Individual Private Septic

5. Staff Comments

The Henderson County Comprehensive Plan (CCP): The CCP Future Land Use Map places the Subject Area in the Community Service Center (CSC). The following is a description of the patterns of development envisioned within the CSC:

- a. Community Service Center: Community Service Centers are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. Community Service Centers are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and Community Facilities such as schools, parks, community centers, and other similar Community Facilities. The mixture and intensity of land uses contained within Community Service Centers are intended to be appropriate within the context of the surrounding community and intended service area. Community Service Centers should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures. (CCP, Pg. 138)
- **Proposal:** The applicant is proposing to construct a new 6,468sqft commercial office building to house an existing business. The proposal includes the commercial office space

TRC 2/2/21 Stuller Power Solutions Office

and employee/equipment storage located within the same structure. Two pull-through service bays will be utilized for overnight parking, loading, unloading, and servicing of equipment and supplies. The major site plan also shows 16 parking spaces, two entrances to the site off Asheville Hwy, vehicular use area landscaping, and screening for the on-site dumpster.

7. Staff Recommendations

Staff's position currently, under the guidelines of current plans, policies and studies, is to recommend approval of the major site plan because it is consistent with the current surrounding land uses and future land use recommendations.

8. Photographs



TRC 2/2/21 Stuller Power Solutions Office



TRC 2/2/21 Stuller Power Solutions Office





STULLER POWER SOLUTIONS

3533 ASHEVILLE HIGHWAY HENDERSONVILLE, NORTH CAROLINA

SITE CONSTRUCTION, GRADING, EROSION CONTROL & LANDSCAPE PLANS

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OWNER

BRIAN AND CHERYL STULLE STULLER POWER SOLUTION 130 ASHWOOD ROAD HENDERSONVILLE, NC 2879 TEL. (828) 698-9589

LANDSCAPE ARCHITECT

HUNTER MARKS, RLA, ASLA, LEED AP
WATERMARK LANDSCAPE ARCHITECTURE
513 N. JUSTICE STREET
HENDERSONVILLE, NORTH CAROLINA 28791
TEL. (828) 595-2327

SURVEYOR

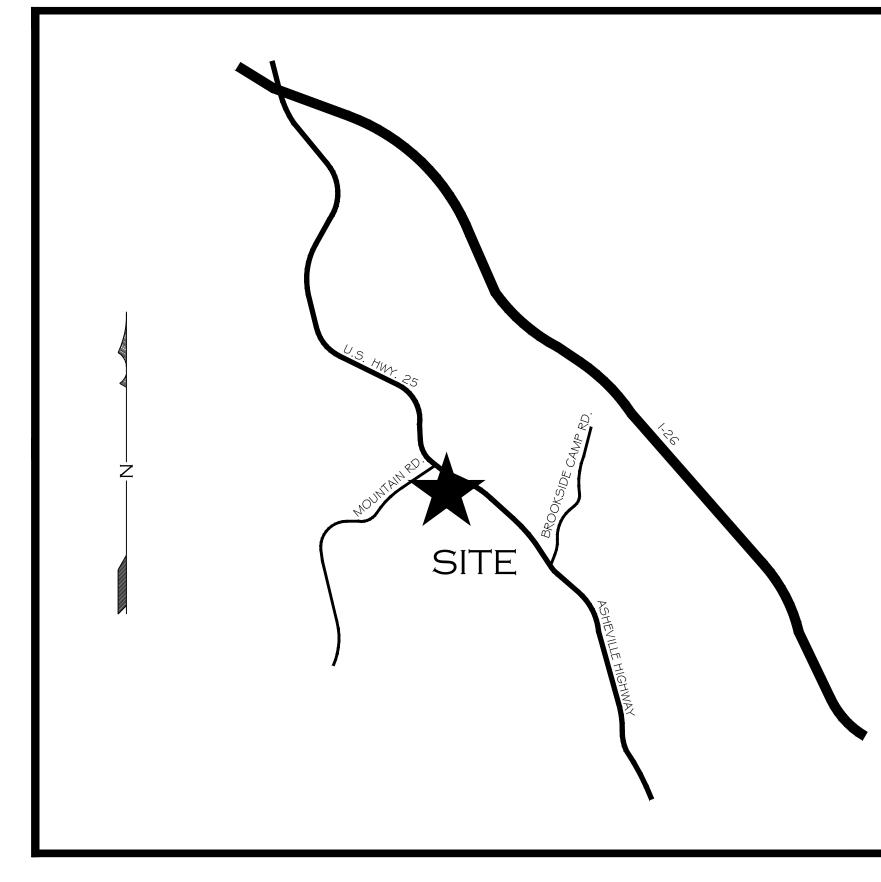
DAVID HUNTLEY, PLS
HUNTLEY AND ASSOCIATES
675 MAPLE STREET
HENDERSONVILLE, NC 28792
(828) 693-8077

ARCHITECT

TIFFANY PRUDHOMME, AIA
PRUDOMME DESIGN AND INTERIORS
(828) 424-7131

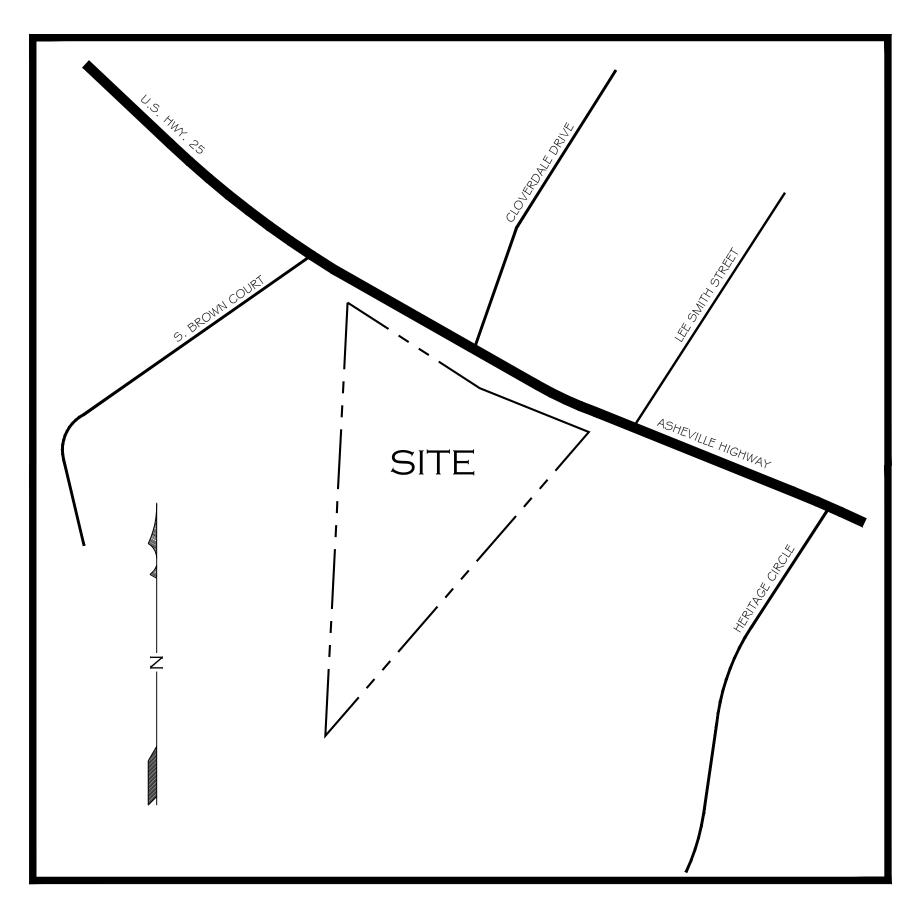
BUIILDER

CHRIS BROCK
BROCK BUILDERS
1854 HENDERSONVILLE ROAD #208
ASHEVILLE, NC 28803
(828) 610-5516



VICINITY MAP

(NOT TO SCALE)



PROJECT MAP

SCALE: 1"= 150'-0"

TULLER POWER SOLUT

 Date:
 Drawn By:

 01-07-2021
 RBJ

 Job No:
 Checked By:

 200625CP
 AHM

 Revisions

COVER SHEET

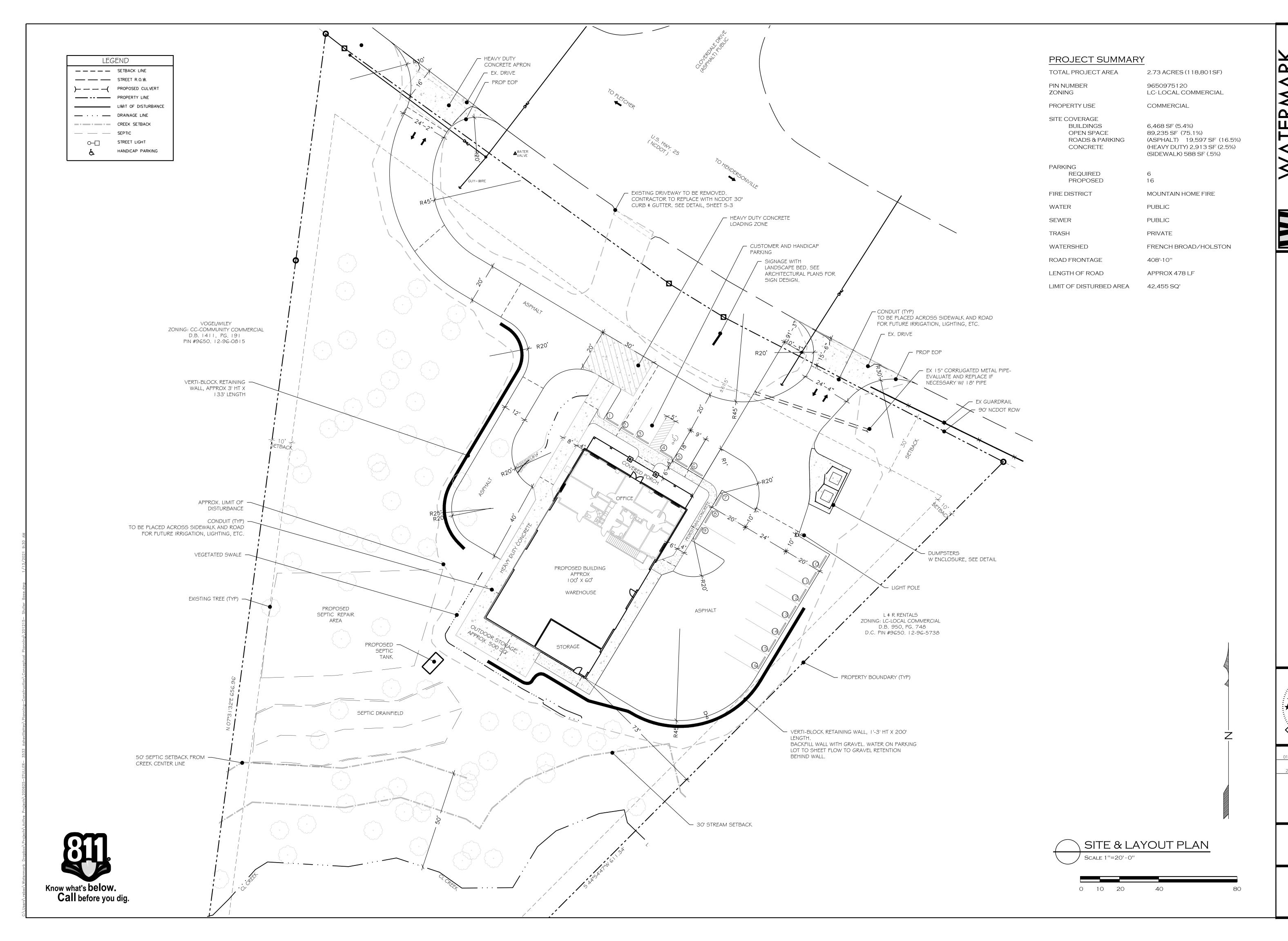
C-1



SPECIAL NOTE:

CONTRACTOR TO FIELD VERIFY LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK.
CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES LOCATED. CALL 811.

bec\Watermark Dropbox\Projects\Active Projects\200625—STULLER— 3533 AshevilleHwy\Planning—Construction\Conceptual Planning\201215— Stuller Base.dwg 1/6/2021 1:09 PM



ER SOLUTION

TURE

STULLER POWER

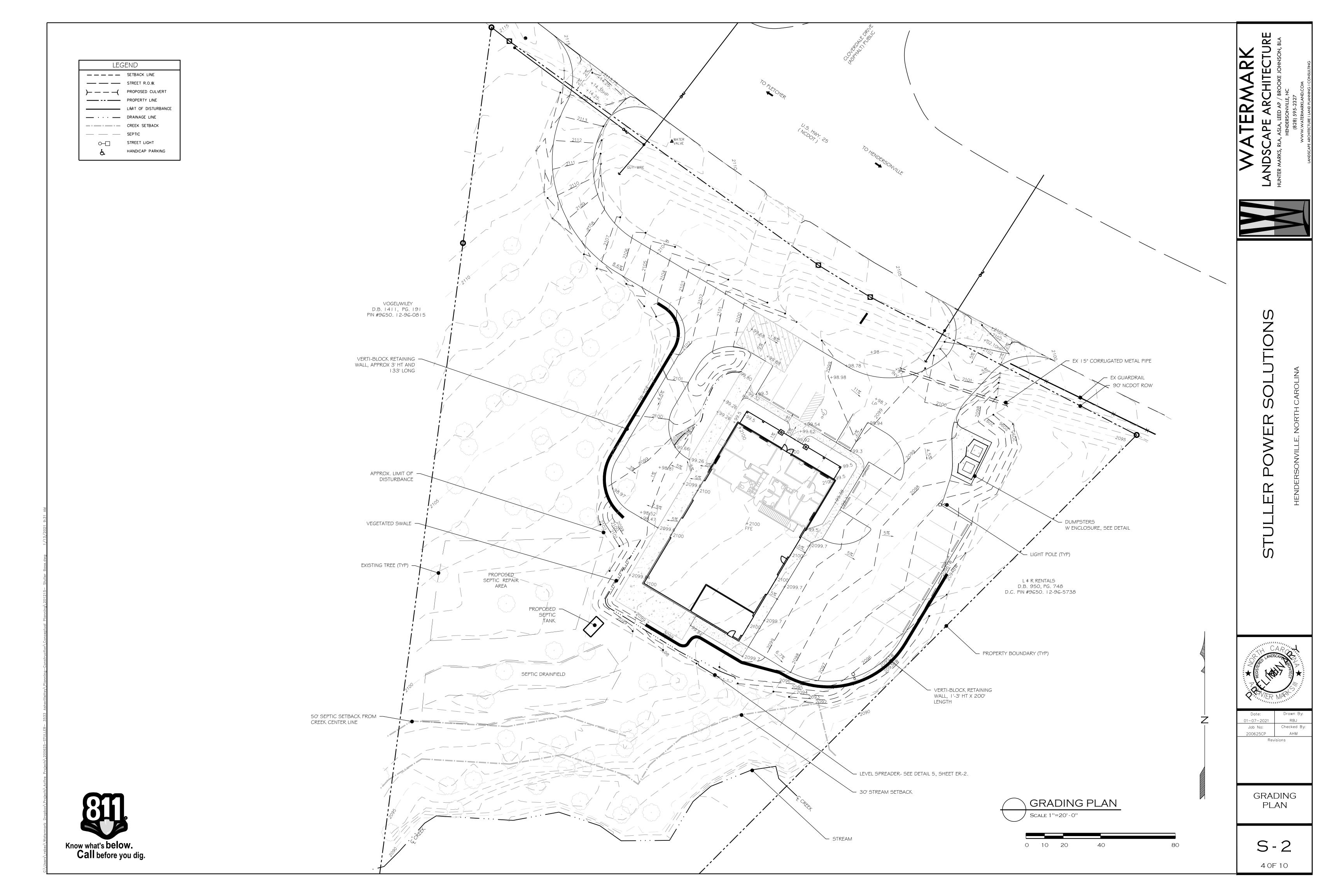
CAR CARROSCASSION AND SCIENCES

Date.	5.4 5,.	
-07-2021	RBJ	
Job No:	Checked By:	
200625CP	AHM	
Revisions		

SITE & LAYOUT PLAN

S-1

3 OF 10



— PRE MADE FENCE PANEL

- HEAVY DUTY CONCRETE

- HEAVY DUTY CONCRETE TO ASPHALT DRIVE

4" STEEL PIPE POST \$ STEEL FRAME W/ PRE MADE FENCE PANEL

PRE MADE FENCE PANEL

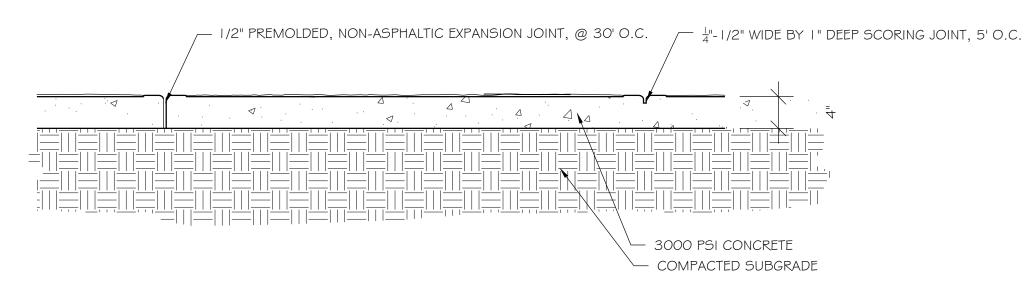
ATTACHED

SITE DETAILS

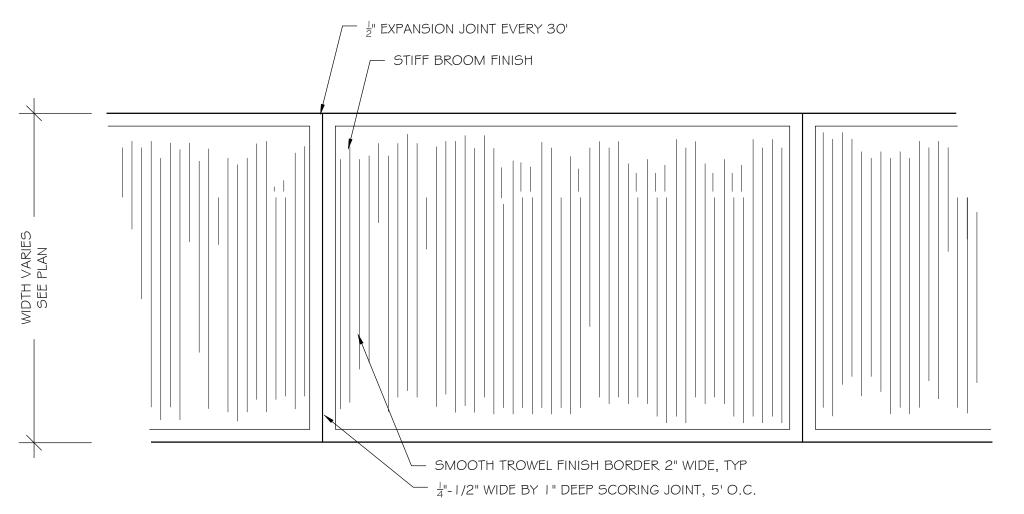
5 OF 10

WIDTH VARIES SEE PLAN - 3000 PSI CONCRETE COMPACTED SUBGRADE

SECTION



ELEVATION



NOTE:
SUBGRADE TO BE COMPACTED A MINIMUM OF 3' BEYOND EDGE OF PAVEMENT

PLAN

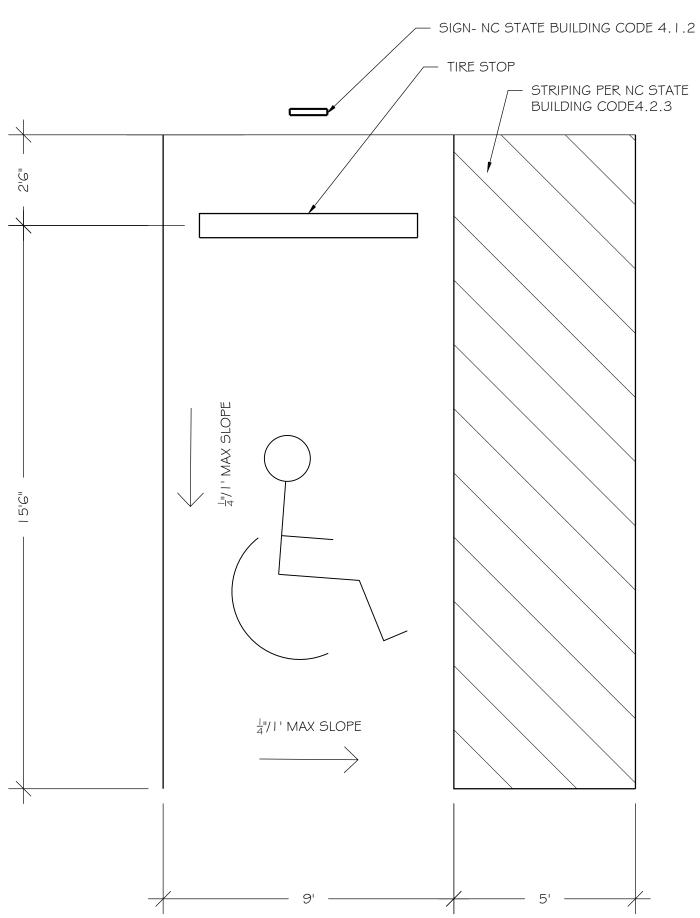
Know what's below.

Call before you dig.

SIDEWALK DETAIL & SECTION

S-3 NOT TO SCALE

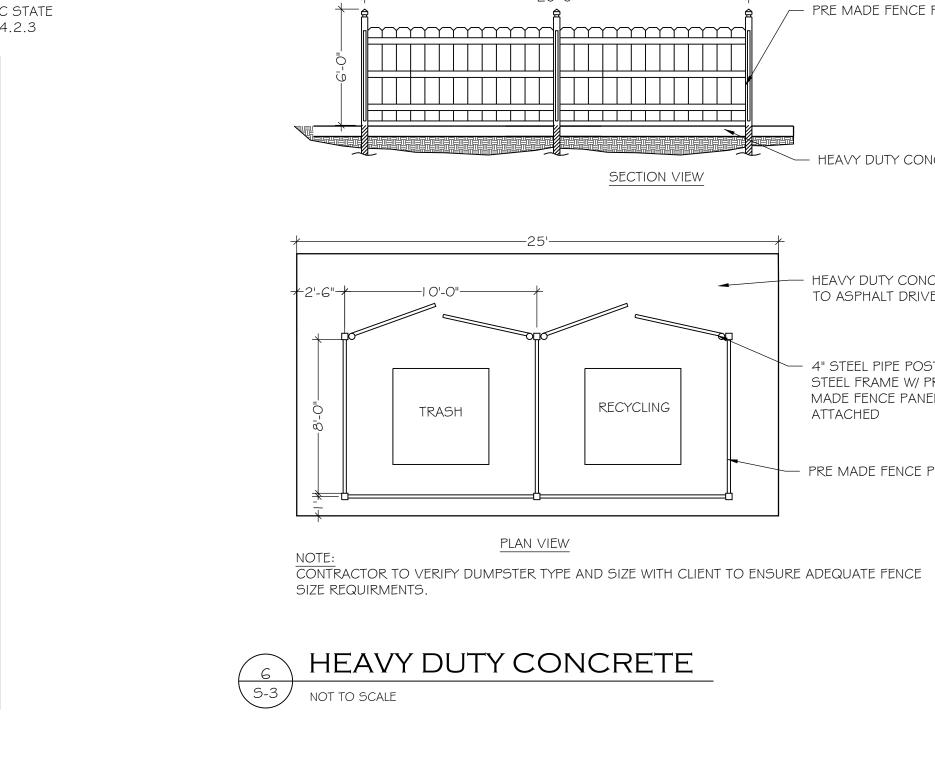
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HANDICAP PARKING DETAIL

└1"- S9.5B ASPHALT SURFACE

TYPICAL ROAD CROSS SECTION







18 FT 4 INCH SQUARE AREA LIGHTING POLE WITH 1 LED 150W SLIM LINE FIXTURE (400W+ MH OR HID EQUIVALENT) ITEM: 18-4-PLF-1-150W-50K-T3-B-APM | Brand: WareLight ☆☆☆☆☆ From | Leave a Review Lighting Head Spec CCT: 5000K Brand: WareLight Life: 50,000+ hours DLC Product ID#: PLXGH7RDOD1A

 Wattage: 150 • 150W LED comparable to a (400+ Watt • Mounting Options For this Combo:

Metal Halide or HID) Voltage: 120-277 (call for 480V) availability)

Lumens: 21,000

Pole Spec 18 Foot Tall 4 inch square lighting pole
 Mounting Economical and Tough Tenon top with 4" x 2-3/8 tenon Drill style with 1-2-3-4 side drilling

 Easy to drill to mount fixtures Easy to install Large handle hole for easy wiring Steel Wall Thickness 0.120in Bronze Powder Coated and Hot

Dipped Galvanized Steel for long lasting Durability Max EPA - 80 MPH is 8.1 Max EPA - 90 MPH is 5.6

Max EPA - 100 MPH is 3.7

 FREE SHIPPING TO COMMERCIAL LOCATIONS WITH A DOCK AND FORK LIFT ON A MINIMUM ORDER QUANTITY = 4 . IF LESS THAN 4 NEEDED, CALL FOR

WARELIGHT.

FREIGHT CHARGES 866-683-3290

Lead Times Vary - Please Call.

Distribution: Type III

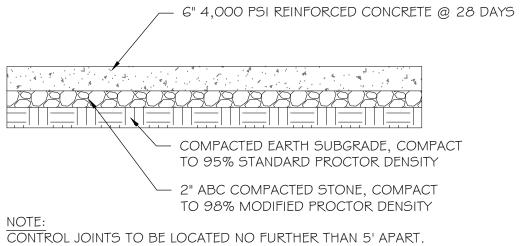
o 6 inch Pole Arm

Listings: DLC, UL, IP66

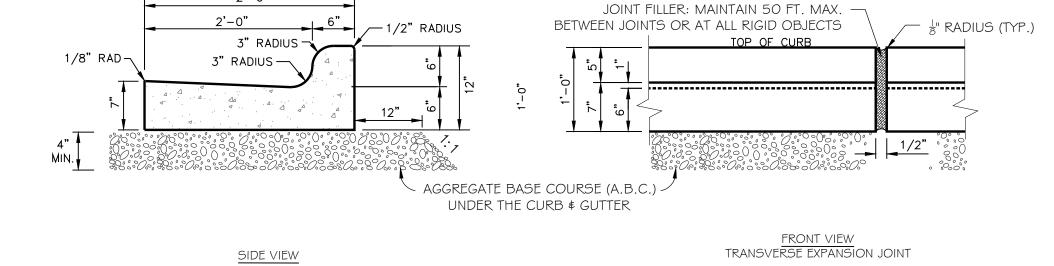
5 year warranty

available









20'-24'

-8" COMPACTED STONE BASE

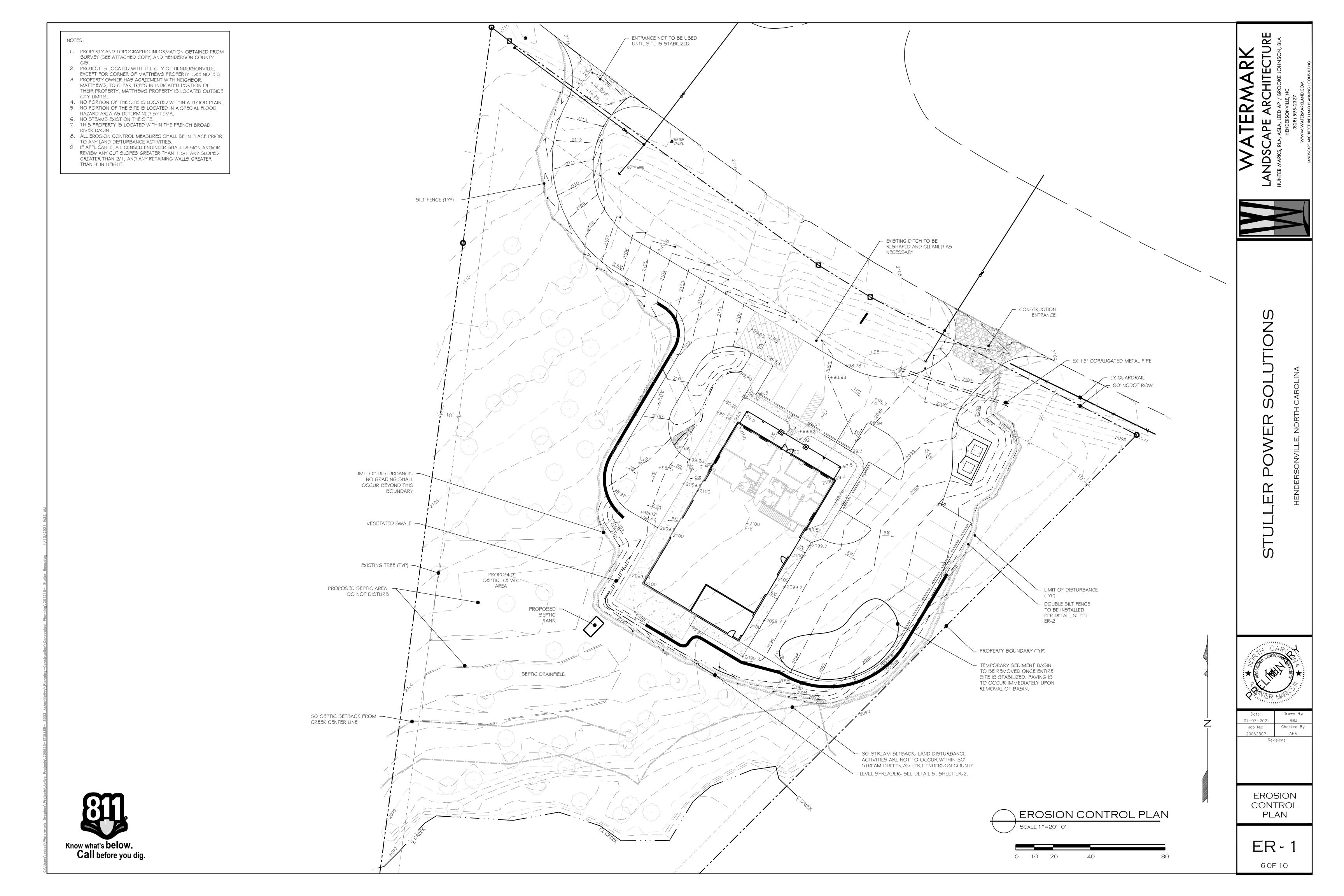
→ 2% (TYP

CONCRETE C&G

NOT TO SCALE



5-3



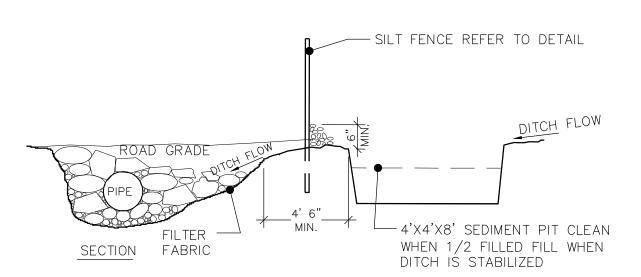
EROSION CONTROL DETAILS

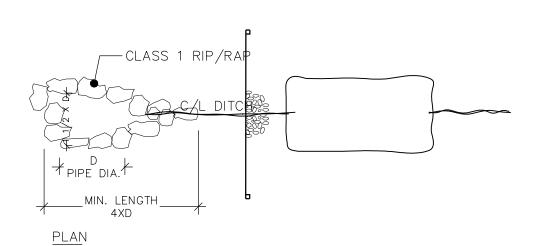
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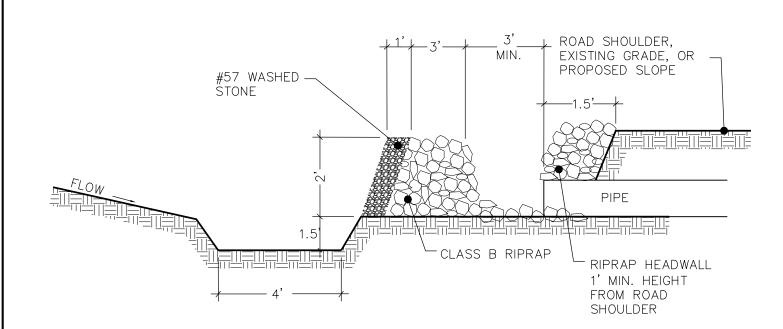
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AHM

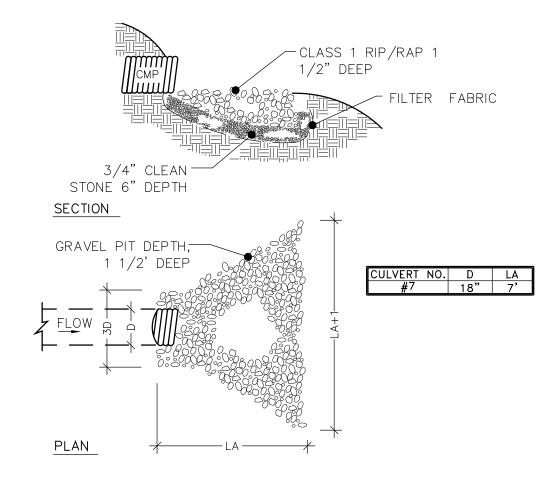




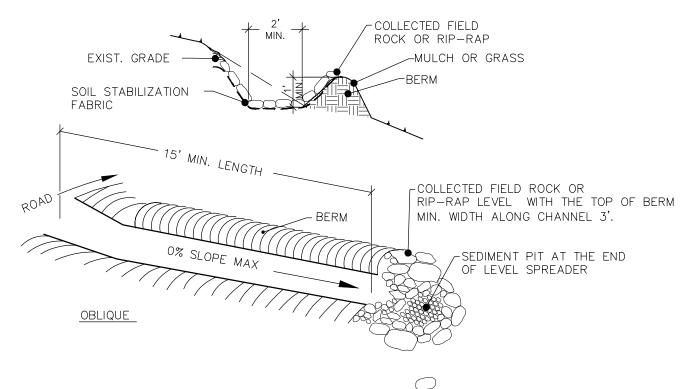




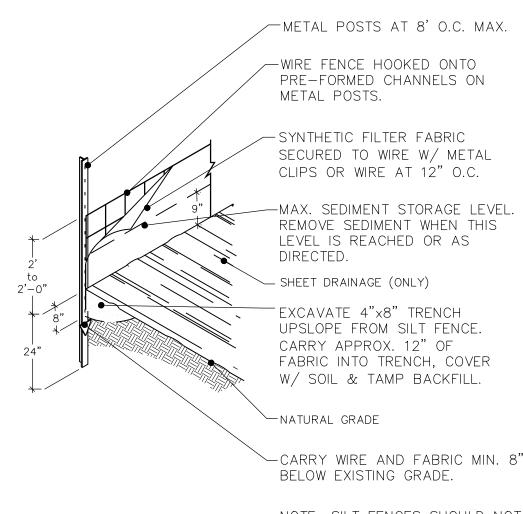












NOTE: SILT FENCES SHOULD NOT BE USED IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHLINES, SWALES, ETC.)

MATERIALS 1.1. SYNTHETIC FILTER FABRIC - MINIMUM 95% BY WEIGHT OF POLYOLEFINS OR POLYESTER, CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO REQUIRMENTS IN ASTM D 6461. 1.2. FABRIC SHOULD CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABALIZERS TO PROVIDE A MINIMUM OF 6 MONTHS OF EXPECTED

USABLE CONSTRUCTION LIFE AT TEMPERATURE RANGE OF 0° TO

1.3. METAL POSTS - 1.25LB/LINEAR FT. STEEL WITH A MINIMUM LENGTH OF 5FT. STEEL POSTS HAVE ARE TO HAVE PROJECTIONS

TO FACILITATE FASTENING THE FABRIC. 1.4. WIRE FENCE - MINIMUM 14 GAUGE AND A MAXIMUM MESH SPACING OF 6 INCHES.

2. CONSTRUCTION 2.1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD STRENGTH OR EXTRA STRENGTH SYNTHETIC FILTER FABRICS.

2.2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE. 2.3. CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER CLOTH ONLY AT A

SUPPORT POST WITH 4 FEET MINIMUM OVERLAP TO THE NEXT 2.4. FASTEN WIRE MESH SECURELY TO THE UPSLOPE SIDE OF THE POSTS. EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENTS. THEN FABRIC ON THE

UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES ARE TO HAVE MINIMUM 50 POUND TENSILE STRENGTH. 2.5. SPACE POSTS A MAXIMUM OF 8 FEET APART AND DRIVE INTO THE GROUND A MINIMUM OF 24 INCHES. 2.6. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8

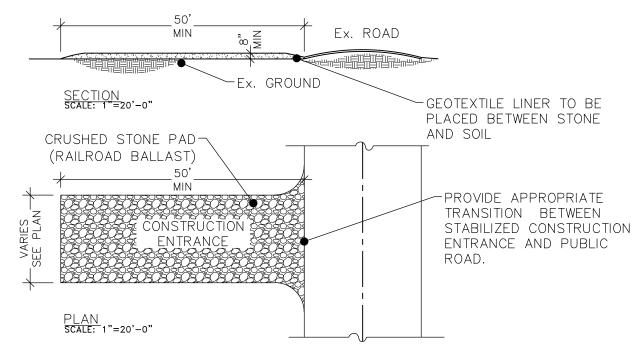
INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER. 2.7. PLACE 12 INCHES OF FABRIC ALONG THE BOTTOM AND SIDE OF

2.8. BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. 2.9. DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

3.1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR,

DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. 3.3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE

DURING CLEANOUT. 3.4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



1. Stone size — use 2 1/2"—3" railroad 50 feet.

3. Thickness— not less than eight (8) inches. 4. Width— not less than full width of all points of ingress or egress. 5. Washing— when necessary wheels shall entrance onto public right-of-way. When

be cleaned to remove sediment prior to washing is required, it shall be done on an area stabilized with crushed stone which drains into an approved sediment trap or sediment basin. All sediment shall be prevented from entering any storm drain, ditch, or watercourse through use of sand bags, gravel, boards or other approved methods.

6. Maintenance— the entrance shall be maintained in a condition which will 2. length— as effective, but not less than prevent tracking or flowing of sediment onto public rights—of—way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights—of—way must be removed immediately. 7. Provide a geotextile fabrics as per NC Erosion and Sediment Control Planning and Design Manual section 6.06



#7 CLEAN -

STONE

TEMPORARY SEDIMENT PIT NOT TO SCALE

BASIN SECTION

OF SPILLWAY(TYP.)

CARRY RIP/RAP UP SIDES

JUTE BAFFLE-

(See plan for location, see Jute

MAXIMUM LEVEL OF SEDIMENT

#7 CLEAN STONE

WIER ELEVATION

LEVEL IS 1/3 D

1' FREEBOARD MIN.

COLLECTED, CLEAN BASIN WHEN

Baffle Detail for Construction)

DOUBLE SILT FENCE

25' MIN. TO ACTIVE -

WATERCOURSE

ESTABLISHMENT of COVER

All areas disturbed during construction shall have an acceptable cover established within 15 working days or 60 calendar days, whichever is less, of the completion of temporary or final grading operations. Exposed slopes disturbed shall have an acceptable cover established within 21 days of completion of temporary or final grading operations.

Cover shall / may include:

WOODS MULCH: Shall be ground tree bark or chopped tree trimmings spread at a depth of not less than three (3) inches. Ground surface shall be slightly smoothed to insure positive drainage. TEMPORARY SEEDING

Grading shall be completed so as to provide a surface suitable for the access of seeding equipment to all areas to be seeded.

Lime shall be uniformly applied at the rate of two (2) tons per acre (90lbs/1000sf). Fertilizer, grade 10-10-10, shall be applied at a rate of 800 lbs per acre (20lbs/1000sf Lime and fertilizer shall be lightly incorporated into the surface of the soil prior to seeding. Seeding shall be with rye grain at a rate of 120lbs/acre. If hydroseeded, seed shall be mixed in a slurry with wood fiber mulch at the rate of 500lbs/acre.

Seeded areas shall be maintained by spot overseeding as required to provide for a uniform cover. Protect all seeded areas from traffic.

Seeded area shall be mulched with clean straw mulch at the rate of 3000 lbs/acre. PERMANENT SEEDING:

Areas to receive permanent seeding shall be smoothed as required to provide a clean uniform surface, lightly scarified. Lime shall be uniformly applied at a rate of one (1) ton per acre (45lbs/1000sf) or as recommended by soil testina.

Fertilize, grade 10-10-10 shall be applied at a rate of 700 lbs/acre immediately prior to seeding operations (16lbs/1000sf).

Lime and fertilizer shall be incorporated into the top surface of the entire area.

Seed shall be applied in a manner suitable to the terrain at the rate of 120 lbs/acre of KY31 Fescue and 15 lbs/acre of German Millet. Hydroseed mixtures shall include wood fiber mulch at the rate of 500 lbs/acre.

Mulch shall be clean wheat straw mulch applied at the rate of 4000 lbs/acre. All seeded areas shall be protected from traffic. Spot seeding as required shall occur until a uniform stand of grass has been established.

For single seeding applications the following soil amendment rates shall apply.

Lime - two and one half (2 1/2) tons per acre (115lbs/1000sf). Fertilizer - one half (1/2) ton per acre (23lbs/1000sf)

CONSTRUCTION SCHEDULE

The following is the typical procedure for road construction. I .Flagging initial clearing limits.

- 2. Installation of required protective devices for sedimentation control as required.
- 3. Clearing, rough grading and grubbing of site including installation of culverts with temporary protection as required. Grading operations includes ongoing cleaning and maintenance of sediment control devices.
- 4. Finished grading immediately follows rough grading.
- 5. Road bed areas are stabilized with gravel.
- 6. Slope areas are stabilized with vegetation or mulch as required.
- 7. All erosion control measures will be inspected weekly and immediately following rainfall. Cleanout of structures and repairs will be made immediately.
- Following stabilization of the site with permanent cover, temporary measures are removed and the disturbed areas stabilized with vegetation or mulch.

GENERAL CONSTRUCTION AND EROSION CONTROL PRACTICES

LAND CLEARING

Initial land clearing operations will be handled as logging operations in those areas proposed for road construction. Suitable timber is harvested and understory vegetation is cleared by hand and burned. Initial clearing does not extend within a 25 foot buffer along perennial

POST (MAX. 10' APART)

- REFER TO SILT FENCE

∕ SILT DITCH, 18"x12" APPROX.,

CLEAN OUT AS REQUIRED IN

DETAIL

SPEC'S.

Erosion control measures shall be in place prior to logging operations.

UTILIZE IN AREAS WHEN DISTURBED

WATERCOURSE.

AREA IS WITHIN 30 FEET OF ACTIVE

2. LAND GRADING Prior to initiating grading, measures to protect stream channels or steep slope and drainage ways are installed. Appropriate permits are in place prior to the construction of stream crossings and appropriate erosion control devices are installed. Immediately following initial clearing, heavy grading will proceed as required to excavate proposed road beds. Cut slopes generally are graded to 1 1/2:1 based on soil and rock conditions. Fill slopes are graded and compacted in lifts appropriate to the soil material and dressed at a

Excess soil or rock materials are distributed in areas adjacent to construction to reduce slopes, or utilized elsewhere on the project site.

maximum of 1 1/2:1 in critical areas. Maximum slope in non-critical areas is 2:1.

3. ROAD STABILIZATION

Road beds are stabilized with crushed stone as quickly after the road has been brought to final grade as weather permits. Cut and fill slopes are stabilized in an ongoing manner as construction in a given area is complete. Stabilization may include seeding or mulching with tree grindings as the specific conditions require.

4. DUST CONTROL

During periods of extreme dryness, dust is controlled by water applications at rates required to maintain the optimum compaction characteristics of the soil.

5. GENERAL EROSION CONTROL PRACTICES EMPLOYED

The following are general erosion control mechanisms employed throughout the construction process.

- a. Silt Fences are constructed along the base of fill slopes where damage to steep drainage ways, streams, or adjacent properties may occur. Additionally, fences are erected around pipe inlets until final adjacent grades
- Sediment Basins or Sediment Traps are constructed in areas of high water concentration or adjacent to stream crossings to protect streams from
- Temporary Diversions are employed along the road bed during construction and on fill slope areas until shaping of slopes is complete. Additionally, temporary diversion swales are used near stream crossings to direct surface water to sediment basins or for lateral dispersion of water onto protected slopes.
- Rip-Rap or Paved Road Ditches are established in steep road slope areas to control run-off at the time of road stabilizations and/or paving.
- Pipe Outlet Stabilization structures are established on pipes in areas as required to reduce scouring and disperse concentrated storm flow.

EROSION CONTROL MAINTENANCE

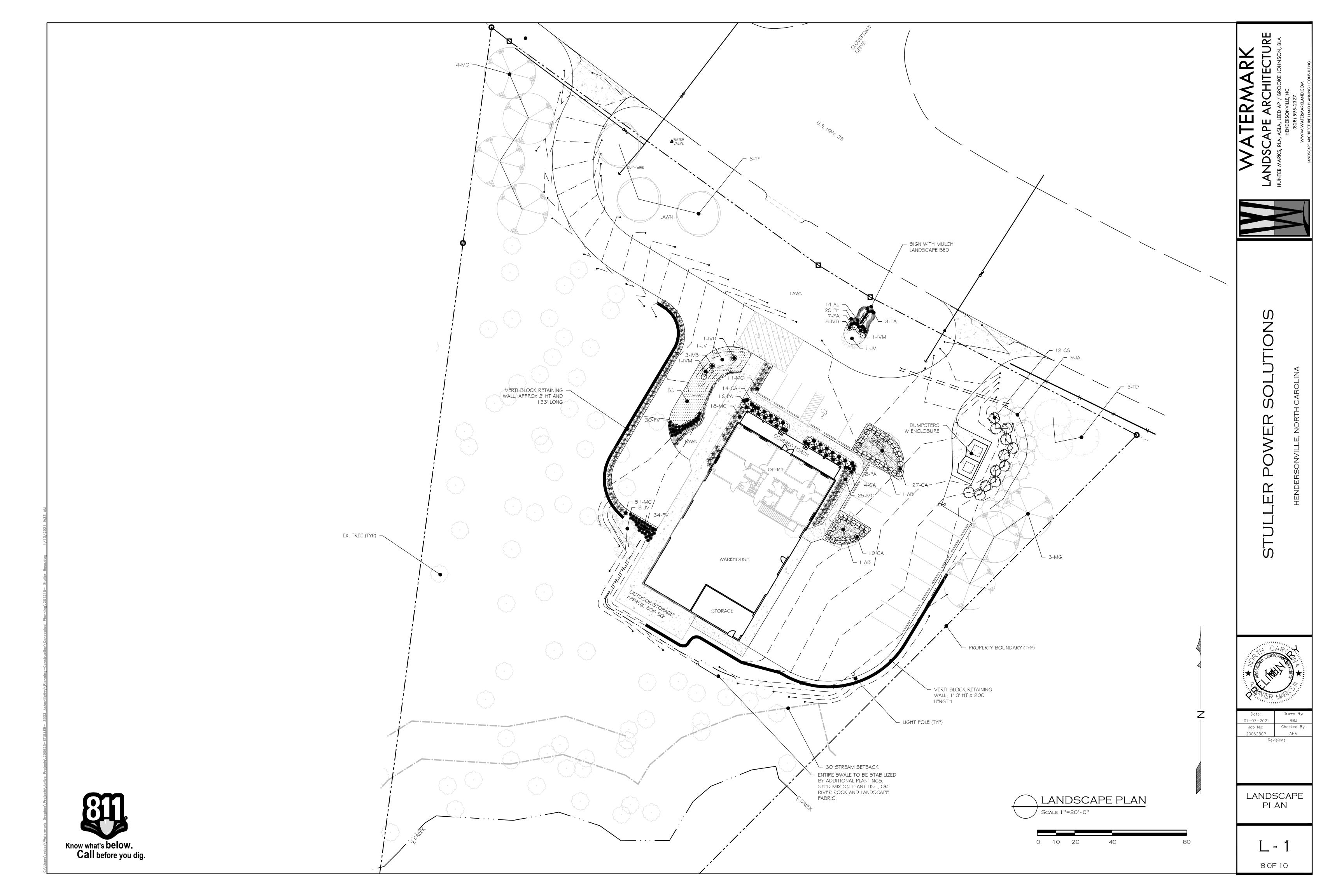
- All erosion control devices will be checked for stability and proper operation immediately following each rainfall but in no case less than weekly. Required cleanout or repairs will be made immediately to maintain all devises in good working order.
- Sediment basins or traps will be cleaned out when the level of sediment reaches a point no less than 2 feet from the top of the riser or gravel filter. Gravel will be cleaned or replaced to insure proper drainage of the basin or trap.
- 3. Sediment will be removed from behind sediment fences when the accumulation exceeds 6 inches at the fence. Fences will be repaired as required to maintain a barrier.
- 4. All seeded areas will be fertilized, reseeded as required, or mulched as provided in the vegetative plan until a vigorous, dense vegetative cover has been established.
- 5. Materials removed from sediment devices shall be disposed of in approved areas and stabilized with vegetation.



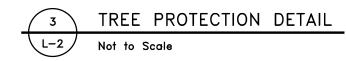
CONSTRUCTION ENTRANCE

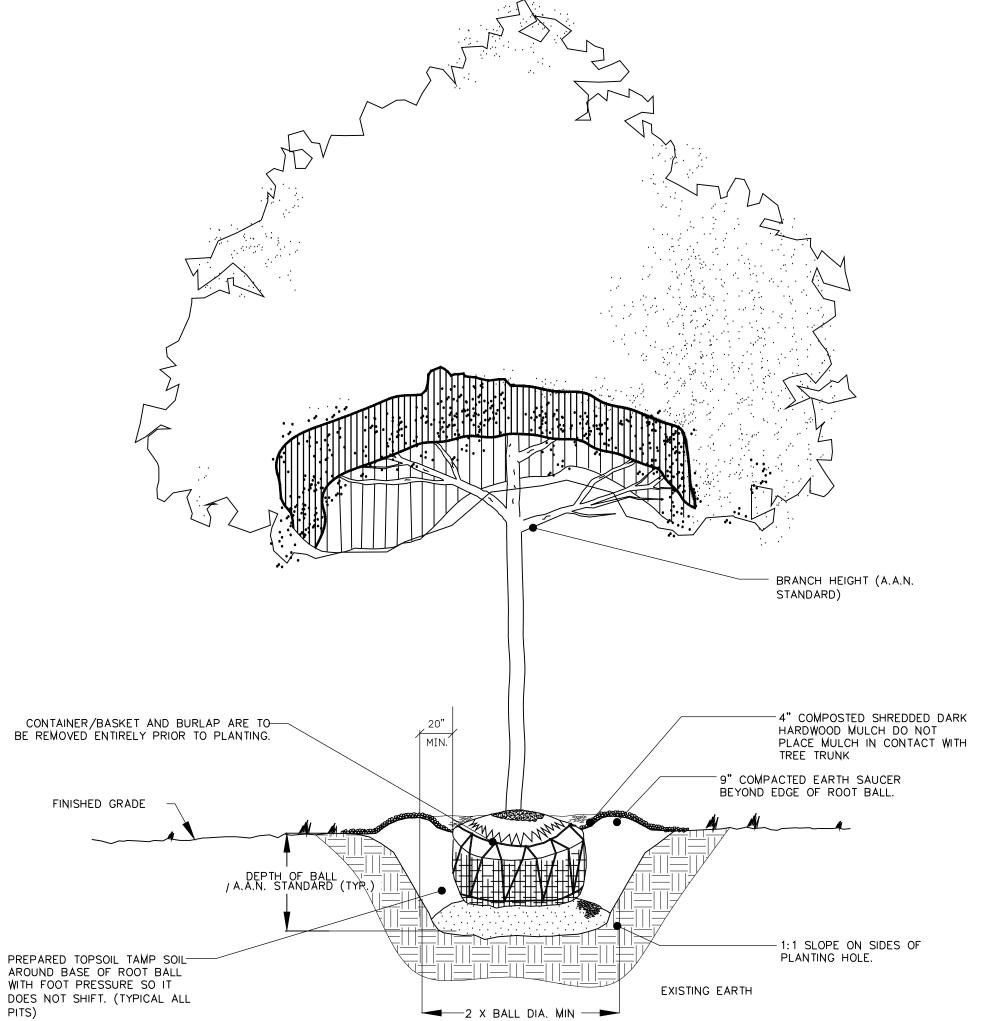
Know what's below

Call before you dig.



1. NO MATERIAL MAY BE STACKED OR STORED WITHIN PROTECTED 2. BOARDS OR WIRES OF A NONPROTECTIVE NATURE SHALL NOT BE ATTACHED TO TREES DESIGNATED TO REMAIN.





METHOD 1: TREES OVER 10' TALL

N.T.S. NOTE: APPLIES TO TREES NOT IN TREE GRATES ONLY. SEE SHEET LA-10, DETAIL #2 FOR TREES IN TREE GRATES.

-PLANT LIST-PLANT METHOD KEY **SCIENTIFIC NAME COMMON NAME** QUAN. REMARKS CALIPER | HEIGHT | SPREAD **TREES** MATCHED, WELL BRANCHED, SPECIMEN Magnolia grandiflora Acer buergerianum 'DD Blanchard' Southern Magnolia FULL, MATCHED, WELL BRANCHED, SPECIMEN FULL, MATCHED, WELL BRANCHED, SPECIMEN FULL, MATCHED, WELL BRANCHED, SPECIMEN Trident Maple 'Burkii' Eastern Red Cedar 'Nellie R Stevens' Holly Juniperous virginiana FULL, MATCHED, WELL BRANCHED, SPECIMEN FULL, MATCHED, WELL BRANCHED, SPECIMEN llex x attenuata Tulip Poplar Liriodendron tulipifera SHRUBS & GRASSES 'Berry Poppins' Winterberry Holly 'Mister Poppins' Winterberry Holly llex verticilata llex verticilata 'Sugartina' Clethra 'Arctic Fire' Red Twig Dogwood 'Hamln' Dwarf Fountain Grass 'Northwind' Switchgrass 'White Cloud' Muhly Grass Clethra alnifolia FULL, MATCHED Cornus stolonifera Pennisetum alopecuroides FULL, MATCHED Panicum virgatum Muhlenbergia capillaris FULL, MATCHED 700SQ' USE 1/2LB SEED OR CONTAINER GROWN Eragrostis curvula Weeping Love Grass PERENNIALS, GROUNDCOVERS, OTHER Allium atropurpureum Creeping Phlox Phlox stolonifera FULL, MATCHED

NOTES: ANY SUBSTITUTIONS REGARDING PLANT SPECIES, VARIETY, SIZE, OR QUANTITY SHALL BE SUBMITTED FOR APPROVAL TO LANDSCAPE ARCHITECT PRIOR TO CHANGE.

FOR SEED INFORMATION, CONTACT ERNST SEEDS -800-873-3321

WWW.ERNSTSEED.COM

BRANCHED HEIGHT (A.A.N. STANDARD) MULCH MIN. DEPTH -4" MULCH MIN. DEPTH -COMPACTED EARTH SAUCER COMPACTED EARTH SAUCER COMPACTED EARTH SAUCER - FINISHED GRADE FINISHED GRADE PREPARED TOPSOIL I" MULCH MIN. DEPTH (TYPICAL ALL PITS) BALLED & BURLAPPED CONTAINER/ BASKET AND OR CONTAINER TO BE BUURLAP TO BE REMOVED REMOVED ENTIRELY ENTIRELY PRIOR TO PRIOR TO PLANTING. PLANTING. 6" MIN. DEPTH PREPARED TOPSOIL, TAMP TO PREVENT SETTLEMENT (TYPICAL ALL PLANTINGS)

METHOD 2: TREES LESS THAN 10' TALL

NOTE: APPLIES TO TREES NOT IN TREE GRATES ONLY. SEE SHEET LA-10, DETAIL #2 FOR TREES IN TREE GRATES.

METHOD 3: SHRUBS OVER 36" TALL

N.T.S.

METHOD 4: SHRUBS UNDER 36" TALL

N.T.S.

FINISHED GRADE

-EARTH EDGE W/DEPRESSED "V"

1 1/2" BELOW FINISH GRADE

METHOD 5: GROUND COVER, AND/OR HERBACEOUS MATERIAL

GENERAL NOTES

1, ALL PLANT MATERIAL SHALL BE INSTALLED IN A WORKMAN LIKE MANNER USING

ACCEPTED NURSERY PRACTICES AND STANDARDS, AND SHALL COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004 OR MOST

BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF

SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH

TWINE OR CORD. TREE BALLS SHALL HAVE A DIAMETER IN FEET EQUAL TO

PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO

WIRE BASKET ENTIRELY PRIOR TO PLANTING. CUT OR LOOSEN ANY GIRDLING

4. THE BALLS OF B&B PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON

5.NO PLANT SHALL BE BOUND WITH WIRE OR ROPE IN SUCH A MANNER THAT WILL DAMAGE THE BARK, BREAK BRANCHES, OR DESTROY THE PLANTS

FROM DRYING WINDS AND SUN. ALL PLANTS SHALL BE WATERED BY LANDSCAPE CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.

THE TRUNK IS TO BE REMOVED AT PLANTING. CUT AND REMOVE BURLAP AND

DELIVERY SHALL BE COVERED WITH MOIST SOIL, MULCH OR SIMILAR PROTECTION

NATURAL SHAPE. NO B&B PLANT MATERIAL SHALL BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING PLANTING, INCLUDING WHEN BURLAP, STAVES, ROPES, ETC. IS REMOVED DURING PLANTING.

6.ALL PLANTS SHALL BE HANDLED SO THAT THE ROOTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES. DURING SHIPMENT PLANTS SHALL BE PROTECTED

BY TARPAULINS OR SIMILAR COVERING. PLANT MATERIAL SUFFERING FROM

7. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN

RELATION TO ACTUAL CONDITIONS. ADDITIONAL UTILITIES NOT SHOWN ON THE

PLANS MAY EXIST. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY UTILITY

LOCATIONS AND NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE BEGINNING

WORK. EXCAVATION NEAR EXISTING UTILITIES SHALL BE CAREFULLY DONE BY

HAND. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT

8. ALL PLANTS SHALL BE PLANTED SO TOP OF ROOT BALL IS 2"-3" ABOVE

9.ANY SERIES OF PLANTS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY BY THE LANDSCAPE CONTRACTOR, AND ANY PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED. FINAL LOCATIONS OF ALL PLANTS MATERIAL TO BE APPROVED ON-SITE BY

10. PRUNE NEWLY PLANTED TREES AS NECESSARY AND IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF

11. LANDSCAPE CONTRACTOR SHALL VERIFY SUBGRADE ELEVATIONS, OBSERVE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, AND PROVIDE PERCOLATION TESTS AND ALL OTHER TESTS AS MAY BE NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR PLANTS. IF PERCOLATION TESTS OR OTHER SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS. AS SHOWN BY SEEPAGE OR OTHER

OF THIS FACT OR ANY OTHER UNSATISFACTORY CONDITIONS BEFORE

12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND

PERIOD STARTS FROM DATE OF SUBSTANTIAL COMPLETION.

CONDITIONS HAVE BEEN ACCEPTED "AS IS".

UNTIL ACCEPTANCE BY LANDSCAPE ARCHITECT.

EVIDENCE OF UNDERGROUND WATER, NOTIFY LANDSCAPE ARCHITECT IN WRITING

BACK-FILLING. A CHANGE ORDER MAY BE ISSUED TO DIRECT INSTALLATION OF

DRAIN TILE OR OTHER MEASURES BEYOND DRAINAGE REQUIREMENTS INDICATED.

DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES THAT SITES

MAINTENANCE OF ALL PLANT MATERIAL, BOTH BEFORE AND AFTER PLANTING,

13. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE

14. QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES AND NOTIFYING LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. COMMENCEMENT OF PLANTING WORK INDICATES THAT QUANTITIES HAVE BEEN ACCEPTED BY THE LANDSCAPE CONTRACTOR, AND LANDSCAPE CONTRACTOR ACCEPTS LIABILITY FOR ANY

15. DIMENSIONS FOR PLANT CALIPERS, HEIGHTS AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE/PLANT LIST ARE GENERAL GUIDES FOR THE MINIMUM DESIRED SIZE FOR EACH PLANT. AT A MINIMUM, ALL PLANT MATERIALS SHALL

COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1-2004, AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. THE LANDSCAPE ARCHITECT OR OTHER OWNERS REPRESENTATIVE RETAINS THE RIGHT TO REJECT ANY PLANTS NOT

16. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO BIDDING WORK TO EVALUATE SITE CONDITIONS AND AREAS TO BE SEEDED AND PLANTED. SUBMISSION OF BID INDICATES CONTRACTOR HAS

17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SIDEWALKS, CURBS, PAVEMENT, LAWNS, EXISTING PLANTINGS, ETC. AS A

19. MULCH SHALL BE DOUBLE GROUND HARDWOOD, MULCH SHALL BE OF

PLANTING BEDS, TREE PLANTINGS, AND OTHER DISTURBED AREAS.

18. LANDSCAPE CONTRACTOR SHALL SHALL BE RESPONSIBLE FOR CLEAN UP OF

SUFFICIENT CHARACTER SO AS NOT TO BE EASILY BLOWN OR WASHED AWAY.

LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 4" OF MULCH TO ALL

EDGE OF PLANTING DETAIL (UNLESS OTHERWISE NOTED ON PLAN)

PREPARED TOPSOIL - 4" MIN. DEPTH

EARTH SUBGRADE

VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.

RESULT OF LANDSCAPE INSTALLATION ACTIVITIES.

TRASH, DEBRIS, ETC. ON A DAILY BASIS.

PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.

WIND BURN OR OTHER WIND DAMAGE IS NOT ACCEPTABLE.

OR TOOL RELATED TO HIS ACTIVITIES ON THE SITE.

2. PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED AND

3. ONLY "HEMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR

CURRENT STANDARD

OR CIRCLING ROOTS.

EXISTING GRADE.

LANDSCAPE ARCHITECT.

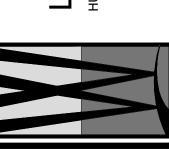
LATER DISCREPANCY.

MEETING THESE REQUIREMENTS.

10" FOR EACH CALIPER INCH OF TREE.

ARCHITEC PE

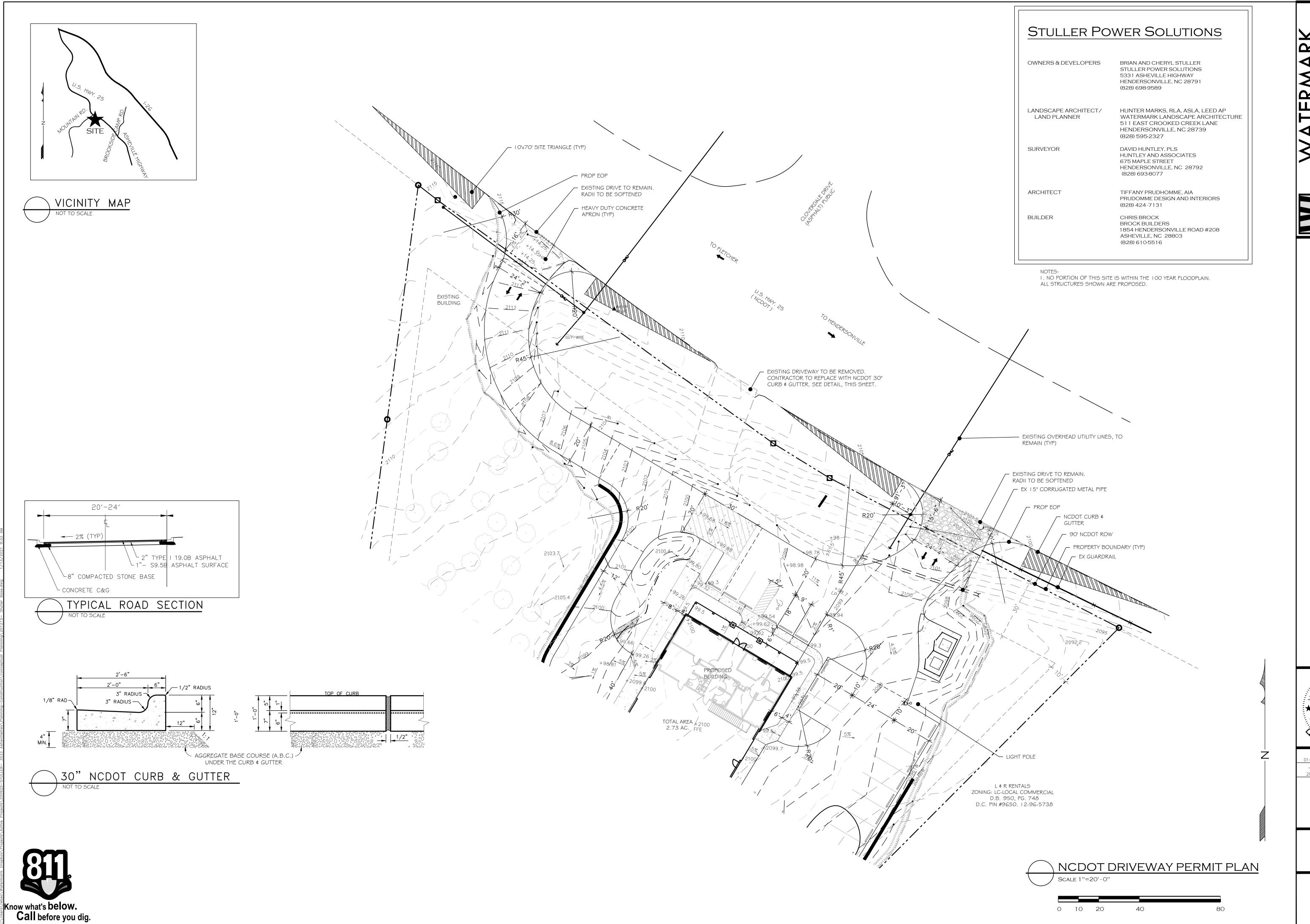
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LANDSCAPE NOTES & DETAILS

> _ - 2 9 OF 10



ATERMARK
CAPE ARCHITECTURE

HUNTER MARKS, RLA, ASL HENI (8

SOLUTIONS

TULLER POWER SOLI

CAR CANDSCAR AND SCAR AND SCAR

Date: Drawn By:
01-07-2021 RBJ

Job No: Checked By:
200625CP AHM

Revisions

NCDOT DRIVEWAY PLAN

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