

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY
Technical Review Committee

MEETING DATE: TRC 2-2-21

SUBJECT: Major Site Plan Review for Stuller Power Solutions Office at 3533 Asheville Hwy

PRESENTER: Matt Champion, Interim Zoning Administrator

ATTACHMENTS:

1. Staff Report
2. Photographs
3. Site Plan

SUMMARY OF REQUEST:

Staff requests that the TRC review and take the appropriate action on the application.

Suggested Motion:

I move that the TRC approve/deny the major site plan for Stuller Power Solutions Office



Henderson County, North Carolina Code Enforcement Services

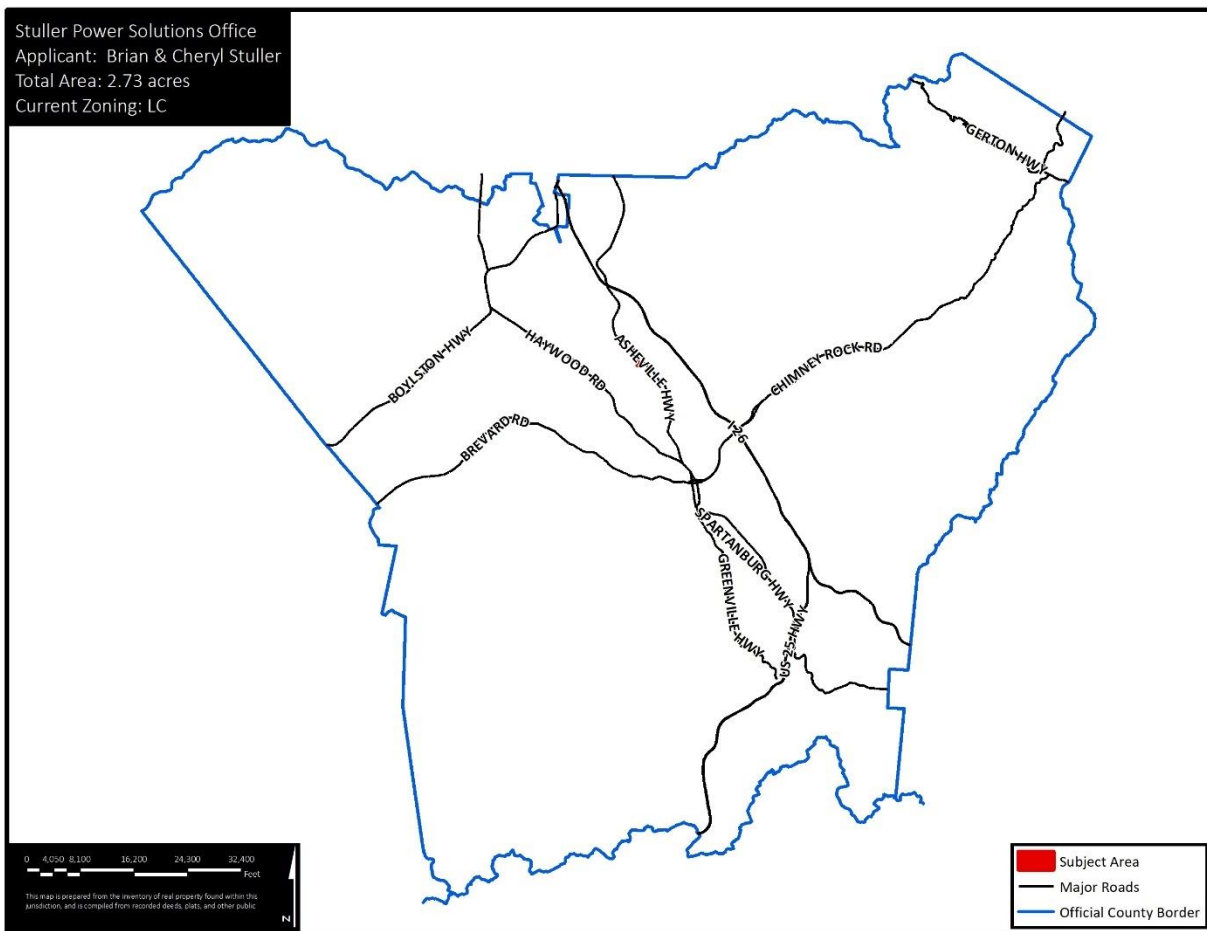
1. Board Request

- 1.1. **Applicant:** Brian & Cheryl Stuller
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9650-97-5120
- 1.4. **Size:** 2.73 acres +/-
- 1.5. **Location:** The subject area is located at 3533 Asheville Hwy
- 1.6. **Supplemental Requirements:**

SR 6.9. Office: Business, Professional and Public

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

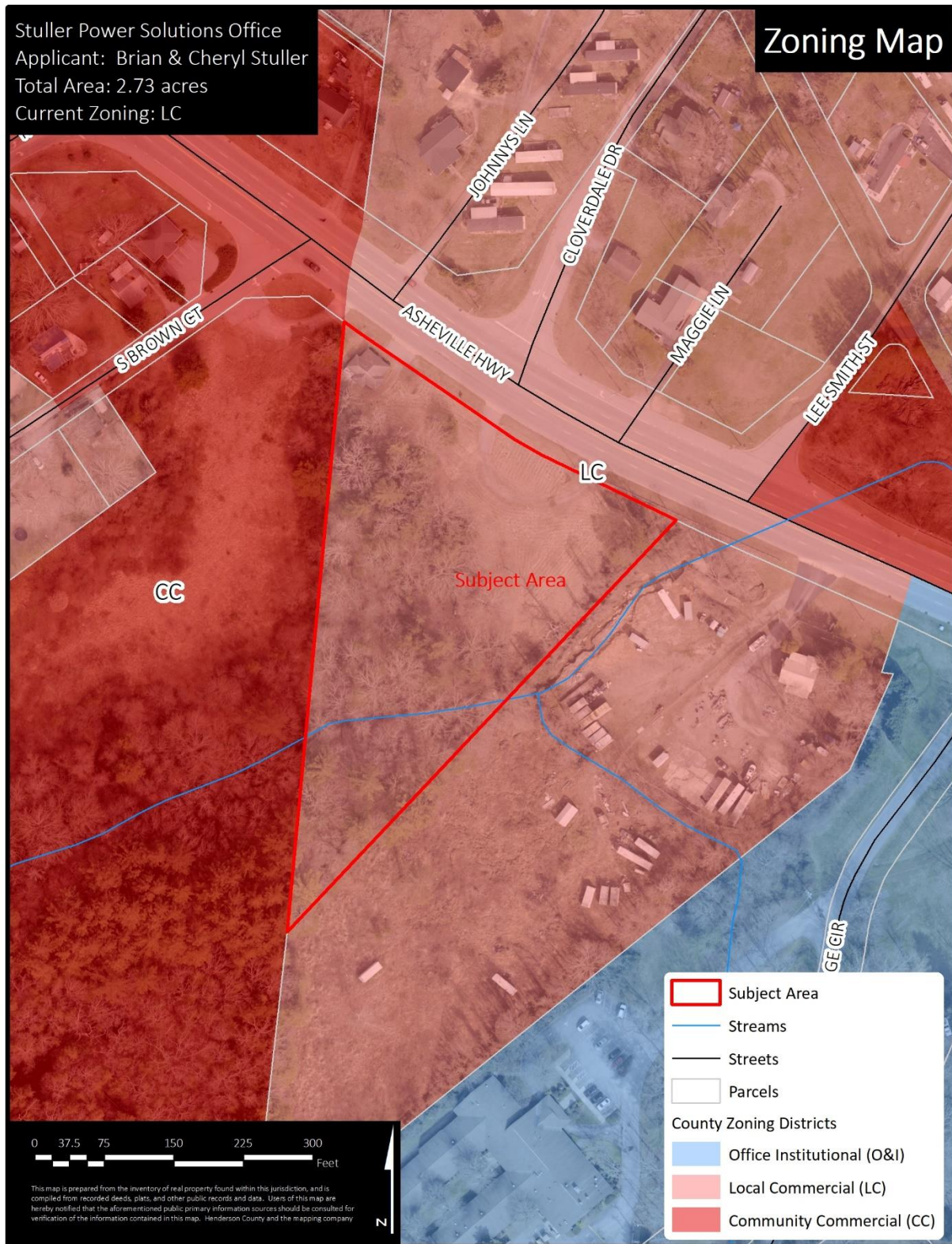
Map A: County Context



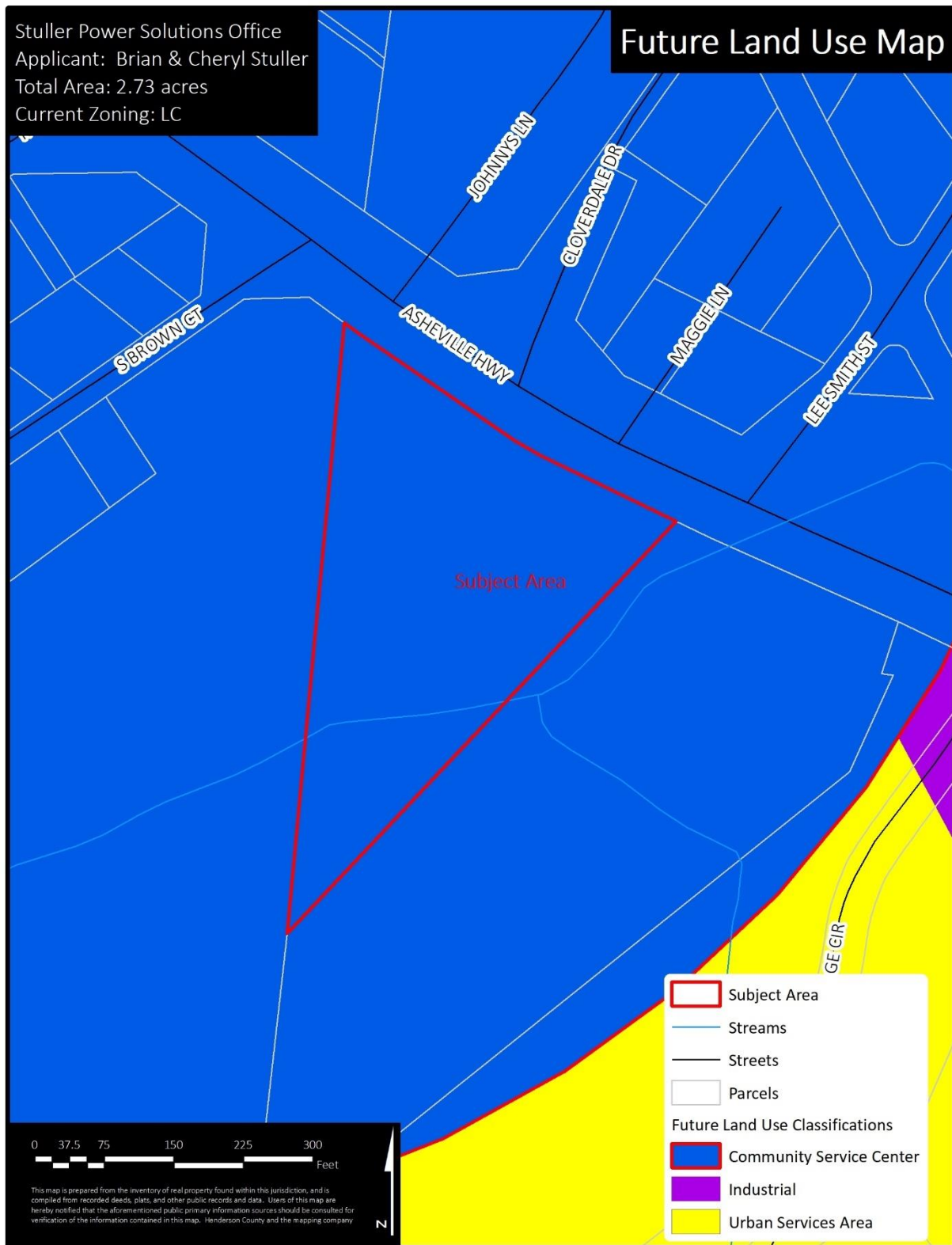
Map B: Aerial



Map C: Current Zoning



Map D: CCP Future Land Use Map



2. **Current Conditions**

2.1 Current Use: This parcel currently contains one commercial office building. The applicant has applied for a demolition permit to remove the dilapidated structure.

2.2 Adjacent Area Uses: The surrounding properties consist of residential uses to the west and north of the subject area. Commercial uses surround the subject area to the east and south.

2.3 Zoning: The subject area is zoned Local Commercial (LC). Surrounding properties are zoned Local Commercial (LC) to the north, east, and south, and Regional Commercial (RC) to the west.

- a. **Local Commercial (LC):** The purpose of the Local Commercial District (LC) is to foster orderly growth where the *principal use* of land is commercial and residential. The intent of this district is to allow for *commercial development* consistent with the recommendation of the *Comprehensive Plan*. In accordance with the *Comprehensive Plan*, the district will allow for and provide commercial and residential development that: (1) includes a variety of retail sales and services, public and private administrations, offices and all other uses done primarily for sale or profit on a local or neighborhood scale; (2) is directed largely to Community Service Centers as defined in the *Comprehensive Plan*; (3) is compatible with adjacent development and the surrounding community; and (4) will minimize congestion and sprawl. This general *use district* is meant to be utilized in all service areas. (LDC §42-33)

3. **Floodplain /Watershed Protection:** The subject area is not located in a Special Flood Hazard Area. The parcel is not in Water Supply Watershed district. The property does have a stream running across the southern portion of the site that requires a 30 non-disturbance buffer from both sides of the streambank.

4. **Water and Sewer:** This property will be served by public utilities.

Public Water: City of Hendersonville

Public Sewer: Individual Private Septic

5. **Staff Comments**

The Henderson County Comprehensive Plan (CCP): The CCP Future Land Use Map places the Subject Area in the Community Service Center (CSC). The following is a description of the patterns of development envisioned within the CSC:

- a. **Community Service Center:** *Community Service Centers* are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. *Community Service Centers* are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and *Community Facilities* such as schools, parks, community centers, and other similar *Community Facilities*. The mixture and intensity of land uses contained within *Community Service Centers* are intended to be appropriate within the context of the surrounding community and intended service area. *Community Service Centers* should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures. (CCP, Pg. 138)

6. **Proposal:** The applicant is proposing to construct a new 6,468sqft commercial office building to house an existing business. The proposal includes the commercial office space

and employee/equipment storage located within the same structure. Two pull-through service bays will be utilized for overnight parking, loading, unloading, and servicing of equipment and supplies. The major site plan also shows 16 parking spaces, two entrances to the site off Asheville Hwy, vehicular use area landscaping, and screening for the on-site dumpster.

7. Staff Recommendations

Staff's position currently, under the guidelines of current plans, policies and studies, is to recommend approval of the major site plan because it is consistent with the current surrounding land uses and future land use recommendations.

8. Photographs







STULLER POWER SOLUTIONS

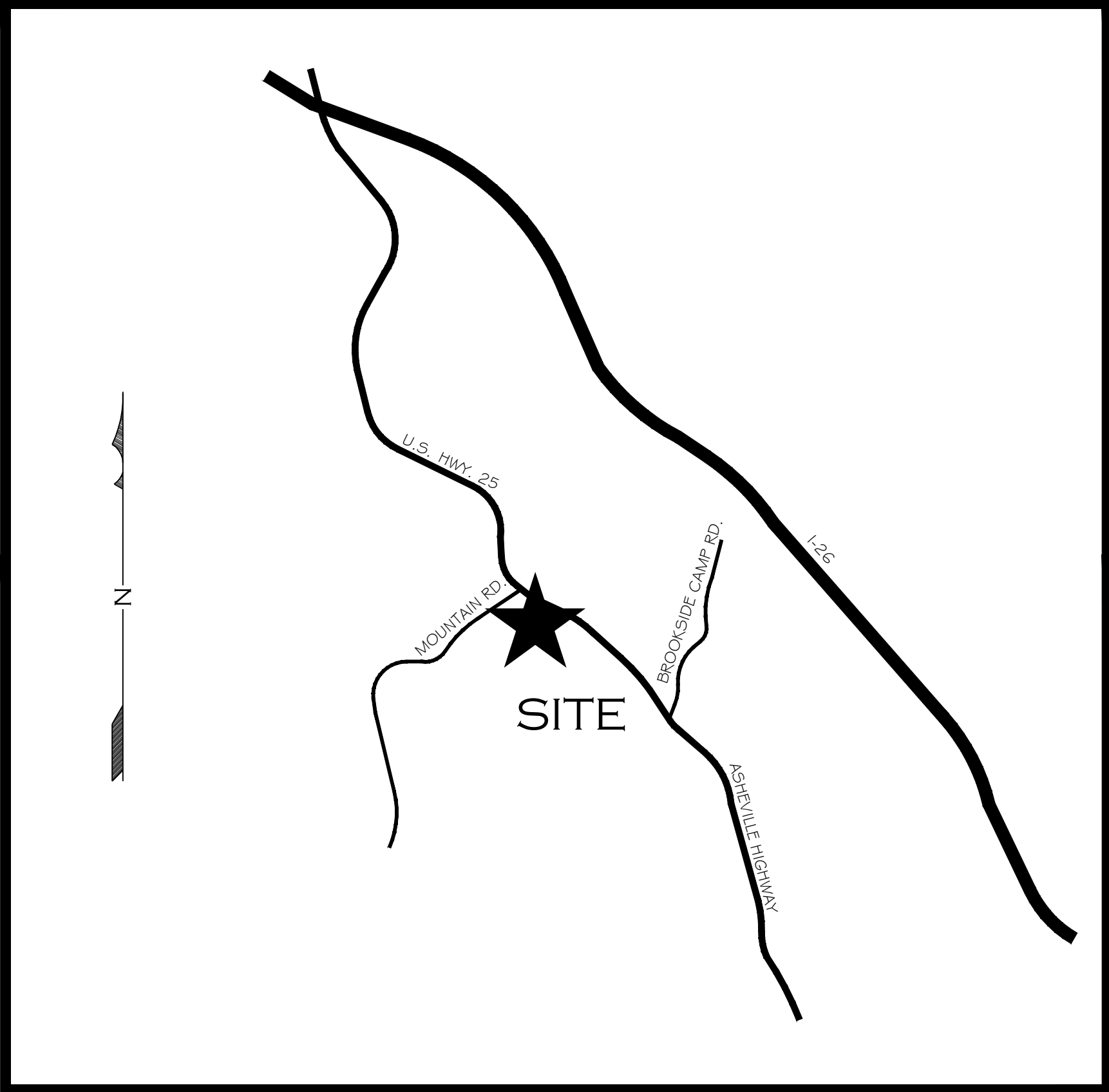
3533 ASHEVILLE HIGHWAY
HENDERSONVILLE, NORTH CAROLINA

SITE CONSTRUCTION, GRADING, EROSION CONTROL & LANDSCAPE PLANS

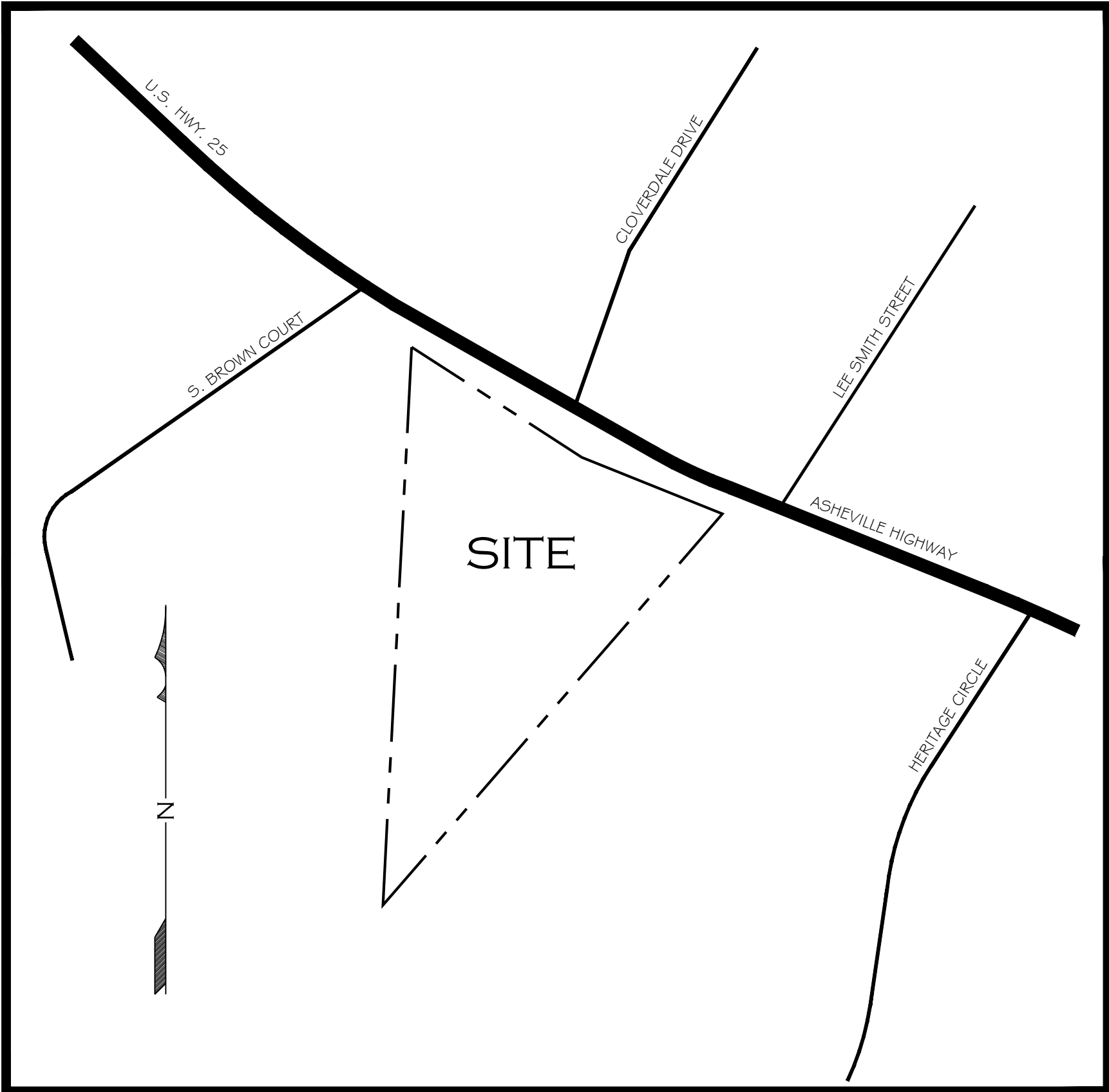
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- ☐ **OWNER**
BRIAN AND CHERYL STULLER
STULLER POWER SOLUTIONS
130 ASHWOOD ROAD
HENDERSONVILLE, NC 28791
TEL. (828) 698-9589
- ☐ **LANDSCAPE ARCHITECT**
HUNTER MARKS, RLA, ASLA, LEED AP
WATERMARK LANDSCAPE ARCHITECTURE
513 N. JUSTICE STREET
HENDERSONVILLE, NORTH CAROLINA 28791
TEL. (828) 595-2327
- ☐ **SURVEYOR**
DAVID HUNTLEY, PLS
HUNTLEY AND ASSOCIATES
675 MAPLE STREET
HENDERSONVILLE, NC 28792
(828) 693-8077
- ☐ **ARCHITECT**
TIFFANY PRUDHOMME, AIA
PRUDOMME DESIGN AND INTERIORS
(828) 424-7131
- ☐ **BUIILDER**
CHRIS BROCK
BROCK BUILDERS
1854 HENDERSONVILLE ROAD #208
ASHEVILLE, NC 28803
(828) 610-5516



VICINITY MAP
(NOT TO SCALE)



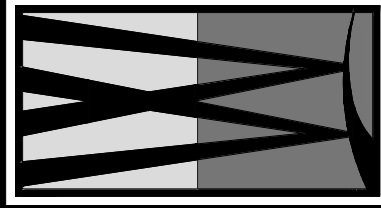
PROJECT MAP
SCALE: 1" = 150'-0"



Know what's below.
Call before you dig.

SPECIAL NOTE:
CONTRACTOR TO FIELD VERIFY LOCATION OF ALL
UTILITIES BEFORE COMMENCING WORK.
CONTRACTOR SHALL HAVE ALL UNDERGROUND
UTILITIES LOCATED. CALL 811.

WATERMARK
LANDSCAPE ARCHITECTURE
HUNTER MARKS, RLA, ASLA, LEED AP / BROOKE JOHNSON, RLA
HENDERSONVILLE, NC
(828) 595-2327
WWW.WATERMARKLANDS.COM
LANDSCAPE ARCHITECTURE / LAND PLANNING / CONSULTING



STULLER POWER SOLUTIONS
HENDERSONVILLE, NORTH CAROLINA



Date: 01-07-2021	Drawn By: RBJ
Job No: 200625CP	Checked By: AHM
Revisions	

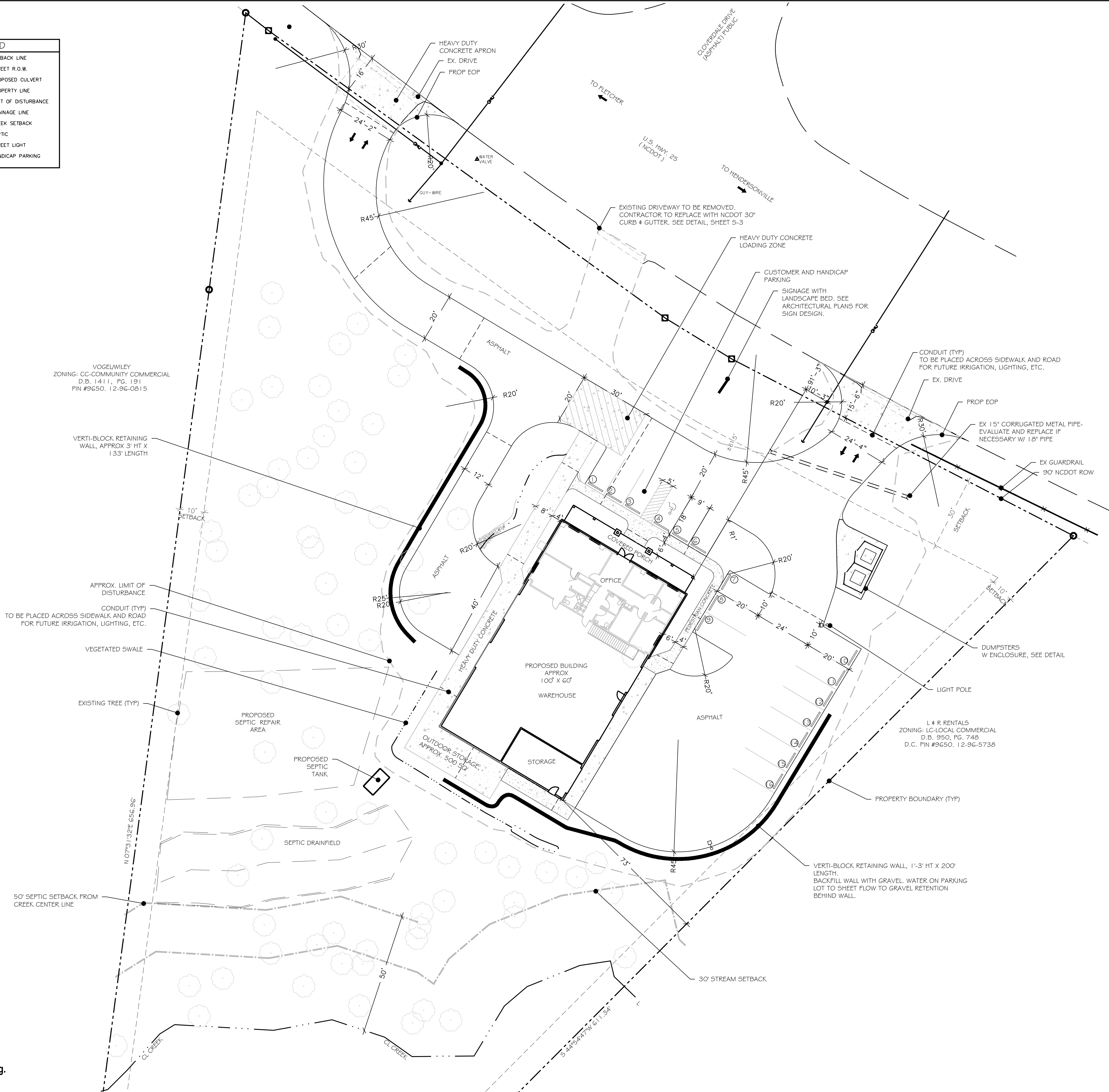
COVER
SHEET

C-1

1 OF 10

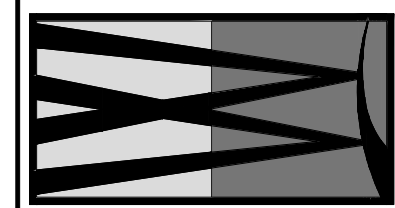


LEGEND	
---	SETBACK LINE
---	STREET R.O.W.
- - - -	PROPOSED CULVERT
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	DRAINAGE LINE
---	CREEK SETBACK
---	SEPTIC
○ □	STREET LIGHT
♿	HANDICAP PARKING



PROJECT SUMMARY	
TOTAL PROJECT AREA	2.73 ACRES (118,801 SF)
PIN NUMBER	9650975120
ZONING	LC-LOCAL COMMERCIAL
PROPERTY USE	COMMERCIAL
SITE COVERAGE	6,468 SF (5.4%)
BUILDINGS	89,235 SF (75.1%)
OPEN SPACE	(ASPHALT) 19,597 SF (16.5%)
ROADS & PARKING	(HEAVY DUTY) 2,913 SF (2.5%)
CONCRETE	(SIDEWALK) 588 SF (.5%)
PARKING	6
REQUIRED	16
PROPOSED	
FIRE DISTRICT	MOUNTAIN HOME FIRE
WATER	PUBLIC
SEWER	PUBLIC
TRASH	PRIVATE
WATERSHED	FRENCH BROAD/HOLSTON
ROAD FRONTAGE	408'-10"
LENGTH OF ROAD	APPROX 478 LF
LIMIT OF DISTURBED AREA	42,455 SQ'

WATERMARK
LANDSCAPE ARCHITECTURE
HUNTER MARKS, RIA, ASIA, LEED AP / BROOKE JOHNSON, RIA
HENDERSONVILLE, NC
(828) 595-2327
WWW.WATERMARKLAND.COM
LANDSCAPE ARCHITECTURE AND PLANNING CONSULTING



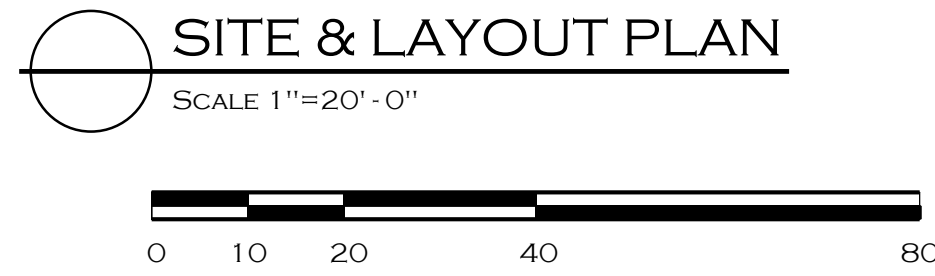
STULLER POWER SOLUTIONS
HENDERSONVILLE, NORTH CAROLINA



Date:	Drawn By:
01-07-2021	RSJ
Job No:	Checked By:
200625CP	AHM
Revisions	

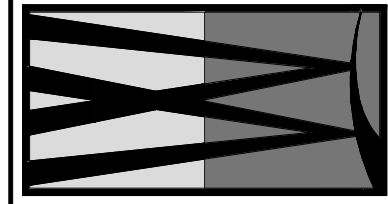
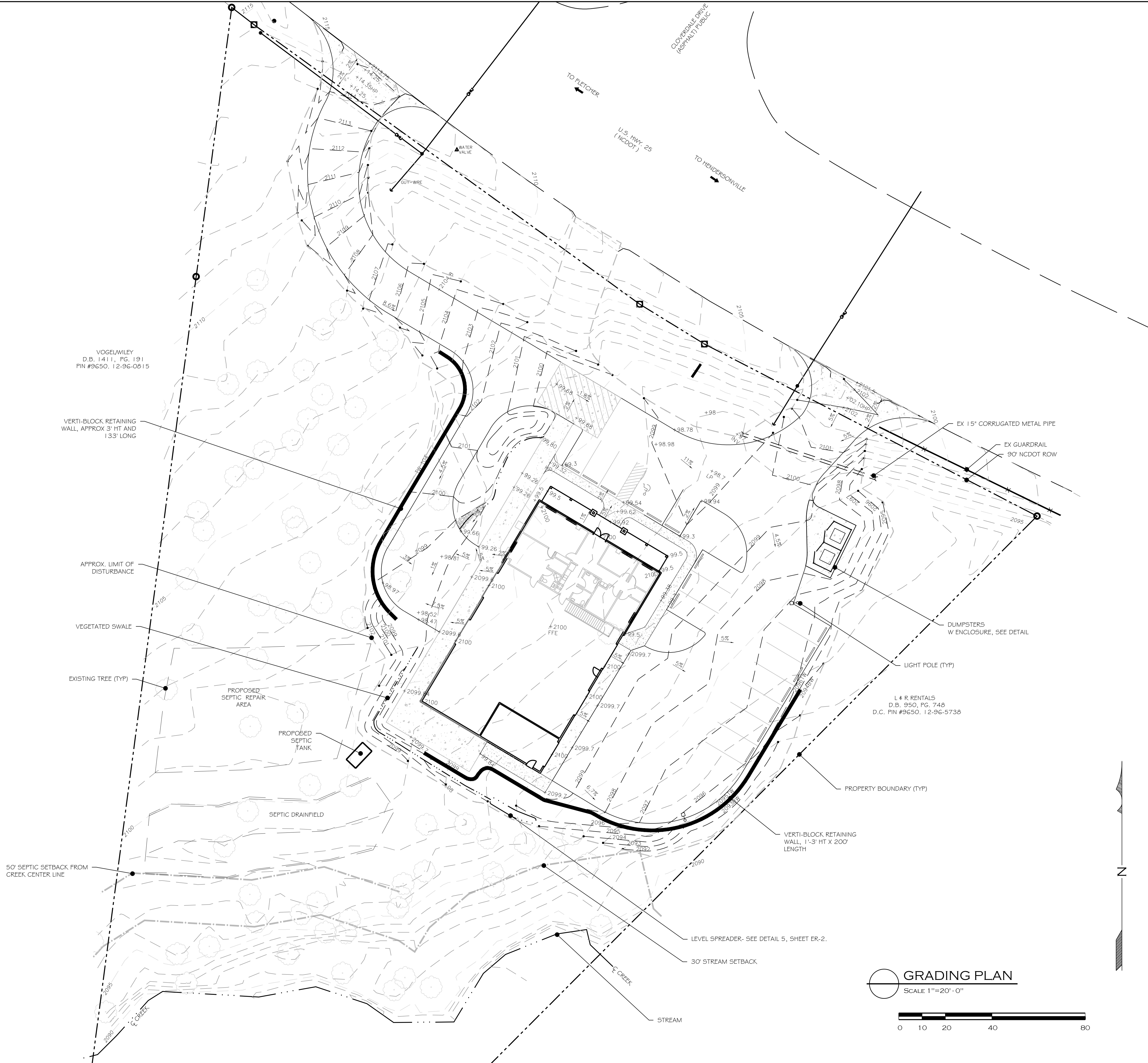
SITE & LAYOUT PLAN

S-1
3 OF 10

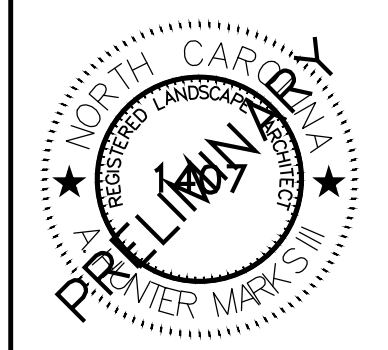


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LEGEND	
---	SETBACK LINE
---	STREET R.O.W.
- - - - -	PROPOSED CULVERT
- - - - -	PROPERTY LINE
---	LIMIT OF DISTURBANCE
---	DRAINAGE LINE
---	CREEK SETBACK
---	SEPTIC
○ □	STREET LIGHT
♿	HANDICAP PARKING



STULLER POWER SOLUTIONS
HENDERSONVILLE, NORTH CAROLINA



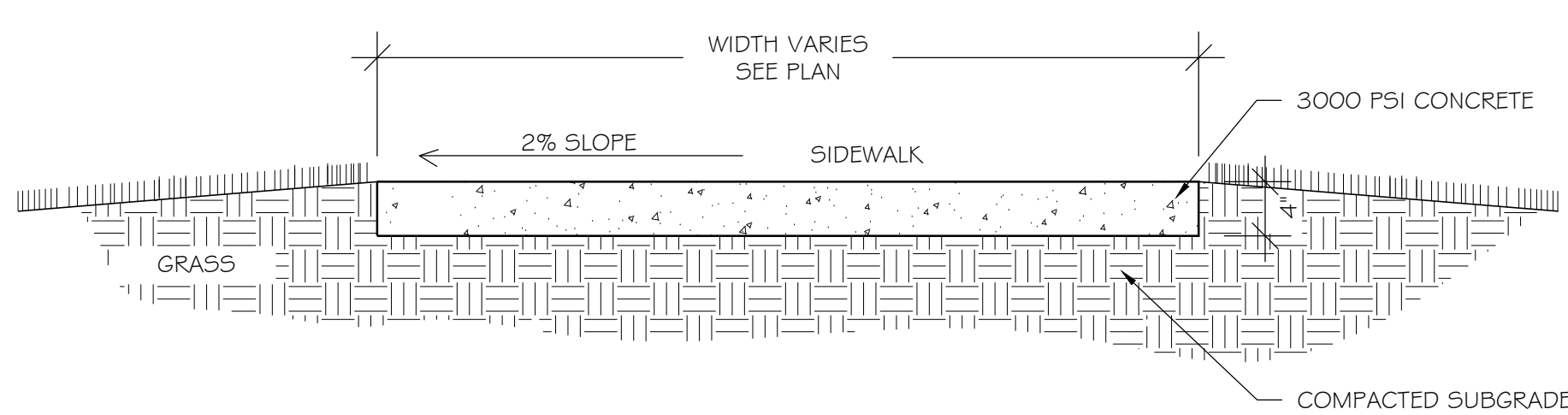
Date: 01-07-2021	Drawn By: RBJ
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GRADING PLAN

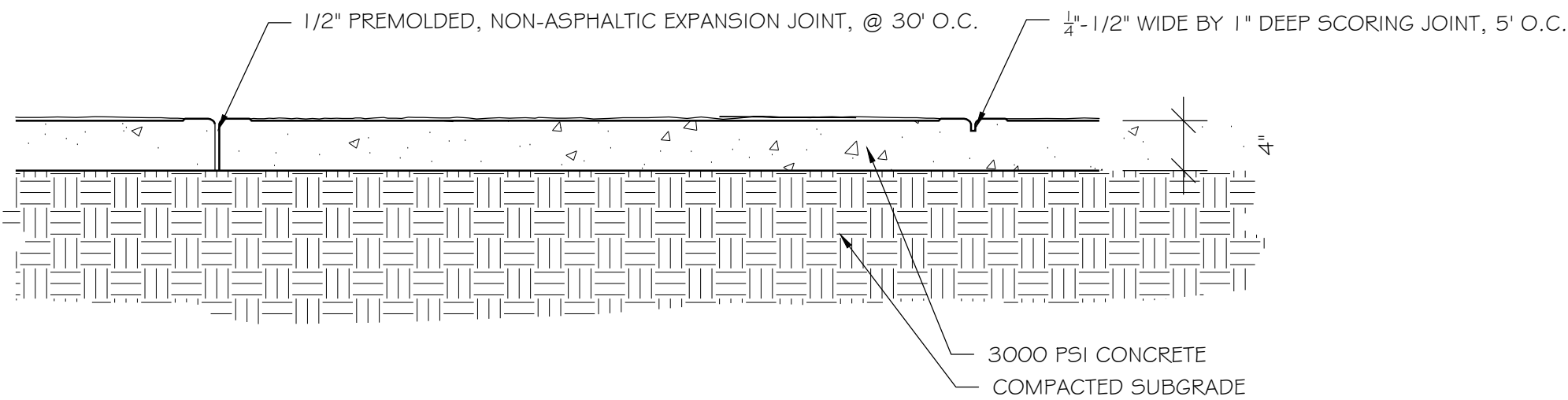
S - 2

4 OF 10

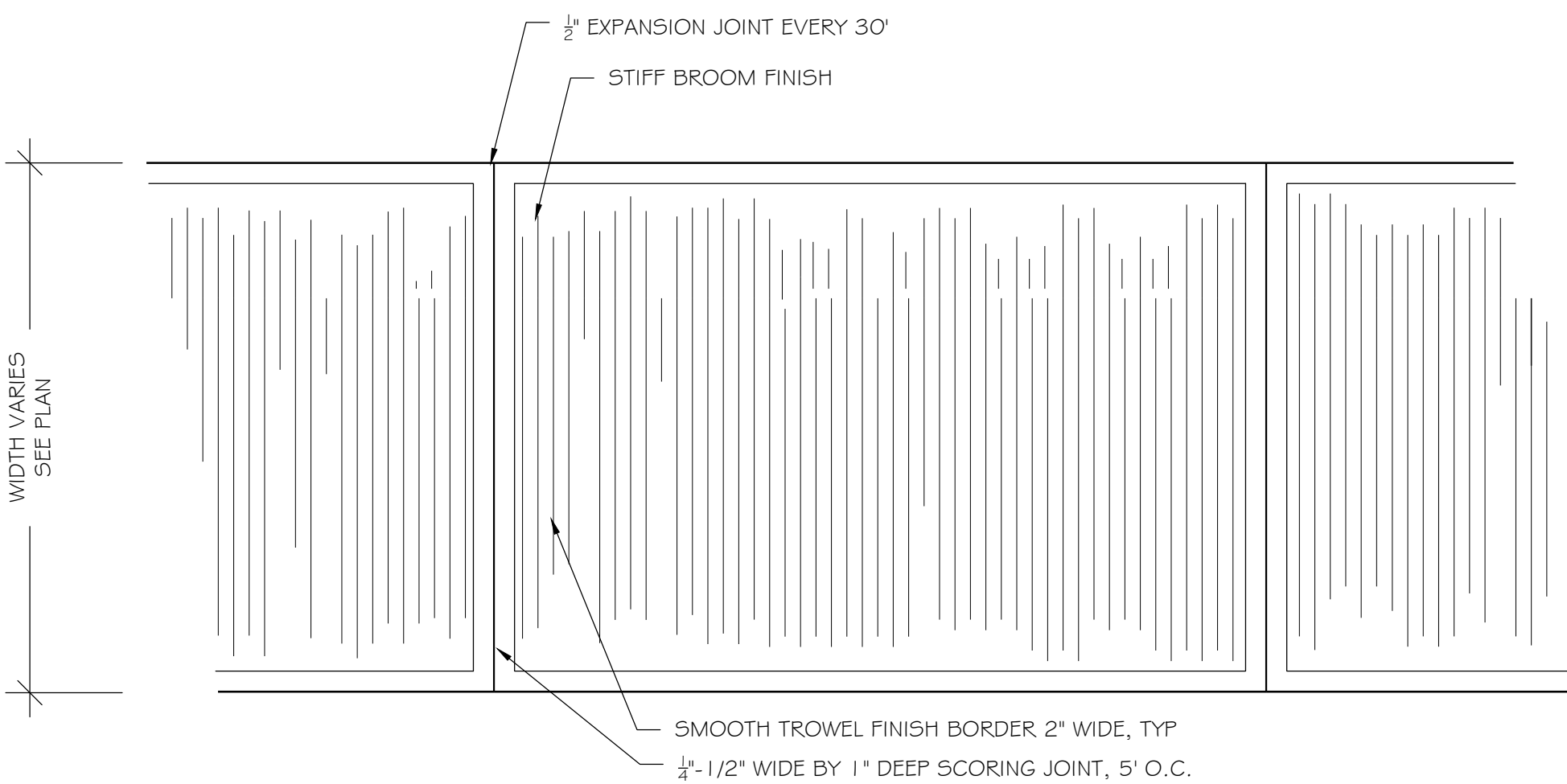
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SECTION



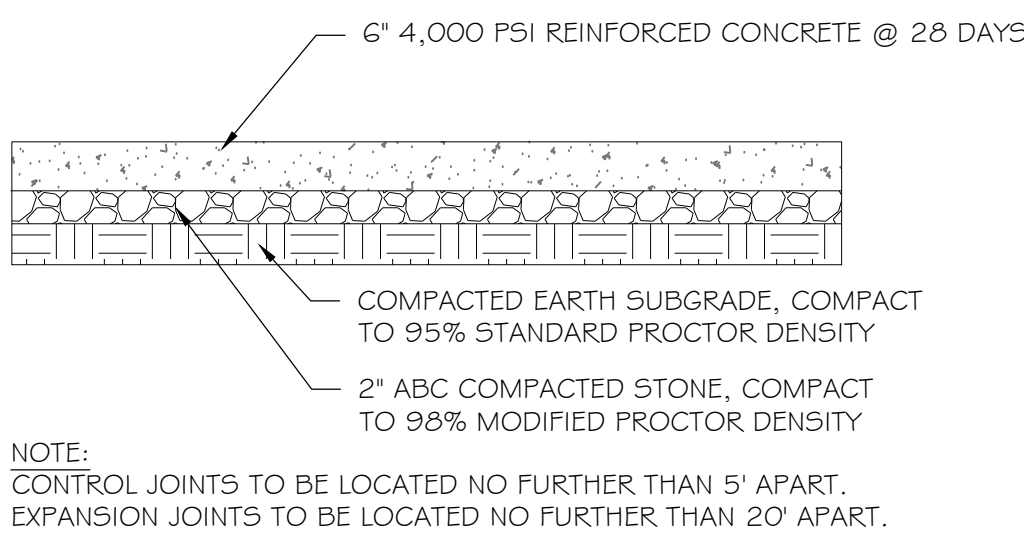
ELEVATION



NOTE:
SUBGRADE TO BE COMPACTED A MINIMUM OF 3' BEYOND EDGE OF PAVEMENT

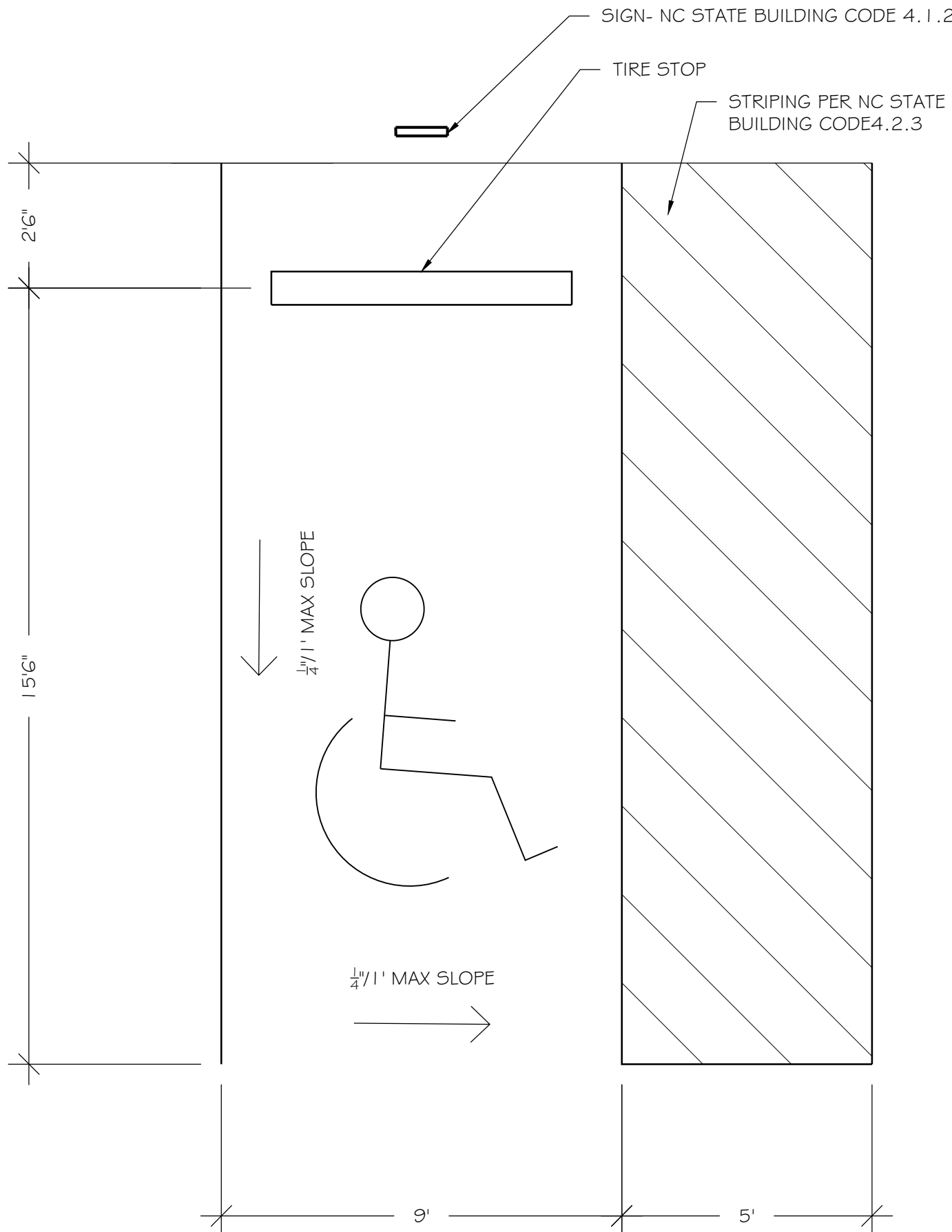
PLAN

1
S-3
NOT TO SCALE
SIDEWALK DETAIL & SECTION

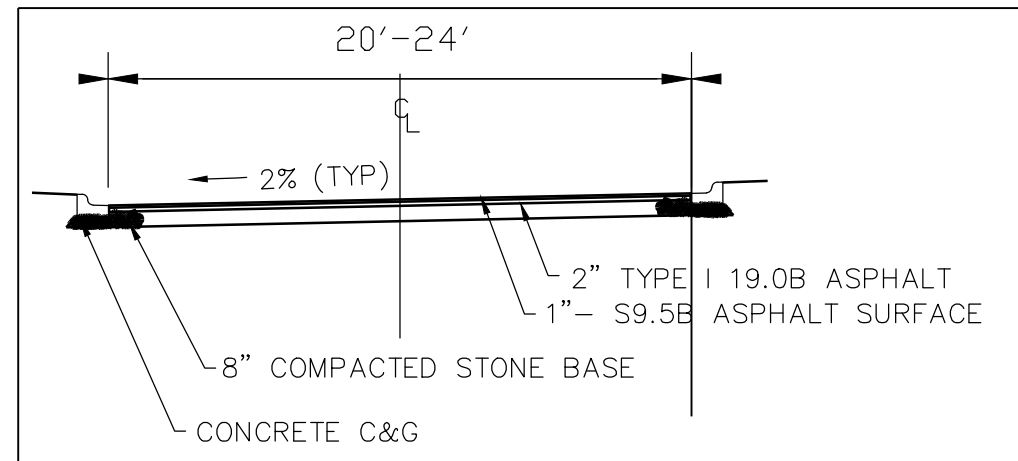


NOTE:
CONTROL JOINTS TO BE LOCATED NO FURTHER THAN 5' APART.
EXPANSION JOINTS TO BE LOCATED NO FURTHER THAN 20' APART.

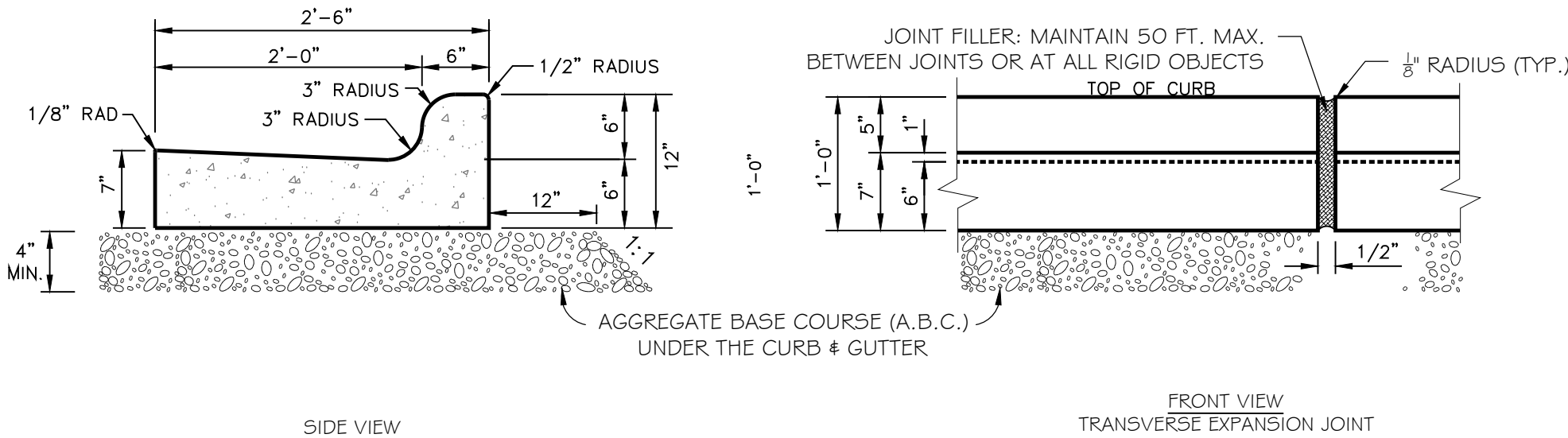
2
S-3
NOT TO SCALE
HEAVY DUTY CONCRETE



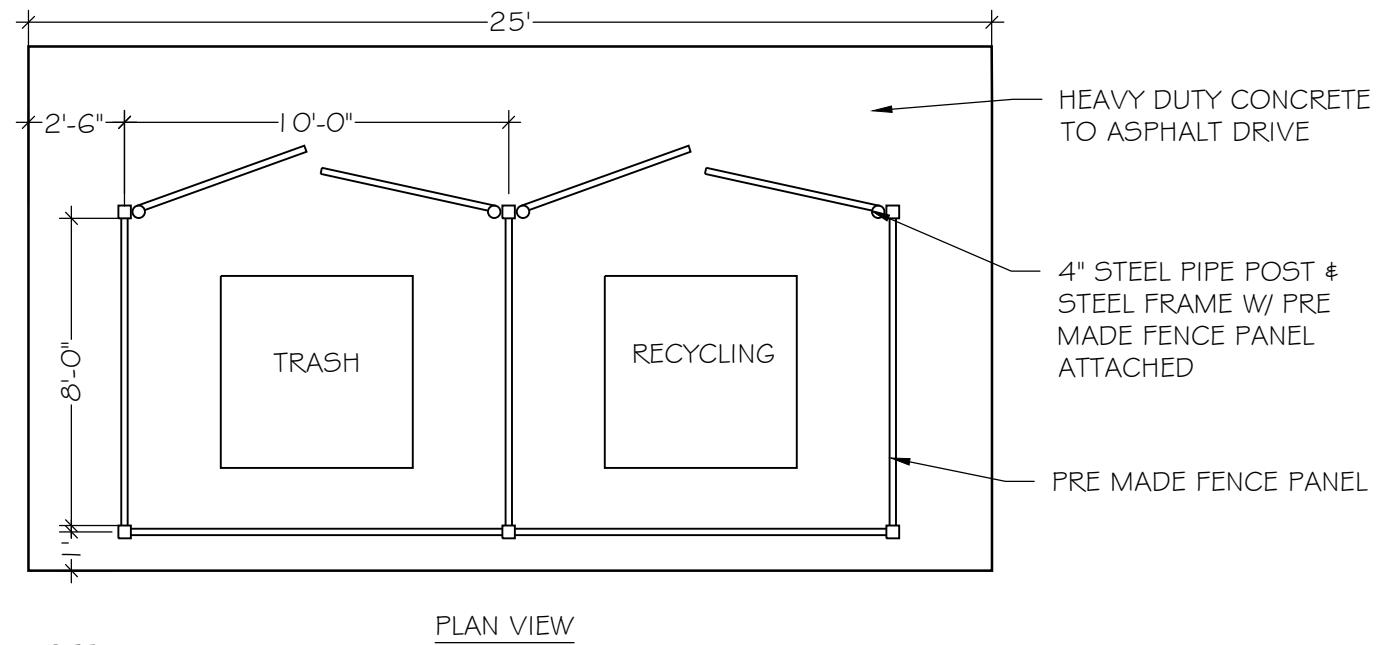
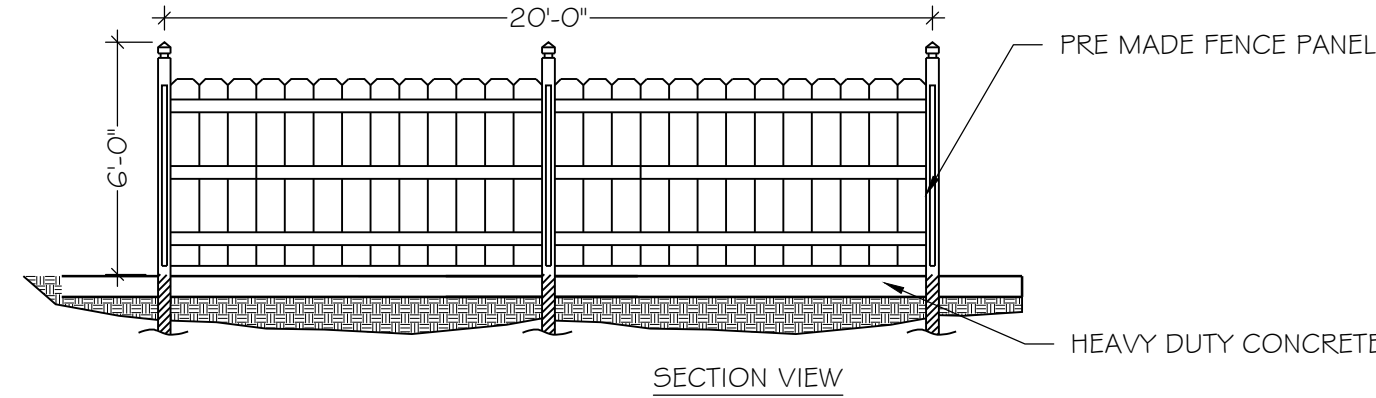
3
S-3
NOT TO SCALE
HANDICAP PARKING DETAIL



4
S-3
NOT TO SCALE
TYPICAL ROAD CROSS SECTION



5
S-3
NOT TO SCALE
NCDOT 30" CURB & GUTTER



NOTE:
CONTRACTOR TO VERIFY DUMPSTER TYPE AND SIZE WITH CLIENT TO ENSURE ADEQUATE FENCE SIZE REQUIREMENTS.

6
S-3
NOT TO SCALE
HEAVY DUTY CONCRETE



NOTE: LIGHT DESIGN, SIZE, AND LOCATION TO BE VERIFIED WITH CLIENT PRIOR TO PURCHASE AND INSTALLATION

18 FT 4 INCH SQUARE AREA LIGHTING POLE WITH 1 LED 150W SLIM LINE FIXTURE (400W+ MH OR HID EQUIVALENT)

ITEM: 18-4-PLF-1-150W-50K-T3-B-APM | Brand: WareLight

★★★★★ From | Leave a Review



Lighting Head Spec

- Brand: WareLight
- DLC Product ID#: PLXGH7RD0D1A
- Wattage: 150
- 150W LED comparable to a (400+ Watt Metal Halide or HID)
- Voltage: 120-277 (call for 480V availability)
- Lumens: 21,000
- CCT: 5000K
- Life: 50,000+ hours
- Distribution: Type III
- Mounting Options For this Combo:
 - 6 inch Pole Arm
- Listings: DLC, UL, IP66
- 5 year warranty

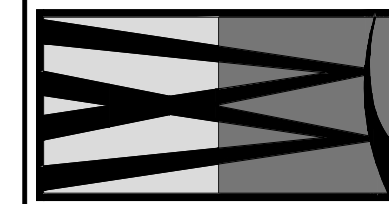
Pole Spec

- 18 Foot Tall 4 inch square lighting pole
- Economical and Tough
- Easy to drill to mount fixtures
- Easy to install
- Large handle hole for easy wiring
- Steel Wall Thickness 0.120in
- Bronze Powder Coated and Hot Dipped Galvanized Steel for long lasting Durability
- Max EPA - 80 MPH is 8.1
- Max EPA - 90 MPH is 5.6
- Max EPA - 100 MPH is 3.7
- Mounting
 - Tenon top with 4" x 2-3/8 tenon
 - Drill style with 1-2-3-4 side drilling available
- Lead Times Vary - Please Call.
- FREE SHIPPING TO COMMERCIAL LOCATIONS WITH A DOCK AND FORK LIFT ON A MINIMUM ORDER QUANTITY = 4
- IF LESS THAN 4 NEEDED, CALL FOR FREIGHT CHARGES 866-683-3290

7
S-3
NOT TO SCALE
PARKING LOT LIGHTING

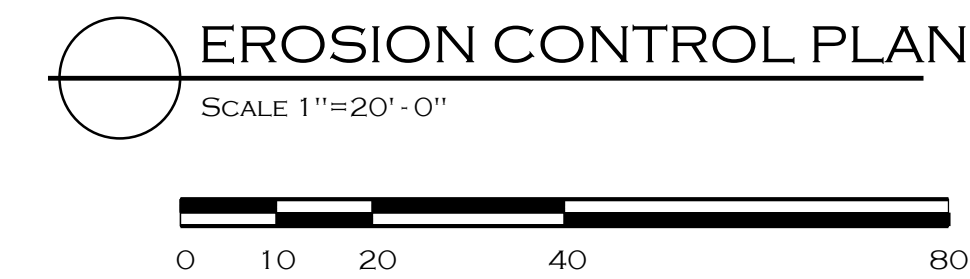


Know what's below.
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Revisions	

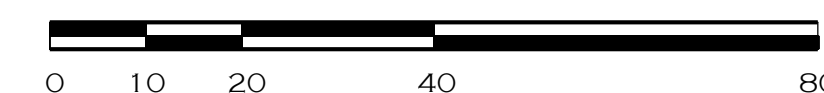
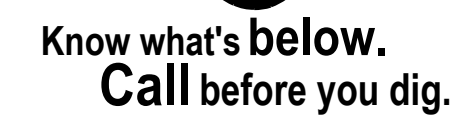
1. PROPERTY AND TOPOGRAPHIC INFORMATION OBTAINED FROM SURVEY (SEE ATTACHED COPY) AND HENDERSON COUNTY GIS.
2. PROJECT IS LOCATED WITH THE CITY OF HENDERSONVILLE, EXCEPT FOR CORNER OF MATTHEWS PROPERTY. SEE NOTE 3.
3. PROJECT OWNER HAS AGREEMENT WITH HIGHERCOURT MATTHEWS, TO CLEAR TREES IN INDICATED PORTION OF THEIR PROPERTY. MATTHEWS PROPERTY IS LOCATED OUTSIDE CITY LIMITS.
4. NO PORTION OF THE SITE IS LOCATED WITHIN A FLOOD PLAIN.
5. NO PORTION OF THE SITE IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA.
6. NO STEAMS EXIST ON THE SITE.
7. THIS PROPERTY IS LOCATED WITHIN THE FRENCH BROAD RIVER BASIN.
8. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.
9. IF APPLICABLE, A LICENSED ENGINEER SHALL DESIGN AND/OR REVIEW ANY CUT SLOPES GREATER THAN 1:5.1. ANY SLOPES GREATER THAN 2:1, AND ANY RETAINING WALLS GREATER THAN 4' IN HEIGHT.

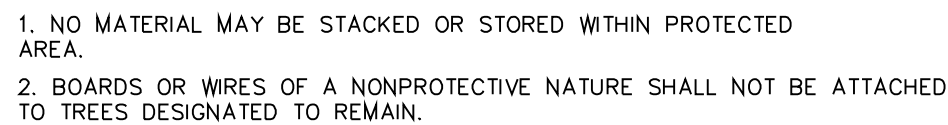


HENDERSONVILLE, NORTH CAROLINA



L - 1





N.T.S.

NOTE: APPLIES TO TREES NOT IN TREE GRATES ONLY.
SEE SHEET LA-10, DETAIL #2 FOR TREES IN TREE GRATES.



N.T.S.

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SEE SHEET LA-10, DETAIL #2 FOR TREES IN TREE GRATES.



N.T.S.

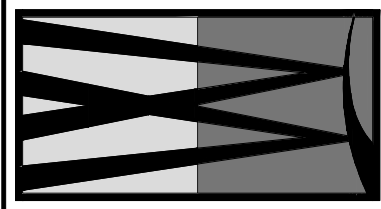
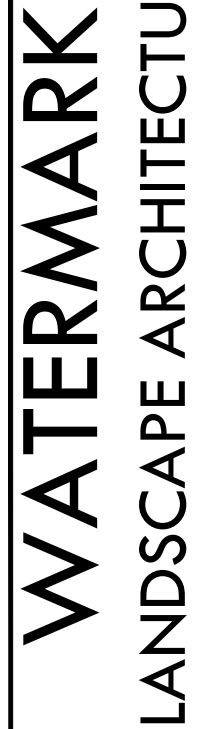


N.T.S.

1. ALL PLANT MATERIAL SHALL BE INSTALLED IN A WORKMAN LIKE MANNER USING ACCEPTED NURSERY PRACTICES AND STANDARDS, AND SHALL COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004 OR MOST CURRENT STANDARD

2. PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED AND BURLAPPED. THEY SHALL BE OUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS. THE BALLS SHALL BE WRAPPED WITH BURLAP. THE BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE OR CORD. THREE BALLS SHALL HAVE A DIAMETER IN FEET EQUAL TO 10" FOR EACH CALIPER INCH OF TREE.
3. ONLY "HEMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO BALLS SHALL BE REMOVED AFTER PLANTING CUT AND REMOVE BURLAP AND WIRE BASKET ENTIRELY PRIOR TO PLANTING. CUT OR LOOSEN ANY GIRDLING OR CIRCLING ROOTS.
4. THE BALLS OF B&B PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH MOST SOIL, MULCH OR SIMILAR PROTECTION TO PREVENT WIND DRYING. BALLS SHALL BE REMOVED AFTER PLANTING. LANDSCAPE CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.
5. NO PLANT SHALL BE BOUND WITH WIRE OR ROPE IN SUCH A MANNER THAT WILL DAMAGE THE BARK, BREAK BRANCHES, OR DESTROY THE PLANTS' NATURAL SHAPE. NO B&B PLANT MATERIAL SHALL BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING PLANTING, INCLUDING WHEN BURLAP, STAVES, ROPES, ETC. IS REMOVED DURING PLANTING.
6. ALL PLANTS SHALL BE HANDLED SO THAT THE ROOTS SHALL BE ADEQUATELY PROTECTED FROM DAMAGE BY EXCESSIVE WEIGHT OR BY TYPARULINS OR SIMILAR COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER WIND DAMAGE IS NOT ACCEPTABLE.
7. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL CONDITIONS. ADDITIONAL UTILITIES NOT SHOWN ON THE PLANS MAY EXIST. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR DISAPPROPRIATE WORK. EXCAVATION NEAR EXISTING UTILITIES SHALL BE CAREFULLY DONE BY HAND. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES, INCLUDING WATER, SEWER, GAS, TELEPHONE, CABLE, OR TOOL RELATED TO HIS ACTIVITIES ON THE SITE.
8. ALL PLANTS SHALL BE PLANTED SO THAT THE PLANT BALL IS 2"-3" ABOVE EXISTING GRADE.
9. ANY SERIES OF PLANTS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. IF THE LANDSCAPE CONTRACTOR AND THE PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED. FINAL LOCATIONS OF ALL PLANTS MATERIAL TO BE APPROVED ON-SITE BY LANDSCAPE ARCHITECT.
10. PRUNE NEARLY PLANTED TREES AS NECESSARY AND IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S RECOMMENDATIONS. THE CHARACTER OF TREE TRUNK PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
11. LANDSCAPE CONTRACTOR SHALL VERIFY SUBGRADE ELEVATIONS, OBSERVE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, AND PROVIDE PERCOLATION TESTS AND ALL OTHER TESTS AS MAY BE NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR PLANTS. PERCOLATION TESTS AND OTHER TESTING CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE OF UNDERGROUND WATER. NOTIFY LANDSCAPE ARCHITECT IN WRITING FOR A CHANGE ORDER OR OTHER CORRECTIVE ACTION. SUCH CHANGES BEING BACK-FILLING. A CHANGE ORDER MAY BE ISSUED TO DIRECT INSTALLATION OF DRAIN TILE OR OTHER MEASURES BEYOND DRAINAGE REQUIREMENTS INDICATED. DO NOT PROCEED WITH ANY UNTIL LANDSCAPE CONTRACTOR CONFIRMS THAT SITES CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES THAT SITES CONDITIONS HAVE BEEN ACCEPTED "AS IS".

12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL PLANT MATERIAL, BOTH BEFORE AND AFTER PLANTING, UNTIL ACCEPTANCE BY LANDSCAPE ARCHITECT.
13. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD STARTS FROM DATE OF SUBSTANTIAL COMPLETION.
14. QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES AND NOTIFYING LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. COMMENCEMENT OF PLANTING WORK INDICATES THAT QUANTITIES HAVE BEEN ACCEPTED BY THE LANDSCAPE CONTRACTOR, AND LANDSCAPE CONTRACTOR ACCEPTS LIABILITY FOR ANY LATER DISCREPANCY.
15. DIMENSIONS FOR PLANT CALIPERS, HEIGHTS AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE/PLANT LIST ARE GENERAL GUIDES FOR THE MINIMUM DESIRED SIZE FOR EACH PLANT. AT A MINIMUM, ALL PLANT MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1-2004. LANDSCAPE ARCHITECT'S STANDARD SPECIFICATIONS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, THE LANDSCAPE ARCHITECT OR OTHER OWNERS REPRESENTATIVE RETAINS THE RIGHT TO REJECT ANY PLANTS NOT MEETING THESE REQUIREMENTS.
16. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO PLANTING TO EVALUATE SITE CONDITIONS AND AREAS TO BE SEEDED AND PLANTED. SUBMISSION OF BID INDICATES CONTRACTOR HAS VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SIDEWALKS, CURBS, PAVEMENT, LAWNS, EXISTING PLANTINGS, ETC. AS A RESULT OF LANDSCAPE INSTALLATION ACTIVITIES.
18. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP OF TRASH, DEBRIS, ETC. ON A DAILY BASIS.
19. MULCH SHALL BE DOUBLE GROUND HARDWOOD. MULCH SHALL BE OF SUFFICIENT CHARACTER SO AS NOT TO BE EASILY BLOWN OR WASHED AWAY. MULCH SHALL BE SUBSTITUTED WITH ANY OTHER TYPE OF 4" OR LESS MULCH TO ALL PLANTING BEDS, TREE PLANTINGS, AND OTHER DISTURBED AREAS.



STULLER POWER SOLUTIONS

HENDERSONVILLE, NORTH CAROLINA

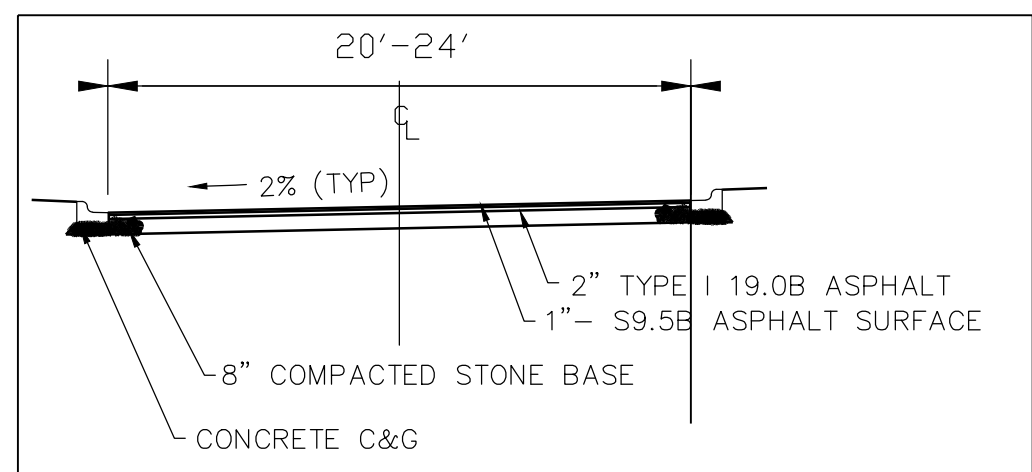


Date: 01-07-2021	Drawn By: RBJ
Job No: 200625CP	Checked By: AHM
Revisions	

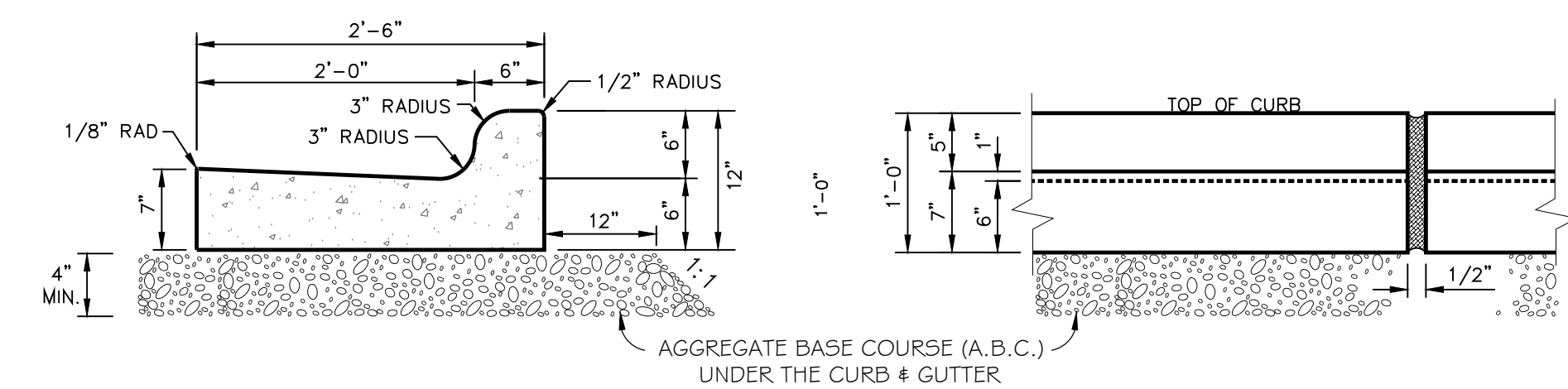
LANDSCAPE
NOTES &
DETAILS

L - 2

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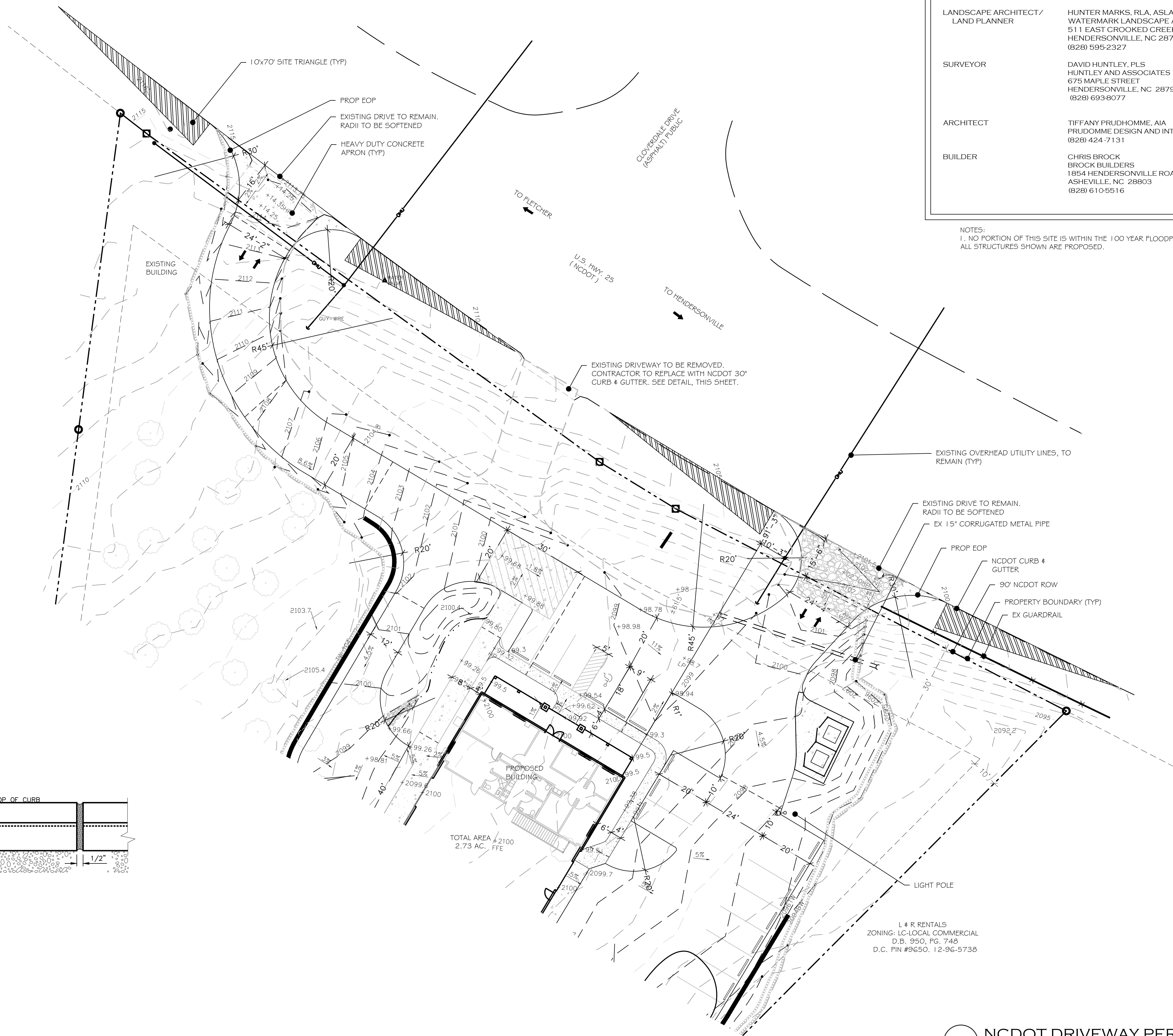
 TYPICAL ROAD SECTION
NOT TO SCALE



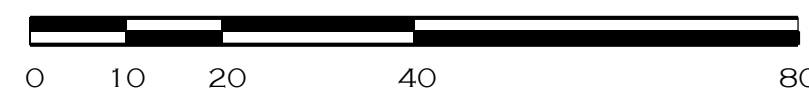
30" NCDOT CURB & GUTTER
NOT TO SCALE



Know what's below.
Call before you dig.



 NCDOT DRIVEWAY PERMIT PLAN
SCALE 1"=20'-0"

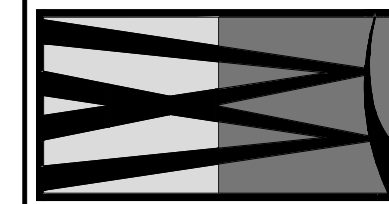


CHRIS BROCK
BROCK BUILDERS
1854 HENDERSONVILLE ROAD #208
ASHEVILLE, NC 28803
(828) 610-5516

1. NO PORTION OF THIS SITE IS WITHIN THE 100 YEAR FLOODPLAIN.
ALL STRUCTURES SHOWN ARE PROPOSED.



LANDSCAPE ARCHITECTURE
HUNTER MARKS, RLA, ASLA, LEED AP / BROOKE JOHNSON, BLA
HENDERSONVILLE, NC



STULLER POWER SOLUTIONS

HENDERSONVILLE, NORTH CAROLINA



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NCDOT
DRIVEWAY
PLAN

D-1

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