

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY
Technical Review Committee

MEETING DATE: TRC 11-17-20

SUBJECT: Major Site Plan Review for BRCC Patton Hall Renovation & Addition at 145 W.
Campus Drive

PRESENTER: Matt Champion, Interim Code Enforcement Director

ATTACHMENTS:

1. Staff Report
2. Photographs
3. Site Plan

SUMMARY OF REQUEST:

Staff requests that the TRC review and take the appropriate action on the application.

Suggested Motion:

I move that the TRC approve/deny the major site plan for BRCC Patton Hall Renovation and Addition



Henderson County, North Carolina Code Enforcement Services

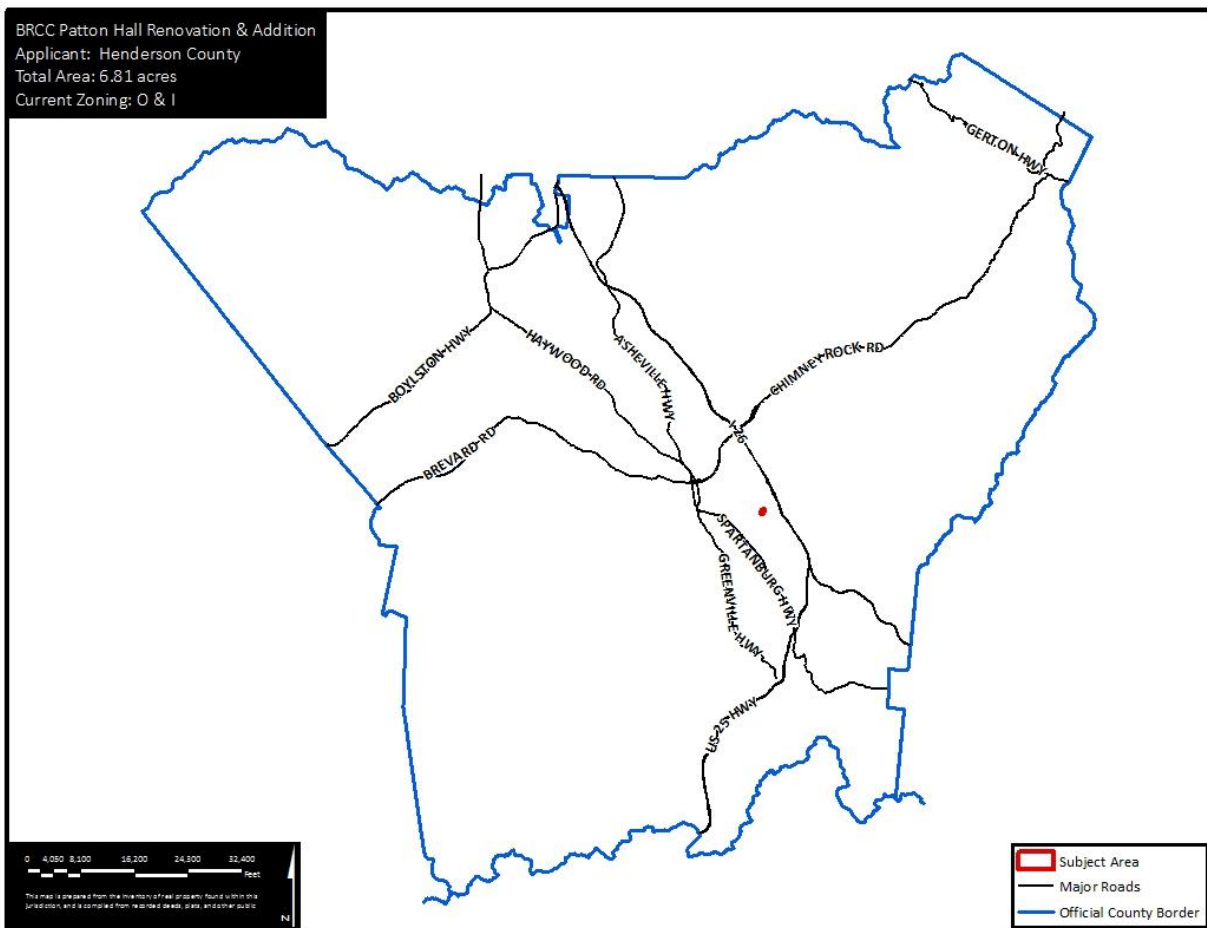
1. Board Request

- 1.1. **Applicant:** Henderson County
- 1.2. **Request:** Major Site Plan Review
- 1.3. **PIN:** 9578-84-1661
- 1.4. **Size:** 6.81 acres +/-
- 1.5. **Location:** The subject area is located at 145 W. Campus Drive
- 1.6. **Supplemental Requirements**

SR 5.7. College or University

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Lighting mitigation* required.

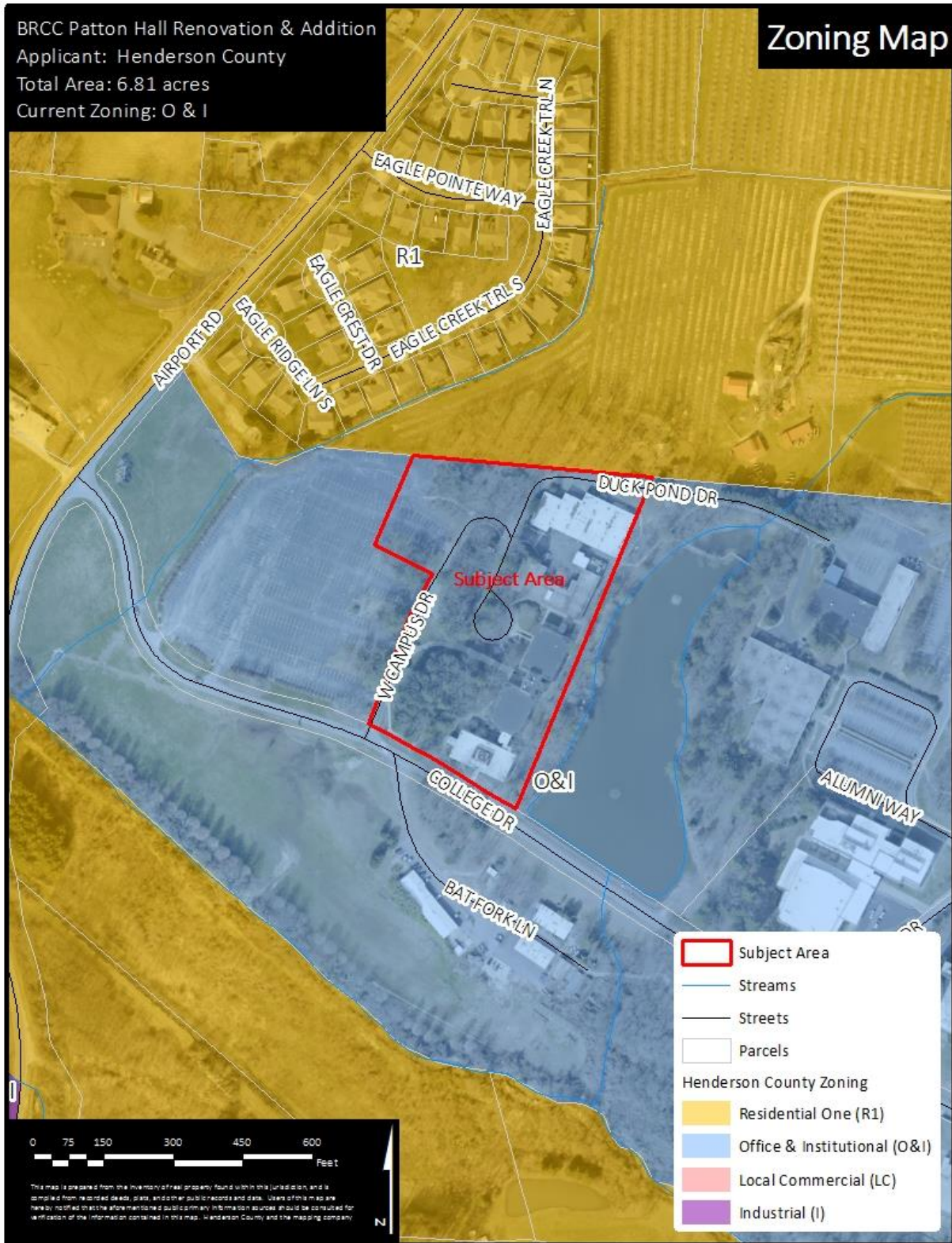
Map A: County Context



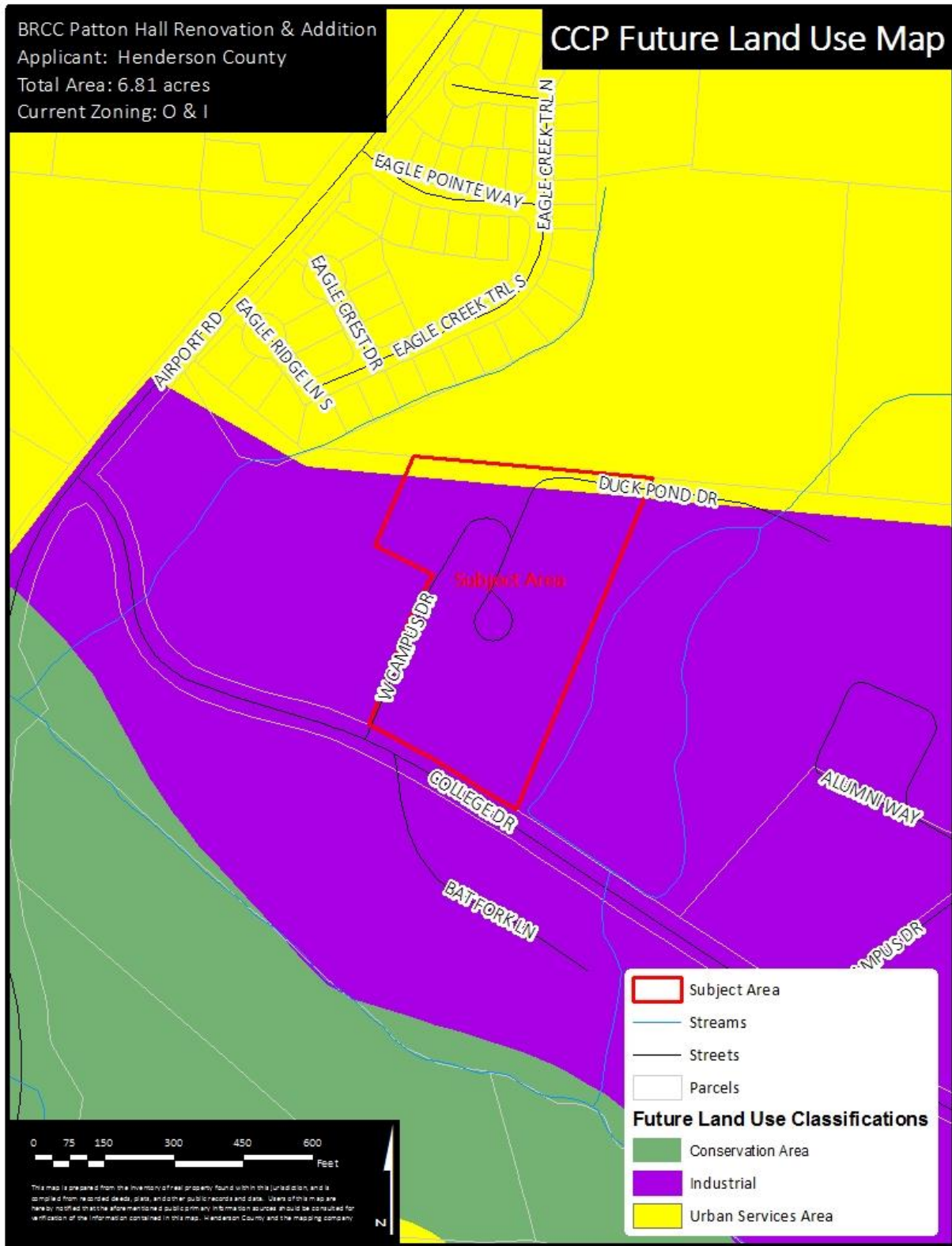
Map B: Aerial



Map C: Current Zoning



Map D: CCP Future Land Use Map



2. **Current Conditions**

2.1 Current Use: This parcel is currently used for education purposes.

2.2 Adjacent Area Uses: The surrounding properties consist of residential and agricultural uses.

2.3 Zoning: The subject area and the rest of BRCC Campus is zoned Office Institutional (OI). Surrounding properties are zoned Residential One (R1).

- a. **Office Institutional (OI):** The purpose of the Office Institutional District (OI) is to foster orderly growth where the principal use of land is a mixture of office, institutional, and residential. The intent of this district is to allow for office, institutional and residential development consistent with the recommendations of the Comprehensive Plan. In accordance with the Comprehensive Plan, the district will allow for and provide office, institutional, and residential development that: (1) is directed largely to Community Service Centers as defined in the Comprehensive Plan; (2) is compatible with adjacent development and the surrounding community; and (3) will minimize congestion and sprawl. (LDC §42-32)

3. **Floodplain /Watershed Protection:** The subject area is not located in a Special Flood Hazard Area. The parcel is not in Water Supply Watershed district.

4. **Water and Sewer:** This property will be served by public utilities.

Public Water: City of Hendersonville

Public Sewer: City of Hendersonville

5. **Staff Comments**

5.1. Henderson County Comprehensive Plan (CCP). The Future Land Use Map of the CCP shows the Subject Area as being located within an area of Industrial future land use.

- a. **Industrial:** “Parcels containing facilities wherein raw or pre-processed resources, materials, substances, or components are mechanically, physically, chemically, or otherwise transformed into new products; waste materials are collected, treated, or disposed of; subsurface natural resources are extracted and/or processed; Livestock, cargo, merchandise, materials or hazardous substances are transferred, stored or warehoused for wholesale or other distribution; passengers or passenger vehicles are collected or transferred; water, fuel, or electricity is produced, processed, stored, transferred or transmitted.” (CCP, Appendix IV pg. 12)

6. **Proposal:** Project implemented in 3 phases. 2 existing buildings to be removed and space converted into a campus lawn area. New 3 story building/addition to the existing Patton building on site.

7. **Staff Recommendations**

Staff’s position currently, under the guidelines of current plans, policies and studies, is to recommend approval of the major site plan because it is consistent with the current surrounding land uses and future land use recommendations.

8. Photographs



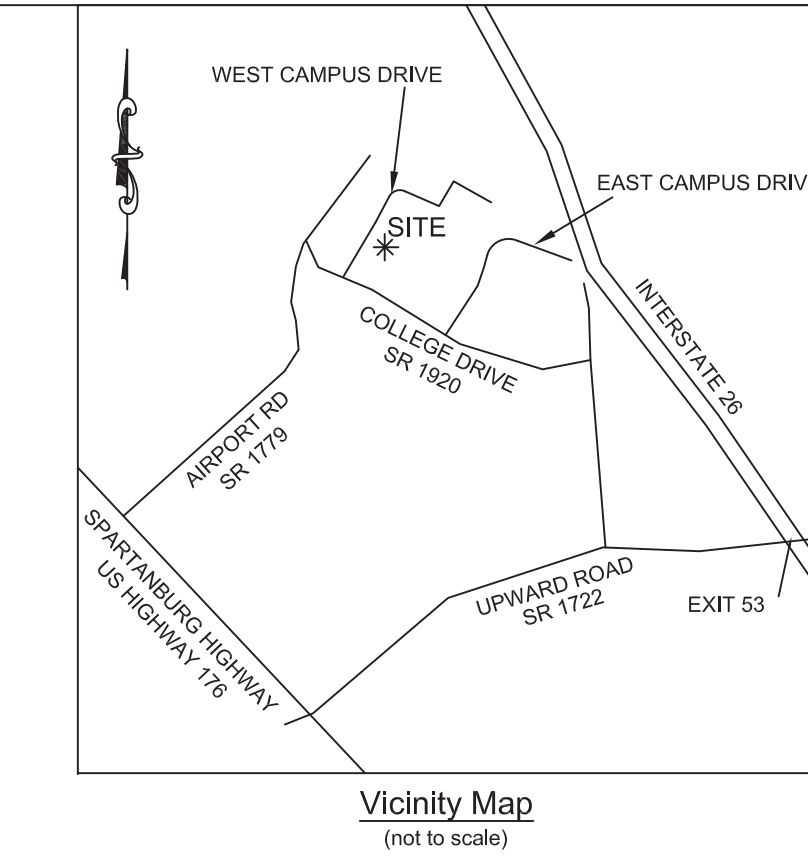
TRC 11/17/20 BRCC Patton Hall Renovation & Addition



TRC 11/17/20 BRCC Patton Hall Renovation & Addition



- LEGEND**
- EXISTING CONCRETE OR GRAVEL WALK TO BE DEMOLISHED
 - EXISTING ASPHALT DRIVE, ROAD OR PARKING TO BE DEMOLISHED
 - EXISTING STRUCTURE TO BE DEMOLISHED
 - X X X X X X X X X X X X EXISTING UTILITIES TO BE REMOVED AND/OR RELOCATED
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - PROPOSED CONSTRUCTION FENCING



HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28731

DESIGNER

CLARK NEXSEN

301 COLLEGE STREET, SUITE 300
 ASHEVILLE, NORTH CAROLINA 28801
 828-232-0600 FAX 828-232-1606
 WWW.CLARKNEXSEN.COM

CLARK NEXSEN LICENSE NUMBER: C-1028

- ORDER OF OPERATION**
1. PHASE 1 DEMOLITION
 2. PHASE 1 CONSTRUCTION
 3. PHASE 2 CONSTRUCTION
 4. PHASE 2 DEMOLITION
 5. PHASE 3 CONSTRUCTION

DEVELOPMENT DATA BLOCK

NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING	3421/574
EXISTING	(O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUIE, P.E. WCLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W 35' (THOROUGHFARE) SIDE 10' REAR 10'
BUILDING HEIGHT	MAX ALLOWED 50' PROPOSED SEE ARCHITECTS PLAN

- NOTES:**
1. SURVEY INFORMATION PROVIDED BY: PHILLIP B WHITE, PLS ED HOLMES & ASSOCIATES LAND SURVEYOR, PA. 300 RIDGEFIELD CT., SUITE 301 ASHEVILLE, NC 28808 PHONE: 828-225-6562
 2. EXISTING UTILITIES THAT ARE TO REMAIN MUST BE PROTECTED AND REMAIN IN SERVICE DURING CONSTRUCTION.
 3. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT DEPICTED ON PLANS OR MARKED IN THE FIELD. CONTRACTOR SHOULD COORDINATE WITH OWNER AND FIELD LOCATE ALL UNDERGROUND UTILITIES.
 4. NOTE THAT TREES 12" AND LARGER HAVE BEEN LOCATED AND ARE SHOWN ON THE PLANS. ALL VEGETATION IN DISTURBED AREAS SHALL BE REMOVED. ALL VEGETATION IN AREAS TO BE PRESERVED SHALL BE PROTECTED.
 5. CONTRACTOR SHALL COORDINATE UTILITY REMOVAL WITH OWNER. SOME UTILITIES TO BE REMOVED/DEMOLISHED MAY NEED TO REMAIN FOR EROSION CONTROL MEASURES UNTIL A LATER DATE. CONTRACTOR SHALL COORDINATE DEMOLITION PLAN WITH ALL OTHER PLANS IN ORDER TO ESTABLISH A TIMELINE TO REMOVE/DEMOLISHING EXISTING UTILITIES.
 6. THE GENERAL STUDIES AND ARTS AND SCIENCES BUILDINGS SHALL REMAIN IN OPERATION DURING THE RENOVATION & EXPANSION OF THE PATTON BUILDING. UTILITY SERVICE FOR GENERAL STUDIES AND ARTS & SCIENCE BUILDINGS MUST BE MAINTAINED FOLLOWING COMPLETION. BOTH BUILDINGS WILL BE DEMOLISHED AND THE SITE GRADED FOR THE CAMPUS LAWN. THE CAMPUS LAWN AREA WILL BE SEEDED AND STABILIZED.
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 12. EXISTING LIGHTS TO REMAIN SHALL REMAIN OPERATIONAL DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH OWNER.
 13. COMMUNICATION LINES MUST BE KEPT IN SERVICE AT ALL TIMES.
 14. CONTRACTOR SHALL FLAG ALL 12" AND LARGER TREES THAT ARE TO BE REMOVED.
 15. EXISTING EGRESS FROM ARTS AND SCIENCE & GENERAL STUDIES BUILDINGS SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL DEMOLITION OF THE BUILDINGS.

CONSULTANT

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 724 5th Avenue West
 Hendersonville, North Carolina 28739
 (828) 697-7177
 wglc.com

SEALS

SUBMITAL
 10/19/2020
CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DESCRIPTION

KEY PLAN

SHEET

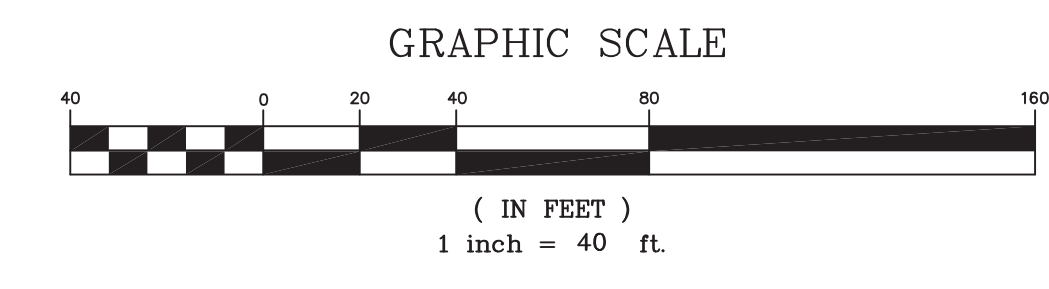
**PHASE 1
 EXISTING CONDITIONS
 AND DEMOLITION PLAN**

C-100


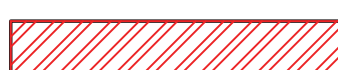





Know what's below.
Call before you dig.

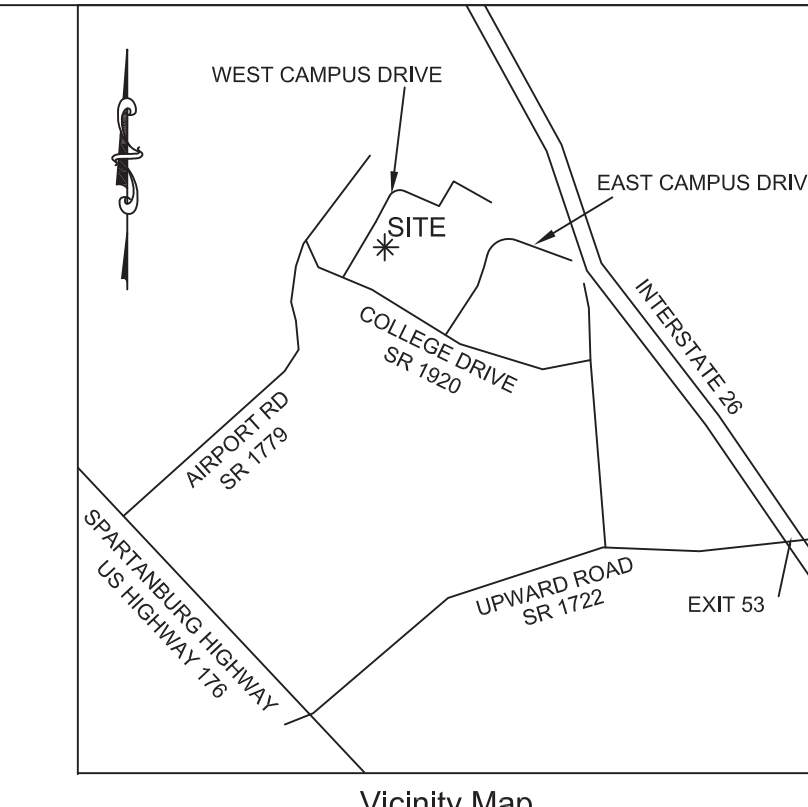
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 DRAWING: KHC
 REVIEW: WRB

CN 5199-L


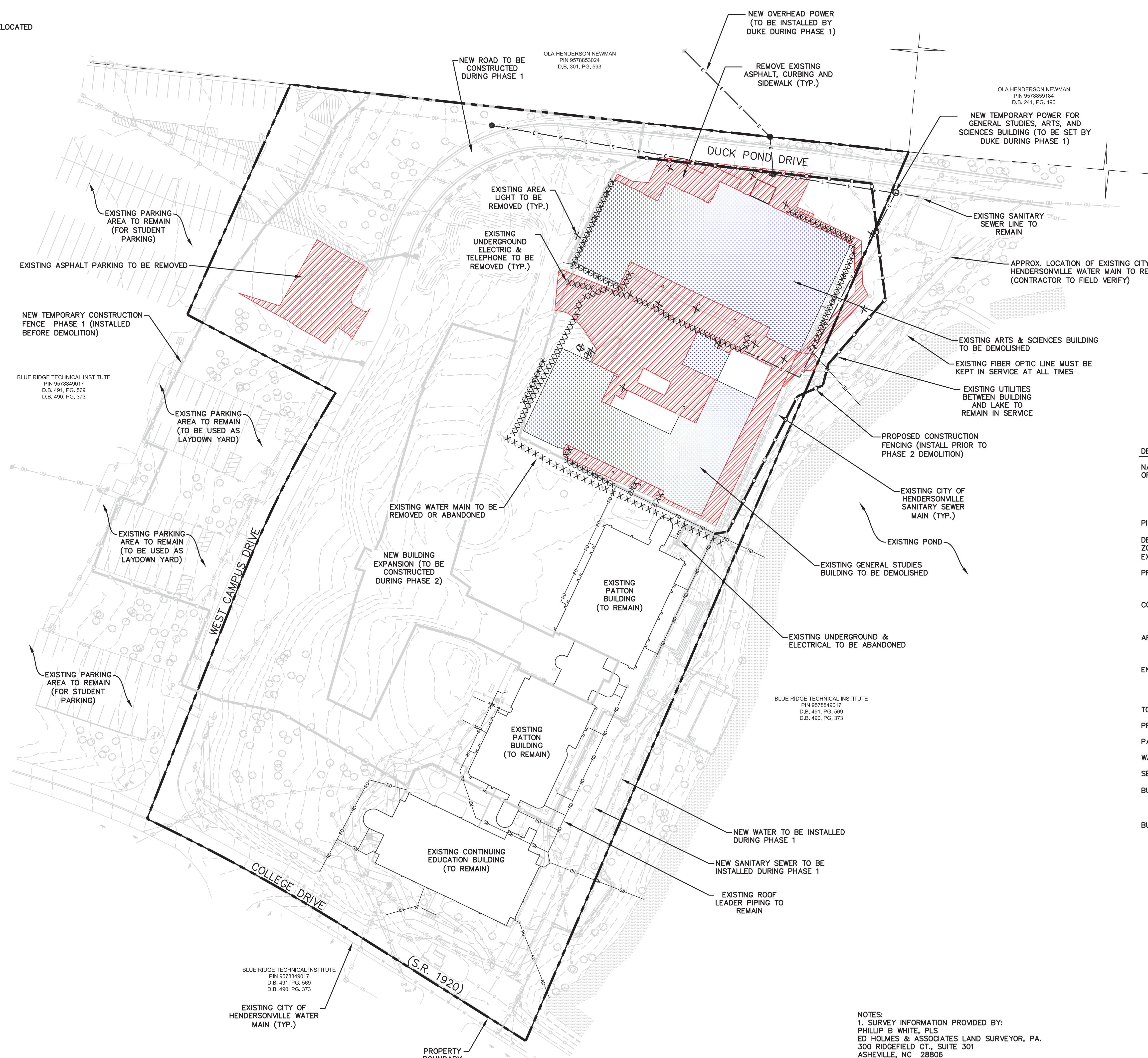


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-  EXISTING TREE TO BE REMOVED (PHASE 2)
-  PROPOSED CONSTRUCTION FENCE (PHASE 1)
-  PROPOSED CONSTRUCTION FENCE (PHASE 2)



HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28751

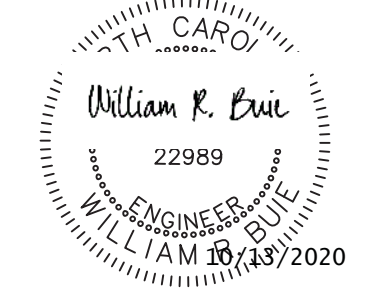



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 wcla.com

SEALS

 WILLIAM R. BUIE
 ENGINEER
 22989
 WILLIAM BUIE 08/2020

SUBMITTAL
 10/19/2020
CONSTRUCTION DOCUMENTS

REVISIONS

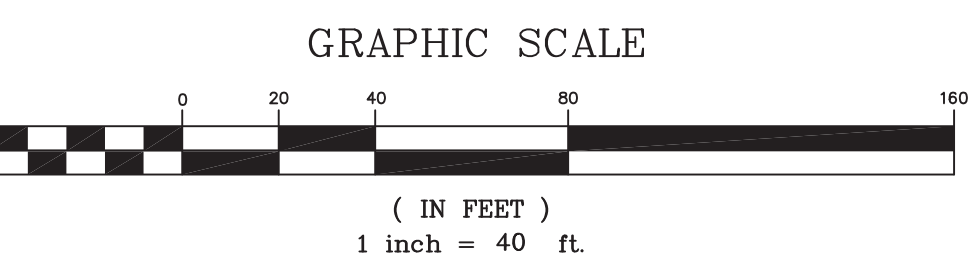
NO.	DESCRIPTION

KEY PLAN

SHEET
PHASE 2 EXISTING CONDITIONS AND DEMOLITION PLAN

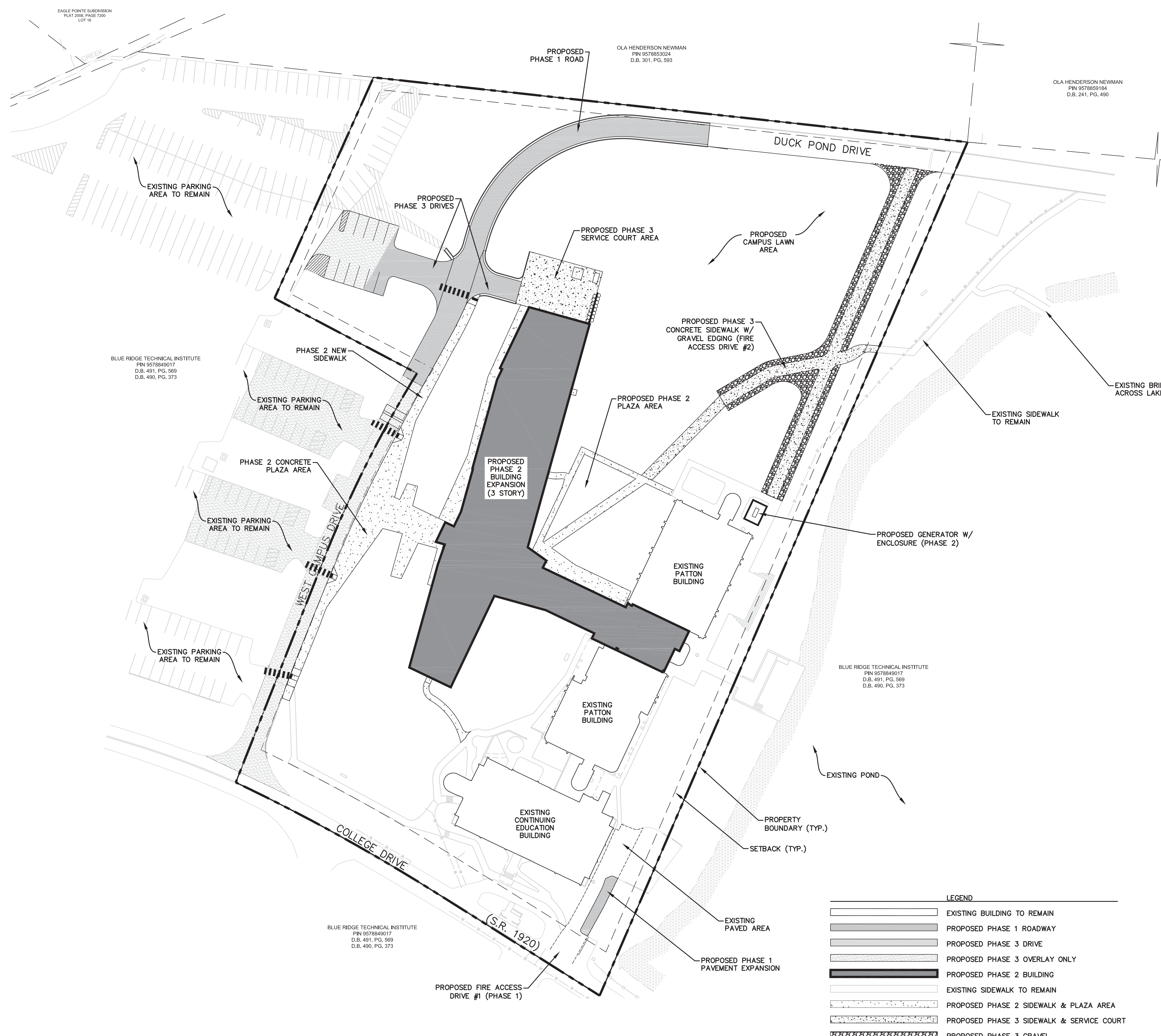
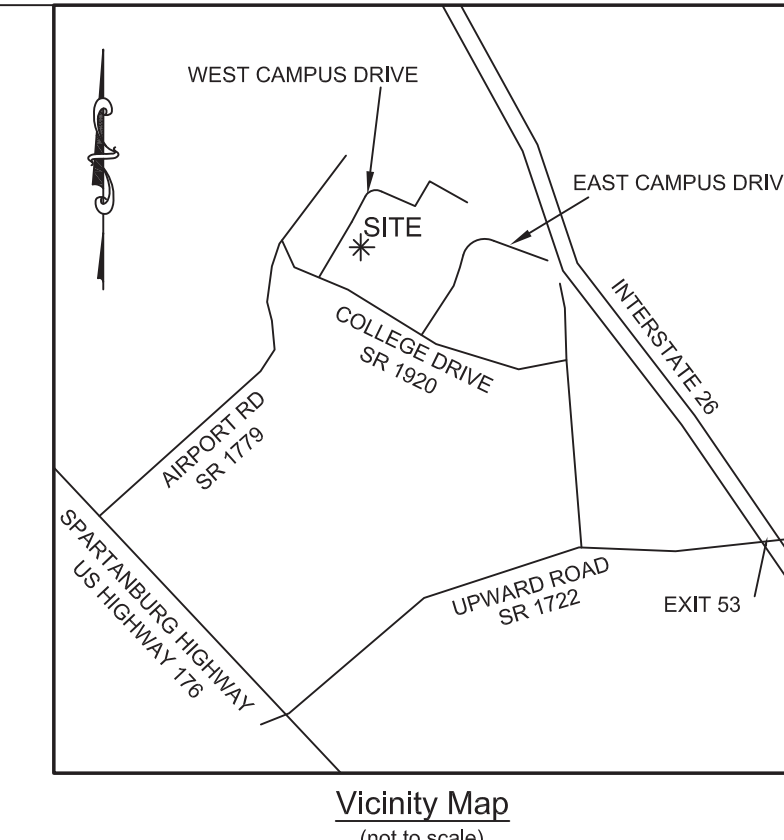
C-101

DESIGN: TWT
 DRAWN: KHC
 REVIEW: WRB
 CN 5199-L



- NOTES:
1. SURVEY INFORMATION PROVIDED BY: PHILLIP B WHITE, PLS ED HOLMES & ASSOCIATES LAND SURVEYOR, PA. 300 RIDGEFIELD CT., SUITE 301 ASHEVILLE, NC 28806 PHONE: 828-225-6582
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 13. NEW MEANS INSTALLED BY THE CONTRACTOR AS PART OF THIS PROJECT IN A PVIOUS PHASE OF CONSTRUCTION.



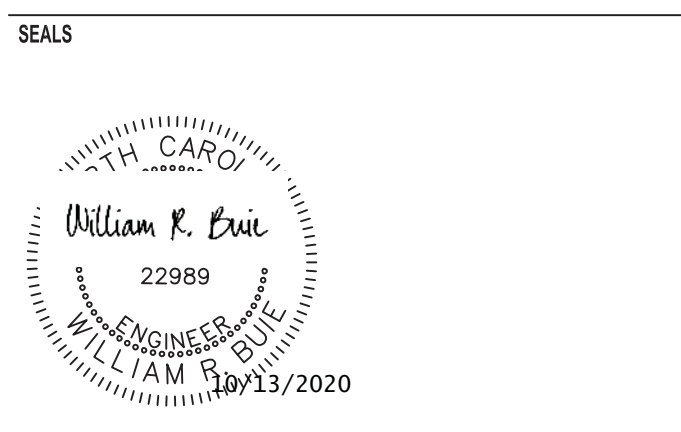


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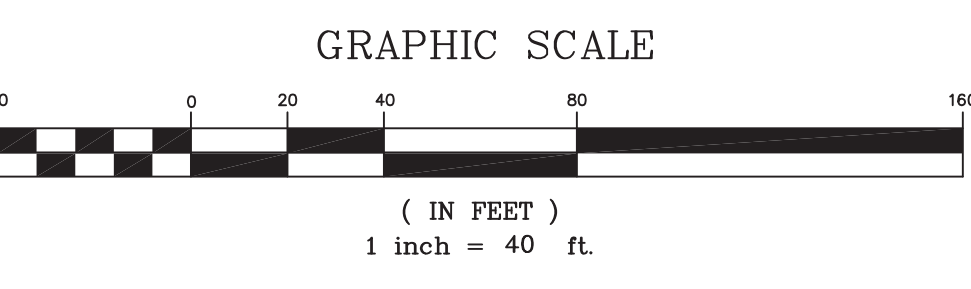
REVISIONS

KEY PLAN

SHEET
**PHASE 1, 2 & 3
 SITE PLAN**

C-200

DESIGN: TWT
 DRAWING: KHC
 REVIEW: WRB
 CN 5199-L



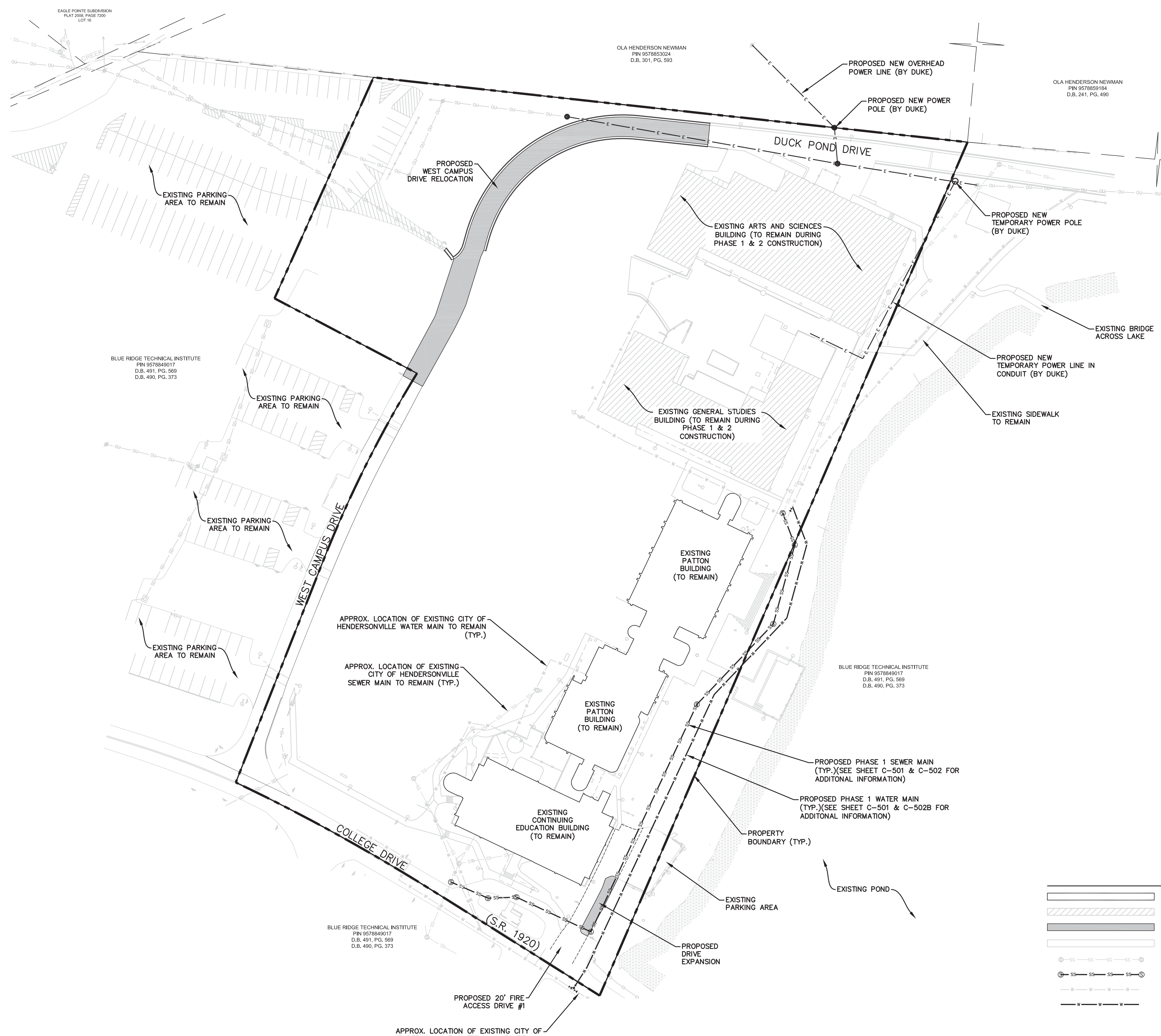
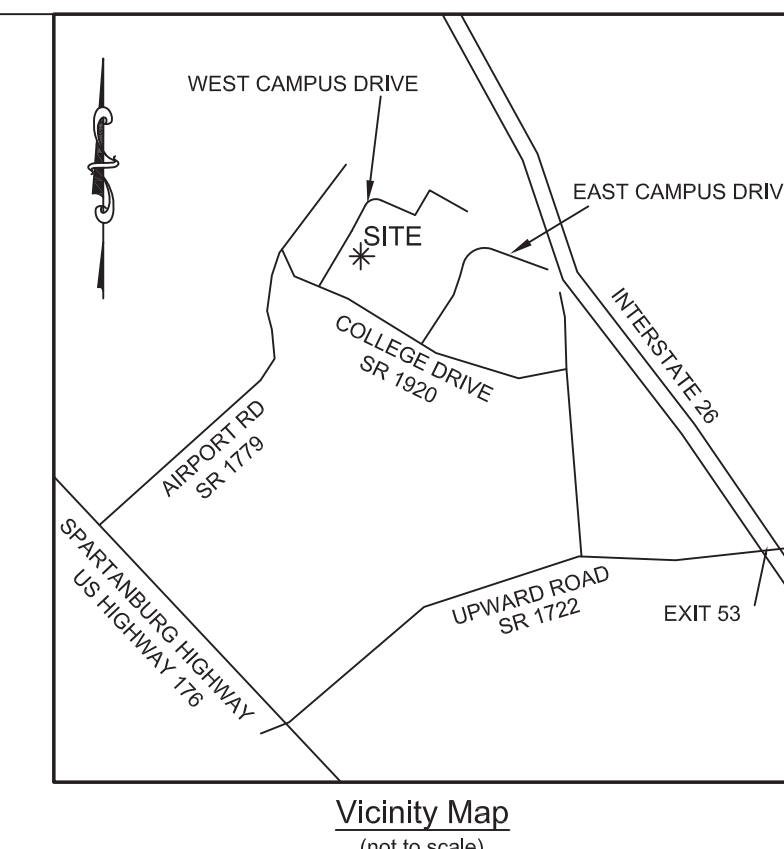
LEGEND

[Symbol]	EXISTING BUILDING TO REMAIN
[Symbol]	PROPOSED PHASE 1 ROADWAY
[Symbol]	PROPOSED PHASE 3 DRIVE
[Symbol]	PROPOSED PHASE 3 OVERLAY ONLY
[Symbol]	PROPOSED PHASE 2 BUILDING
[Symbol]	EXISTING SIDEWALK TO REMAIN
[Symbol]	PROPOSED PHASE 2 SIDEWALK & PLAZA AREA
[Symbol]	PROPOSED PHASE 3 SIDEWALK & SERVICE COURT
[Symbol]	PROPOSED PHASE 3 GRAVEL

NOTES:
 1. SURVEY INFORMATION PROVIDED BY:
 PHILLIP B WHITE, PLS
 ED HOLMES & ASSOCIATES LAND SURVEYOR, PA.
 300 RIDGEFIELD CT., SUITE 301
 ASHEVILLE, NC 28806
 PHONE: 828-225-6562
 2. ADDITIONAL AREAS SHALL RECEIVE OVERLAY IN PHASE 3
 THAT ARE NOT DEPICTED ON THIS SHEET FOR CLARITY. SEE
 C-700 SHEET SET FOR ADDITIONAL PAVING INFORMATION.

All exterior lighting shall meet the requirements of the most recent version of the Henderson County Land Development Code.



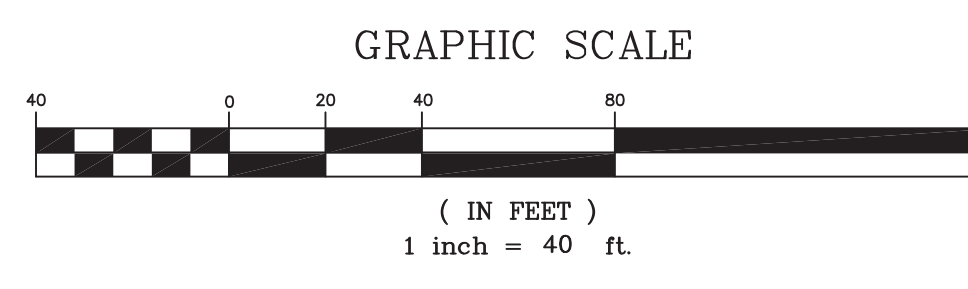


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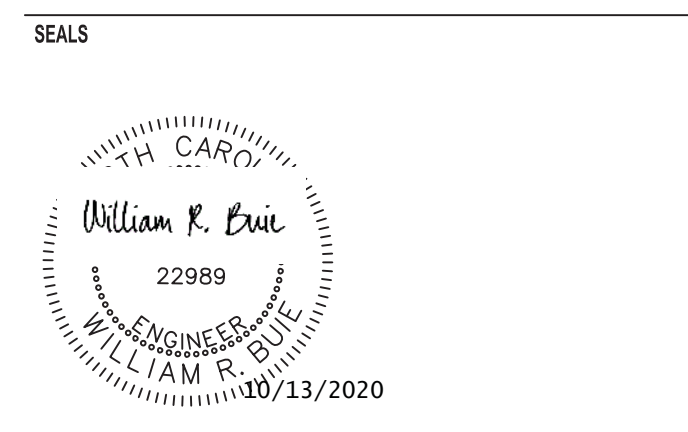
[Solid Line]	EXISTING BUILDING TO REMAIN
[Hatched Area]	EXISTING BUILDING TO BE DEMOLISHED AT A LATER DATE
[Thick Solid Line]	PROPOSED PHASE 1 ROADWAY
[Thin Solid Line]	EXISTING SIDEWALK TO REMAIN
[Dashed Line]	EXISTING CITY OF HENDERSONVILLE SANITARY SEWER TO REMAIN DURING PHASE 1
[Dotted Line]	PROPOSED PHASE 1 SANITARY SEWER MAIN
[Dash-dot Line]	EXISTING CITY OF HENDERSONVILLE WATER TO REMAIN DURING PHASE 1
[Dashed-dot Line]	PROPOSED PHASE 1 WATER MAIN



NOTES:
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REVISIONS

KEY PLAN

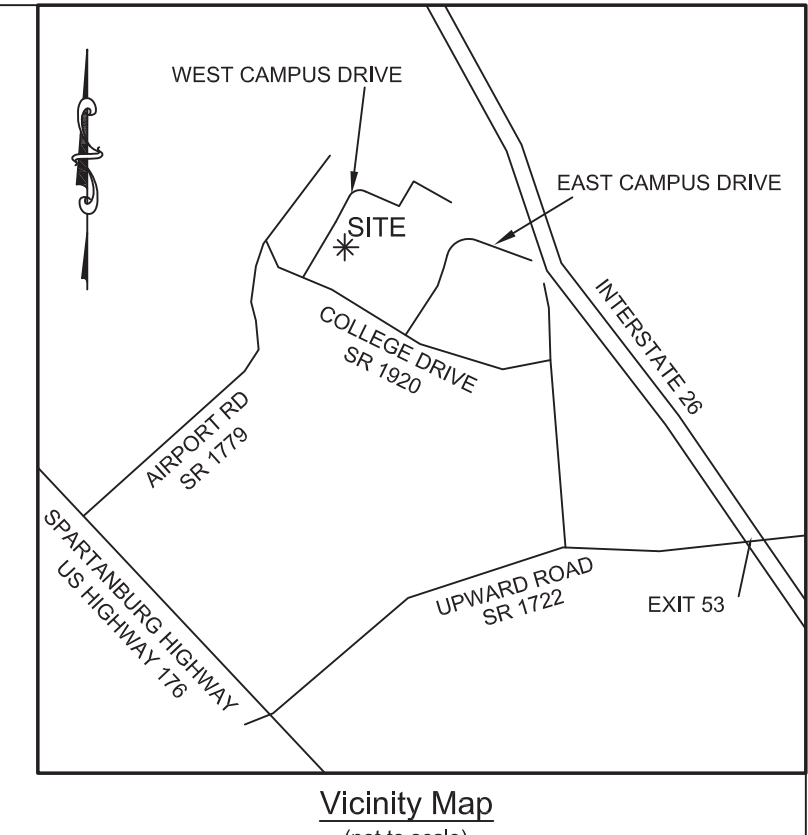
SHEET
**PHASE 1
 SITE PLAN**

C-201



DESIGN: TWT
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 REVIEW: WRB
 CN 5199-L

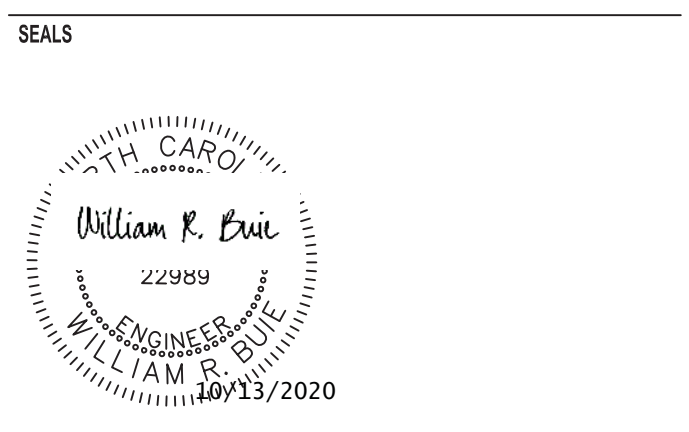
HENDERSON COUNTY, NORTH CAROLINA
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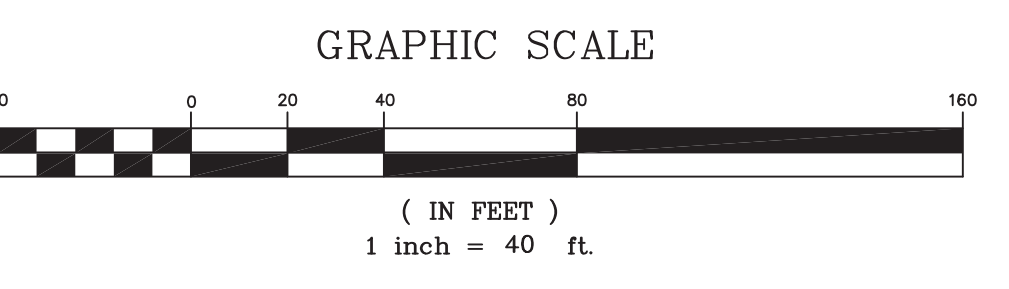
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[Symbol]	PROPOSED PHASE 2 BUILDING
[Symbol]	EXISTING SIDEWALK TO REMAIN
[Symbol]	PROPOSED PHASE 2 SIDEWALK & PLAZA AREA
[Symbol]	PROPOSED PHASE 2 LAWN AREA
[Symbol]	EXISTING CITY OF HENDERSONVILLE SANITARY SEWER TO REMIAN DURING PHASE 2
[Symbol]	PROPOSED PHASE 1 SANITARY SEWER MAIN
[Symbol]	PROPOSED PHASE 2 SANITARY SEWER SERVICE
[Symbol]	EXISTING CITY OF HENDERSONVILLE WATER TO REMIAN DURING PHASE 2
[Symbol]	PROPOSED PHASE 1 WATER MAIN
[Symbol]	PROPOSED PHASE 2 WATER SERVICE

NOTES:
 1. SURVEY INFORMATION PROVIDED BY:
 PHILLIP B WHITE, PLS
 ED HOLMES & ASSOCIATES LAND SURVEYOR, PA.
 300 RIDGEFIELD CT., SUITE 301
 ASHEVILLE, NC 28806
 PHONE: 828-225-6562



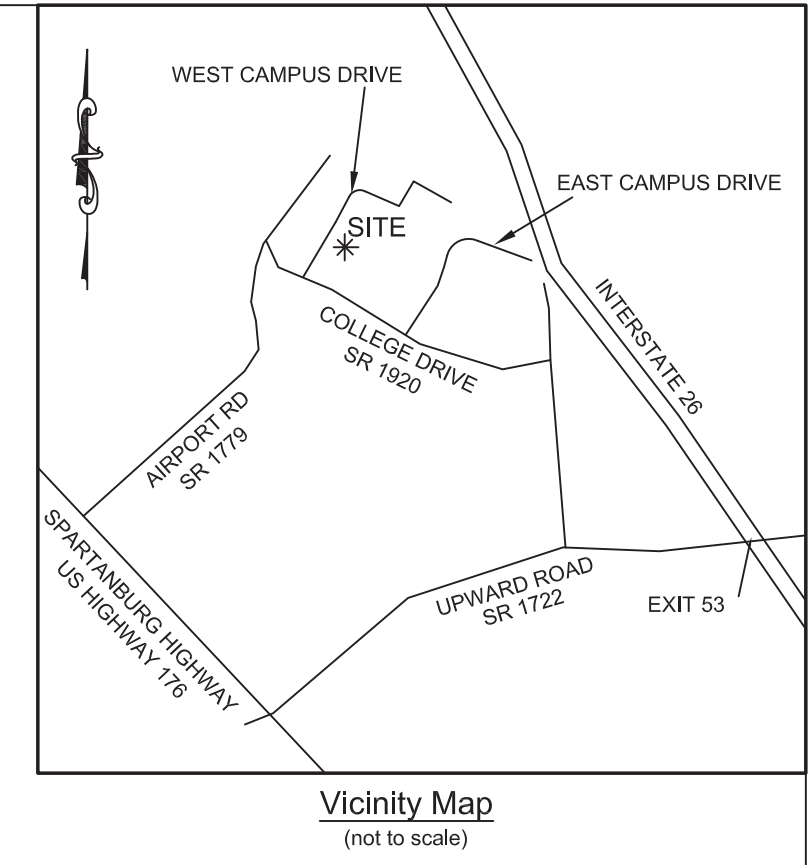
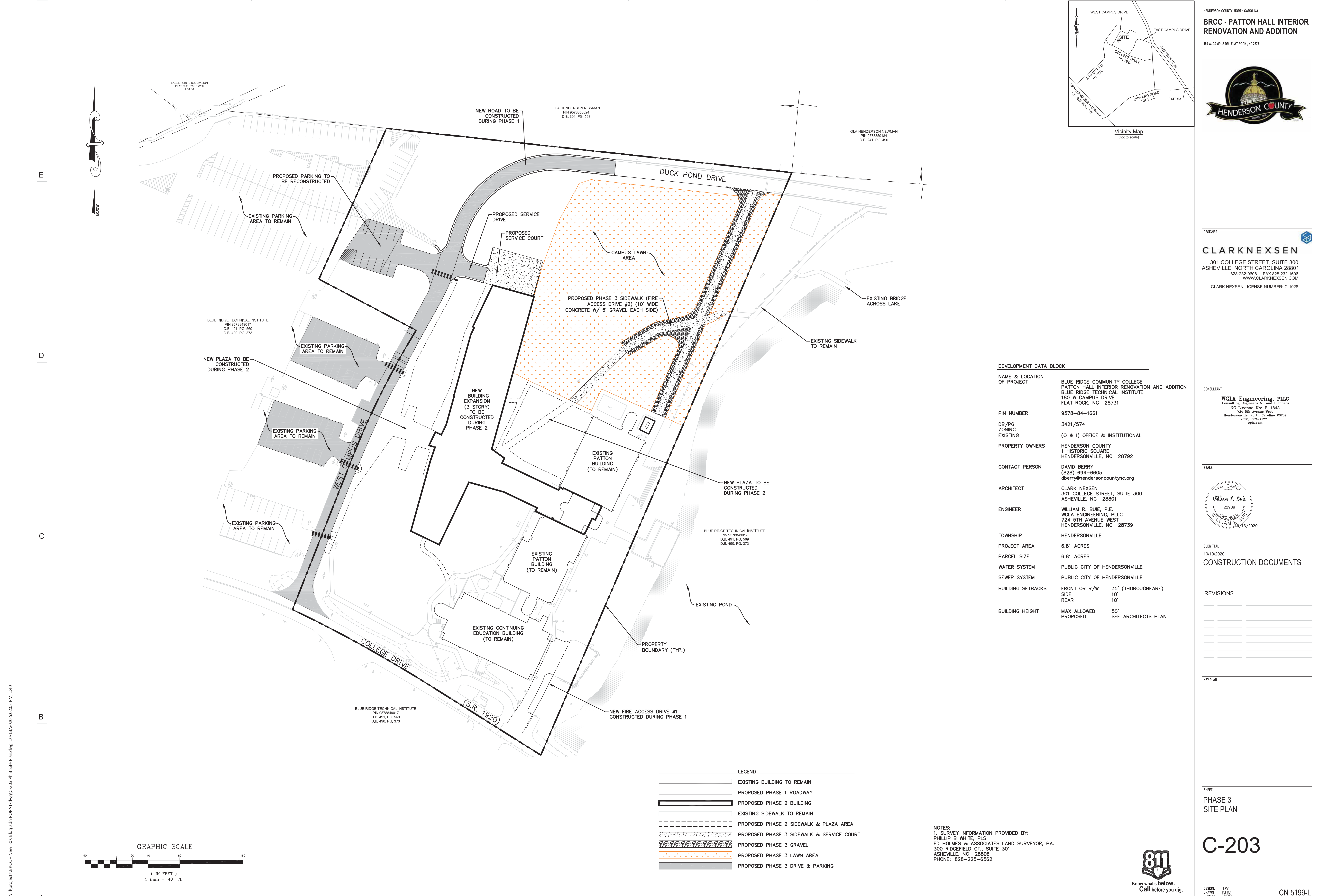
KEY PLAN

SHEET
PHASE 2 SITE PLAN

C-202



DESIGN: TWT
 DRAWN: KHC
 REVIEW: WRB
 CN 5199-L



HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28751

DESIGNER
CLARK Nexsen
 301 COLLEGE STREET, SUITE 300
 ASHEVILLE, NORTH CAROLINA 28801
 828-232-0605 FAX 828-232-1606
 WWW.CLARKNEXSEN.COM
 CLARK NEXSEN LICENSE NUMBER: C-1028

DEVELOPMENT DATA BLOCK	
NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING EXISTING	3421/574 (O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUIE, P.E. WCLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W 35' (THOROUGHFARE) SIDE 10' REAR 10'
BUILDING HEIGHT	MAX ALLOWED PROPOSED 50' SEE ARCHITECTS PLAN

CONSULTANT
WGLA Engineering, PLLC
 Consulting Engineers & Land Planners
 724 5th Avenue West
 Hendersonville, North Carolina 28739
 (828) 687-7177
 wglacorp.com

SEALS

SUBMITAL
 10/19/2020
CONSTRUCTION DOCUMENTS

REVISIONS

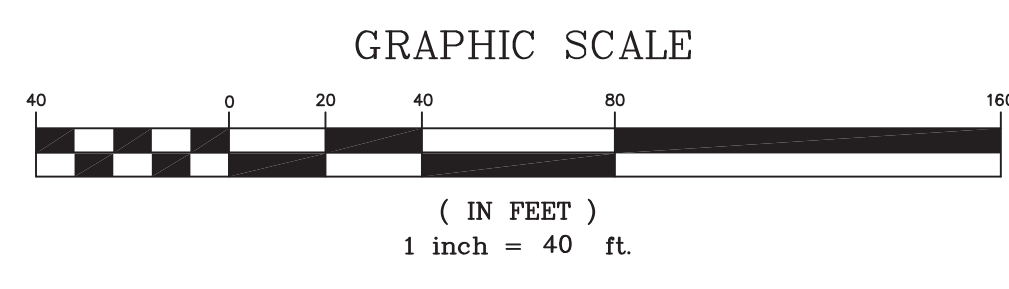
KEY PLAN

SHEET
PHASE 3 SITE PLAN

C-203

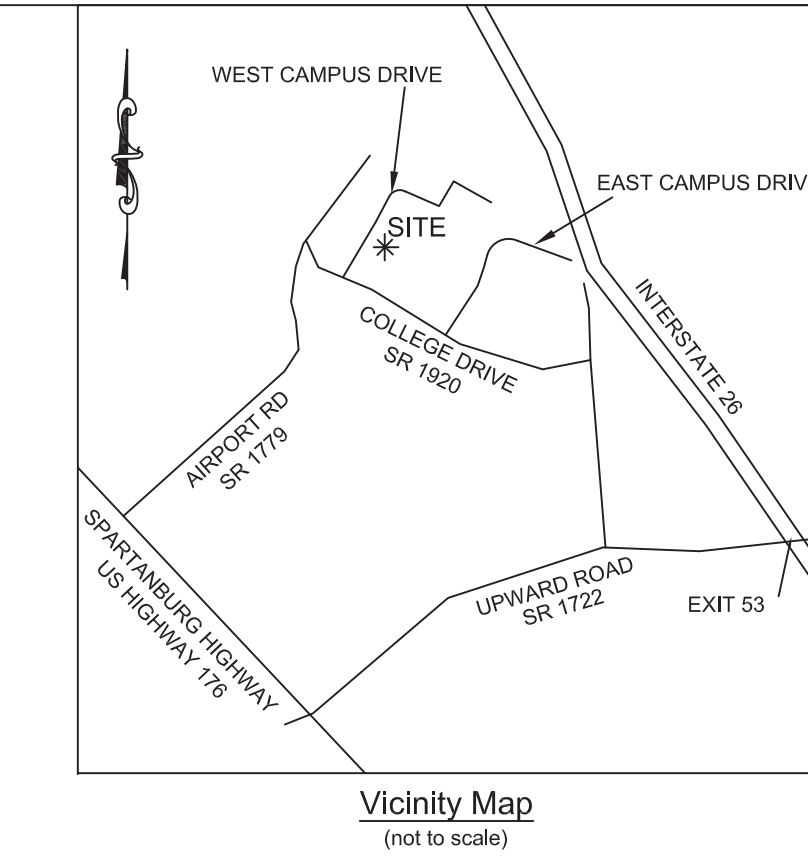
DESIGN: TWT
 DRAWING: KHC
 REVIEW: WRB
 CN 5199-L

NOTES:
 1. SURVEY INFORMATION PROVIDED BY:
 PHILLIP B WHITE, PLS
 ED HOLMES & ASSOCIATES LAND SURVEYOR, PA.
 300 RIDGEFIELD CT., SUITE 301
 ASHEVILLE, NC 28806
 PHONE: 828-225-6562

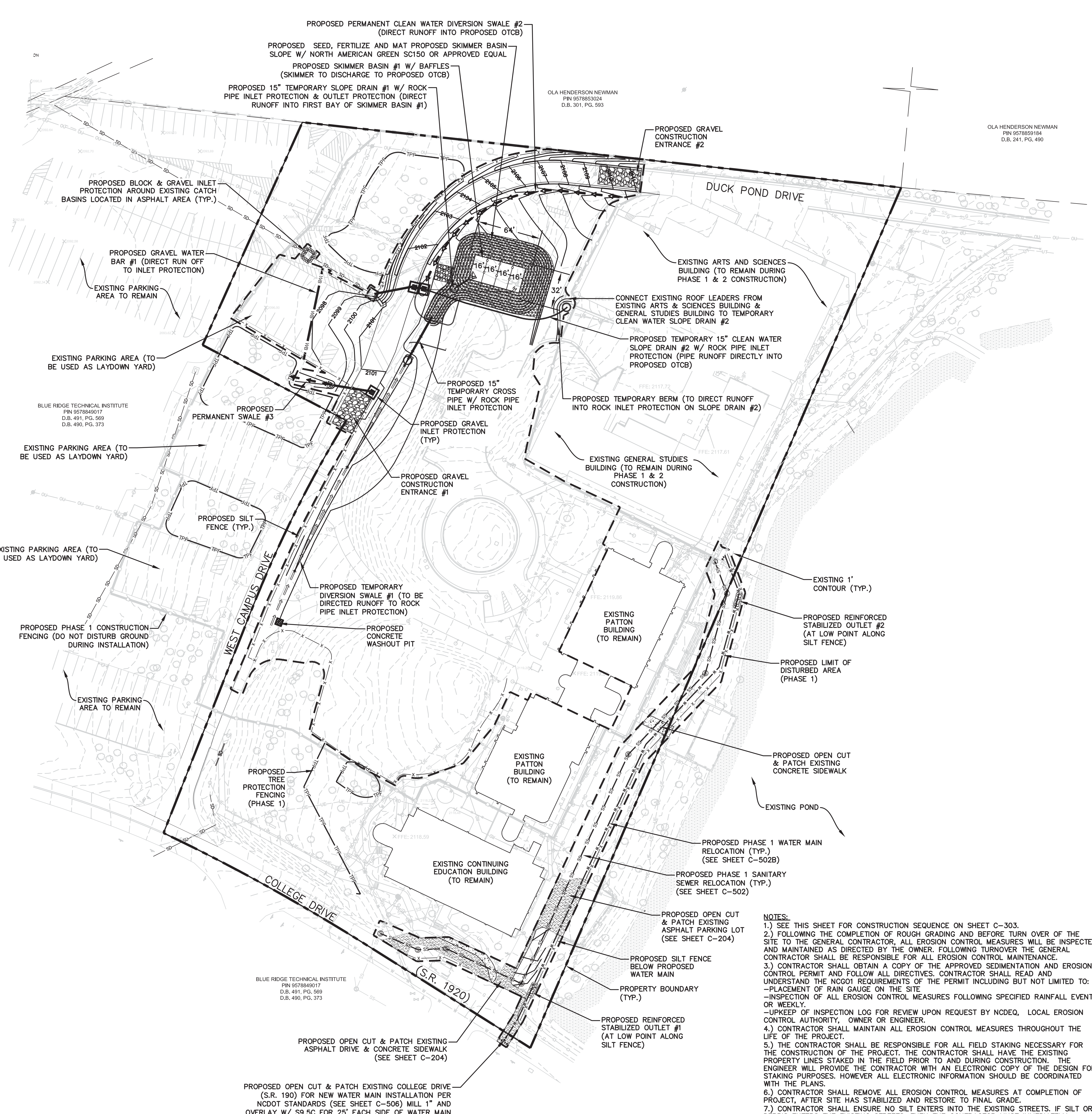


LEGEND

(White box)	EXISTING BUILDING TO REMAIN
(Thin grey line)	PROPOSED PHASE 1 ROADWAY
(Thick black line)	PROPOSED PHASE 2 BUILDING
(Thin white line)	EXISTING SIDEWALK TO REMAIN
(Dashed white line)	PROPOSED PHASE 2 SIDEWALK & PLAZA AREA
(Dotted orange pattern)	PROPOSED PHASE 3 SIDEWALK & SERVICE COURT
(Cross-hatched pattern)	PROPOSED PHASE 3 GRAVEL
(Dotted orange pattern)	PROPOSED PHASE 3 LAWN AREA
(Grey fill)	PROPOSED PHASE 3 DRIVE & PARKING



HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28731

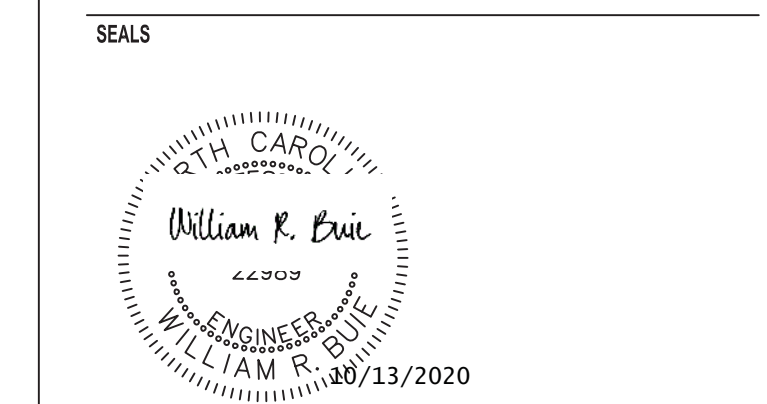


DEVELOPMENT DATA BLOCK

NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING EXISTING	3421/574 (O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUJE, P.E. WCLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W 35' (THOROUGHFARE) SIDE 10' REAR 10'
BUILDING HEIGHT	MAX ALLOWED 50' PROPOSED SEE ARCHITECTS PLAN

DESIGNER
CLARK NEXSEN
 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NORTH CAROLINA 28801
 828-232-0605 FAX 828-232-1606
 WWW.CLARKNEXSEN.COM
 CLARK NEXSEN LICENSE NUMBER: C-1028

CONSULTANT
WCLA Engineering, PLLC
 Consulting Engineers & Land Planners
 NC License No. P-1342
 724 5th Avenue West
 Hendersonville, North Carolina 28739
 (608) 897-7177
 wcla.com



SUBMITTAL
 10/19/2020
CONSTRUCTION DOCUMENTS

REVISIONS

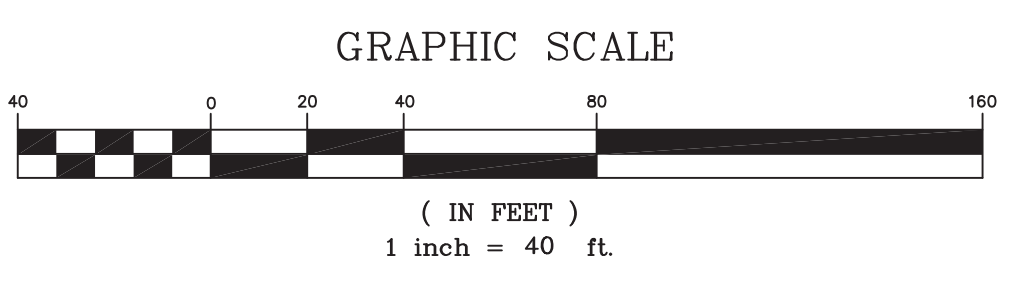
LEGEND

	EXISTING 1' CONTOUR
	PROPOSED 1' CONTOUR (PHASE 1)
	PROPOSED LIMIT OF DISTURBANCE (PHASE 1)
	PROPOSED GRAVEL CONSTRUCTION ENTRANCE
	PROPOSED GRAVEL INLET PROTECTION
	PROPOSED BLOCK & GRAVEL INLET PROTECTION
	PROPOSED SILT FENCE
	EXISTING STORM DRAINAGE (TO REMAIN)
	PROPOSED STORM DRAINAGE (SEE SHEET C-400 FOR ADDITIONAL INFORMATION)
	PROPOSED SANITARY SEWER
	PROPOSED BAFFLE
	PROPOSED OUTLET PROTECTION
	PROPOSED ROCK PIPE INLET PROTECTION
	PROPOSED PERMANENT CLEAN WATER DIVERSION SWALE
	PROPOSED PERMANENT DIVERSION SWALE
	PROPOSED TEMPORARY DIVERSION SWALE
	PROPOSED GRAVEL WATER BAR
	PROPOSED SKIMMER
	PROPOSED SLOPE DRAIN WITH OUTLET PROTECTION
	PROPOSED CONSTRUCTION FENCE
	PROPOSED CONCRETE WASHOUT PIT
	PROPOSED ASPHALT OPEN CUT & PATCH
	PROPOSED CONCRETE OPEN CUT & PATCH
	PROPOSED TREE PROTECTION FENCING
	PROPOSED SLOPE MATTING

NOTES:
 1.) SEE THIS SHEET FOR CONSTRUCTION SEQUENCE ON SHEET C-303.
 2.) FOLLOWING THE COMPLETION OF ROUGH GRADING AND BEFORE TURN OVER OF THE SITE TO THE GENERAL CONTRACTOR, ALL EROSION CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED AS DIRECTED BY THE OWNER. FOLLOWING TURNOVER THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE.
 3.) CONTRACTOR SHALL OBTAIN A COPY OF THE APPROVED SEDIMENTATION AND EROSION CONTROL PERMIT AND FOLLOW ALL DIRECTIVES. CONTRACTOR SHALL READ AND UNDERSTAND THE NCGO1 REQUIREMENTS OF THE PERMIT INCLUDING BUT NOT LIMITED TO: -PLACEMENT OF RAIN GAUGE ON THE SITE. -INSPECTION OF ALL EROSION CONTROL MEASURES FOLLOWING SPECIFIED RAINFALL EVENTS OR WEEKLY. -UPKEEP OF INSPECTION LOG FOR REVIEW UPON REQUEST BY NCEQ, LOCAL EROSION CONTROL AUTHORITY, OWNER OR ENGINEER.
 4.) CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT THE LIFE OF THE PROJECT.
 5.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD STAKING NECESSARY FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL HAVE THE EXISTING PROPERTY LINES STAKED IN THE FIELD PRIOR TO AND DURING CONSTRUCTION. THE ENGINEER WILL PROVIDE THE CONTRACTOR WITH AN ELECTRONIC COPY OF THE DESIGN FOR STAKING PURPOSES. HOWEVER ALL ELECTRONIC INFORMATION SHOULD BE COORDINATED WITH THE PLANS.
 6.) CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AT COMPLETION OF PROJECT, AFTER SITE HAS STABILIZED AND RESTORE TO FINAL GRADE.
 7.) CONTRACTOR SHALL ENSURE NO SILT ENTERS INTO THE EXISTING STREETS. IF SILT OR DEBRIS ENTERS THE EXISTING STREETS, THEN THE CONTRACTOR MUST IMMEDIATELY REMOVE THE SILT OR DEBRIS AT THE CONTRACTORS EXPENSE.
 8.) SURVEY INFORMATION PROVIDED BY: ED HOLMES AND ASSOCIATES LAND SURVEYORS, P.A., 300 RIDGEFIELD COURT, SUITE 301, ASHEVILLE, NC 28806.
 10.) ALL STORM DRAINAGE INLETS SHALL HAVE INLET PROTECTION INSTALLED ON THEM.
 11.) BLUE RIDGE COMMUNITY COLLEGE WILL IDENTIFY THE TREES TO REMAIN AND THOSE THAT REQUIRE TO HAVE TREE PROTECTION.
 12.) NO CLEARING SHOULD OCCUR IN TREE PRESERVATION AREA EXCEPT AS NECESSARY FOR UTILITY INSTALLATION.

TOTAL PROJECT DISTURBED AREA
 4.41± ACRES

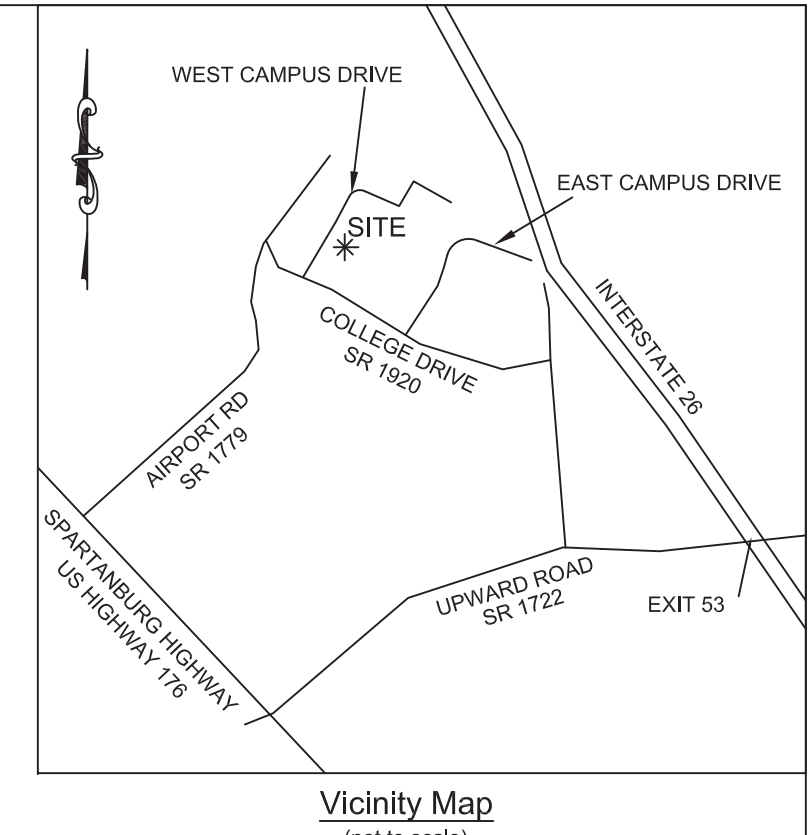
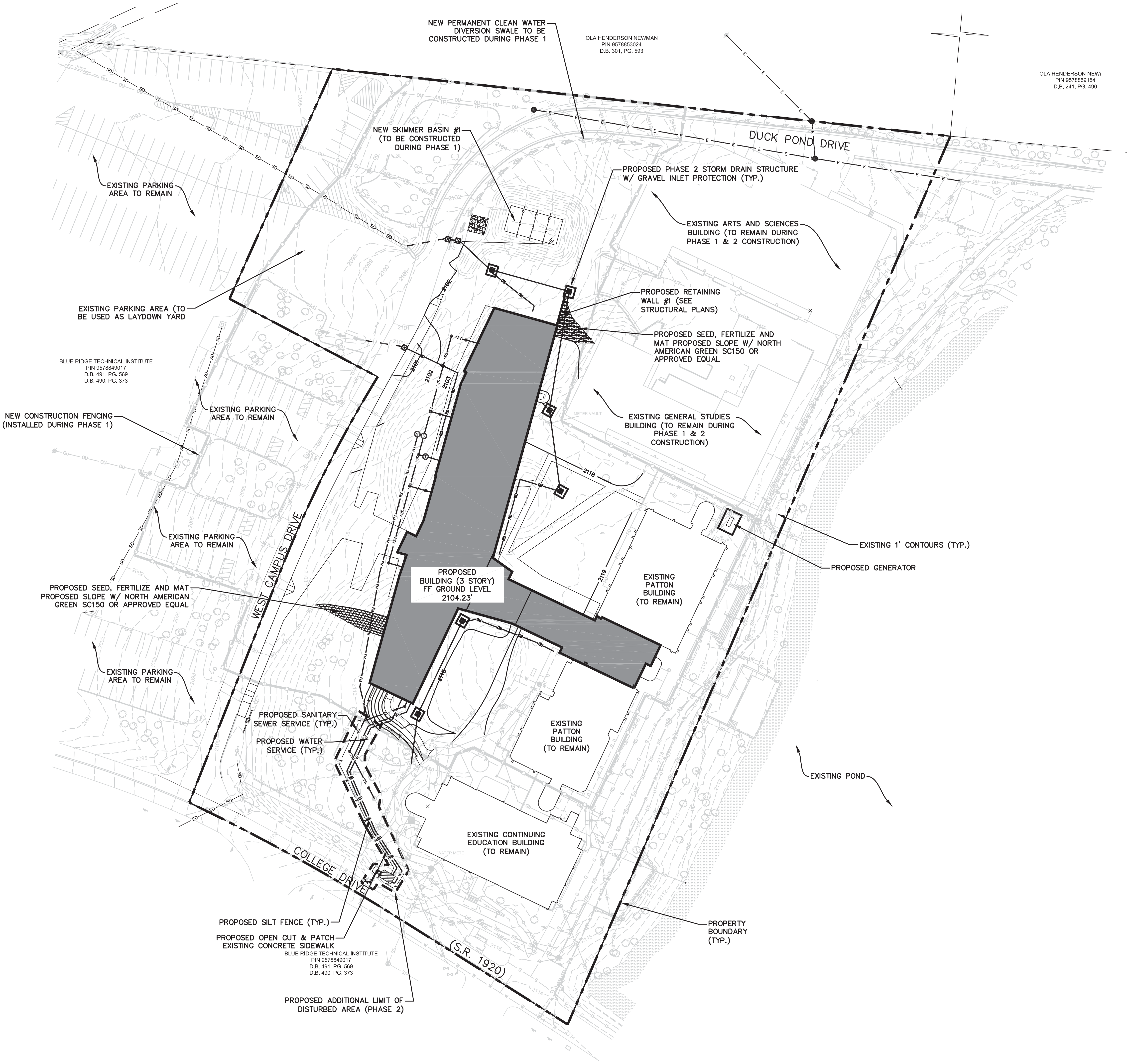
TOTAL PHASE 1 DISTURBED AREA
 2.87± ACRES



C-300

DESIGN: TWT
 DRAWING: KHC
 REVIEW: WRB

CN 5199-L

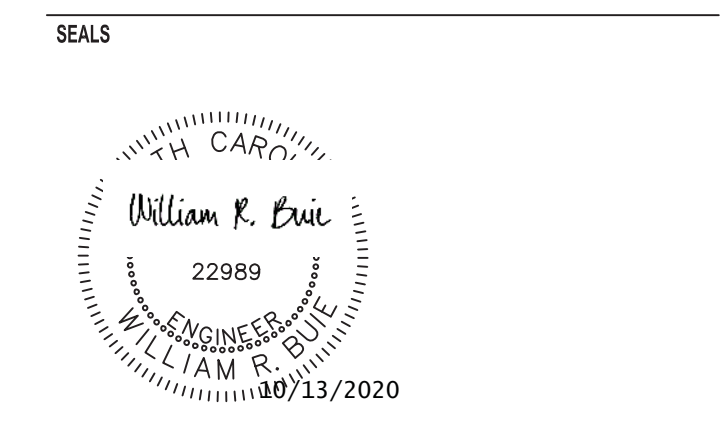


HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28731

DESIGNER
CLARK NEXSEN
 301 COLLEGE STREET, SUITE 300
 ASHEVILLE, NORTH CAROLINA 28801
 828-232-0608 FAX 828-232-1006
 WWW.CLARKNEXSEN.COM
 CLARK NEXSEN LICENSE NUMBER: C-1028

DEVELOPMENT DATA BLOCK	
NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING	3421/574
EXISTING	(O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUIE, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W 35' (THOROUGHFARE) SIDE 10' REAR 10'
BUILDING HEIGHT	MAX ALLOWED 50' PROPOSED SEE ARCHITECTS PLAN

CONSULTANT
WGLA Engineering, PLLC
 Consulting Engineers & Land Planners
 NC License No. P-1342
 724 5th Avenue West
 Hendersonville, North Carolina 28739
 (608) 697-7177
 wglac.com



SUBMITTAL
 10/19/2020
CONSTRUCTION DOCUMENTS

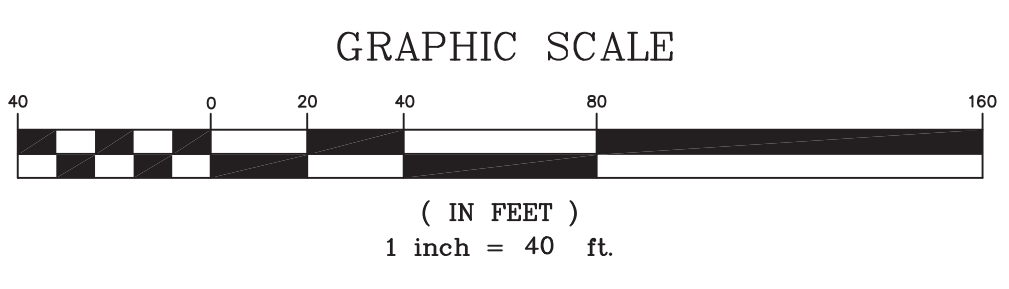
REVISIONS

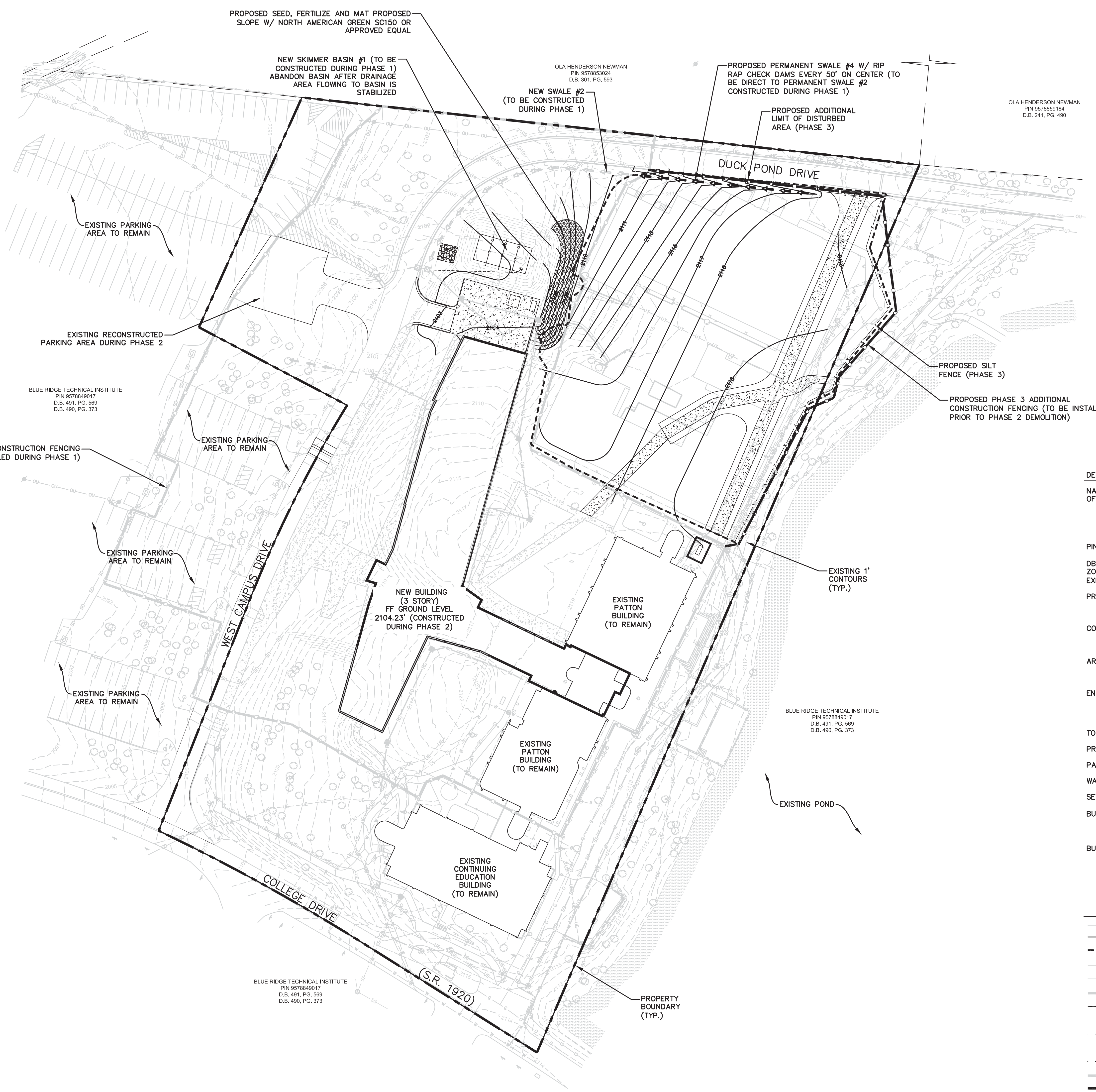
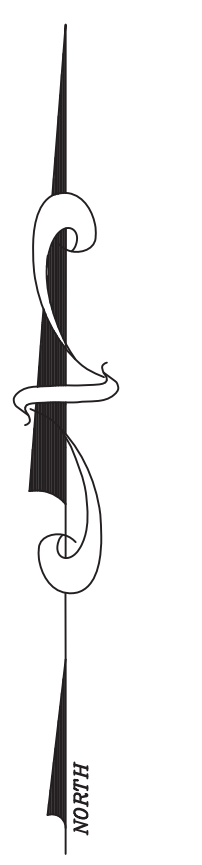
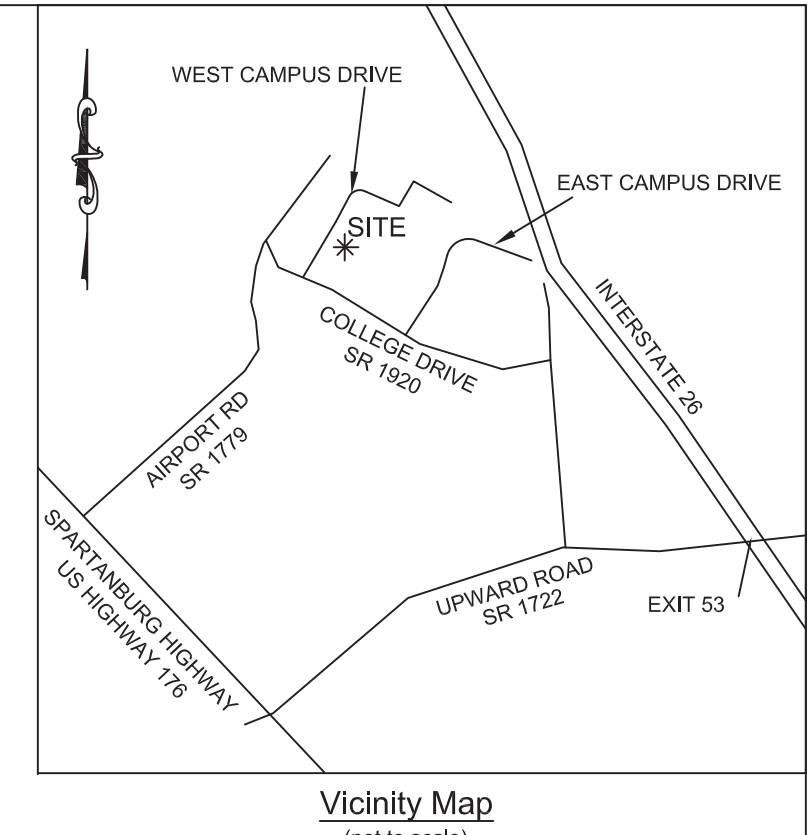
LEGEND

	EXISTING 1' CONTOUR
	PROPOSED 1' CONTOUR (PHASE 2)
	PROPOSED LIMIT OF ADDITIONAL DISTURBANCE (PHASE 2)
	PROPOSED SILT FENCE (PHASE 2)
	EXISTING STORM DRAINAGE (TO REMAIN)
	PROPOSED STORM DRAINAGE (PHASE 2)
	PROPOSED ROOF DRAINAGE (PHASE 2)
	PROPOSED BAFFLE (PHASE 1)
	PROPOSED GRAVEL INLET PROTECTION (PHASE 2)
	PROPOSED PERMANENT CLEAN WATER SWALE (PHASE 1)
	PROPOSED PERMANENT DIVERSION SWALE (PHASE 1)
	PROPOSED SKIMMER (PHASE 1)
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED WATER SERVICE
	PROPOSED CONSTRUCTION FENCE (PHASE 1)
	PROPOSED SEED, FERTILIZE AND MAT

NOTES:
 PHASE 1 EROSION CONTROL MEASURES TO REMAIN IN PLACE DURING PHASE 2 CONSTRUCTION.

TOTAL PHASE 2 ADDITIONAL DISTURBED AREA
 0.09± ACRES

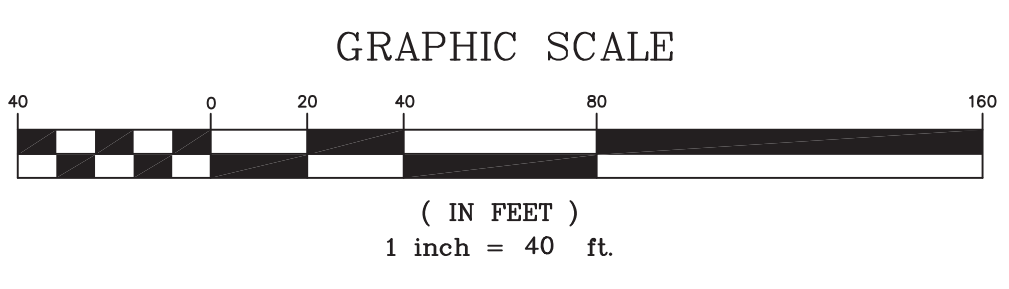




DEVELOPMENT DATA BLOCK	
NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING EXISTING	3421/574 (O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUJE, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W 35' (THOROUGHFARE) SIDE 10' REAR 10'
BUILDING HEIGHT	MAX ALLOWED PROPOSED 50' SEE ARCHITECTS PLAN

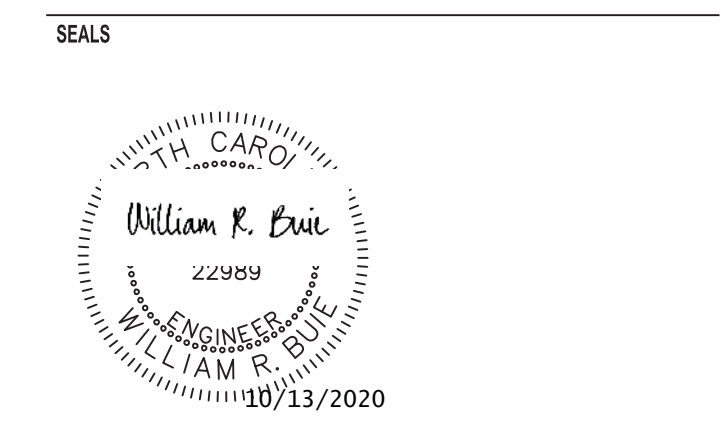
LEGEND	
	EXISTING 1' CONTOUR
	PROPOSED 1' CONTOUR (PHASE 3)
	PROPOSED LIMIT OF ADDITIONAL DISTURBANCE (PHASE 3)
	PROPOSED SILT FENCE (PHASE 3)
	EXISTING STORM DRAINAGE (TO REMAIN)
	NEW STORM DRAINAGE (PHASE 1 & PHASE 2)
	PROPOSED BAFFLE (PHASE 1)
	PROPOSED SKIMMER (PHASE 1)
	PERMANENT CLEAN WATER DIVERSION SWALE (PHASE 1)
	PERMANENT SWALE (PHASE 1)
	PERMANENT SWALE (PHASE 3)
	PROPOSED CONSTRUCTION FENCING (PHASE 1)
	PROPOSED CONSTRUCTION FENCING (PHASE 3)

TOTAL PHASE 3 ADDITIONAL DISTURBED AREA
1.45± ACRES



DESIGNER
CLARK NEXSEN
301 COLLEGE STREET, SUITE 300
ASHEVILLE, NORTH CAROLINA 28801
828-232-0605 FAX 828-232-1606
WWW.CLARKNEXSEN.COM
CLARK NEXSEN LICENSE NUMBER: C-1028

CONSULTANT
WGLA Engineering, PLLC
Consulting Engineers & Land Planners
NC License No: P-1342
724 5th Avenue West
Hendersonville, North Carolina 28739
(608) 697-7177
wgl.com



SUBMITTAL
10/19/2020
CONSTRUCTION DOCUMENTS

REVISIONS	

KEY PLAN

SHEET
PHASE 3
GRADING & EROSION CONTROL PLAN

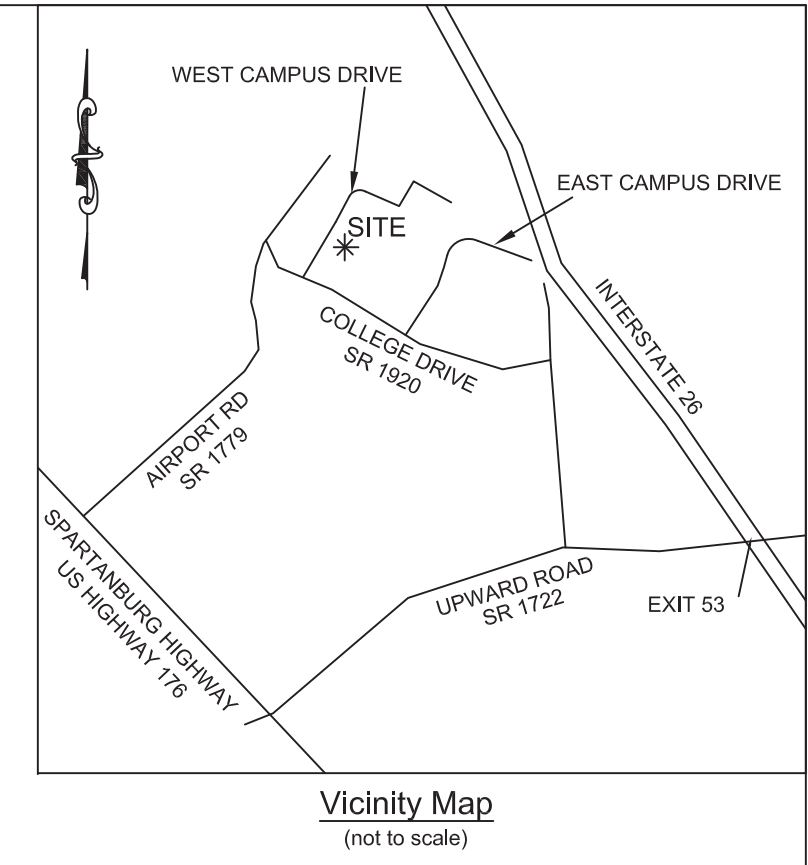
C-302



ABBREVIATION LEGEND

bfc	BOTTOM FACE OF CURB
bw	BOTTOM OF WALL
cb	CORNER OF BUILDING
cc	CORNER OF CONCRETE
eb	EDGE OF BUILDING
ec	EDGE OF CONCRETE
hp	HIGH POINT
lp	LOW POINT
s	SPOT
tw	TOP OF WALL

NOTE: TOP AND BOTTOM OF WALL SPOT ELEVATIONS ARE WHERE GRADE CONNECTS TO WALL. THIS DOES NOT ACCOUNT FOR EMBEDMENT OR ANY WALL ABOVE GRADE. SEE WALL PLANS FOR ADDITIONAL INFORMATION AND WALL DESIGN.



HENDERSON COUNTY, NORTH CAROLINA

BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION

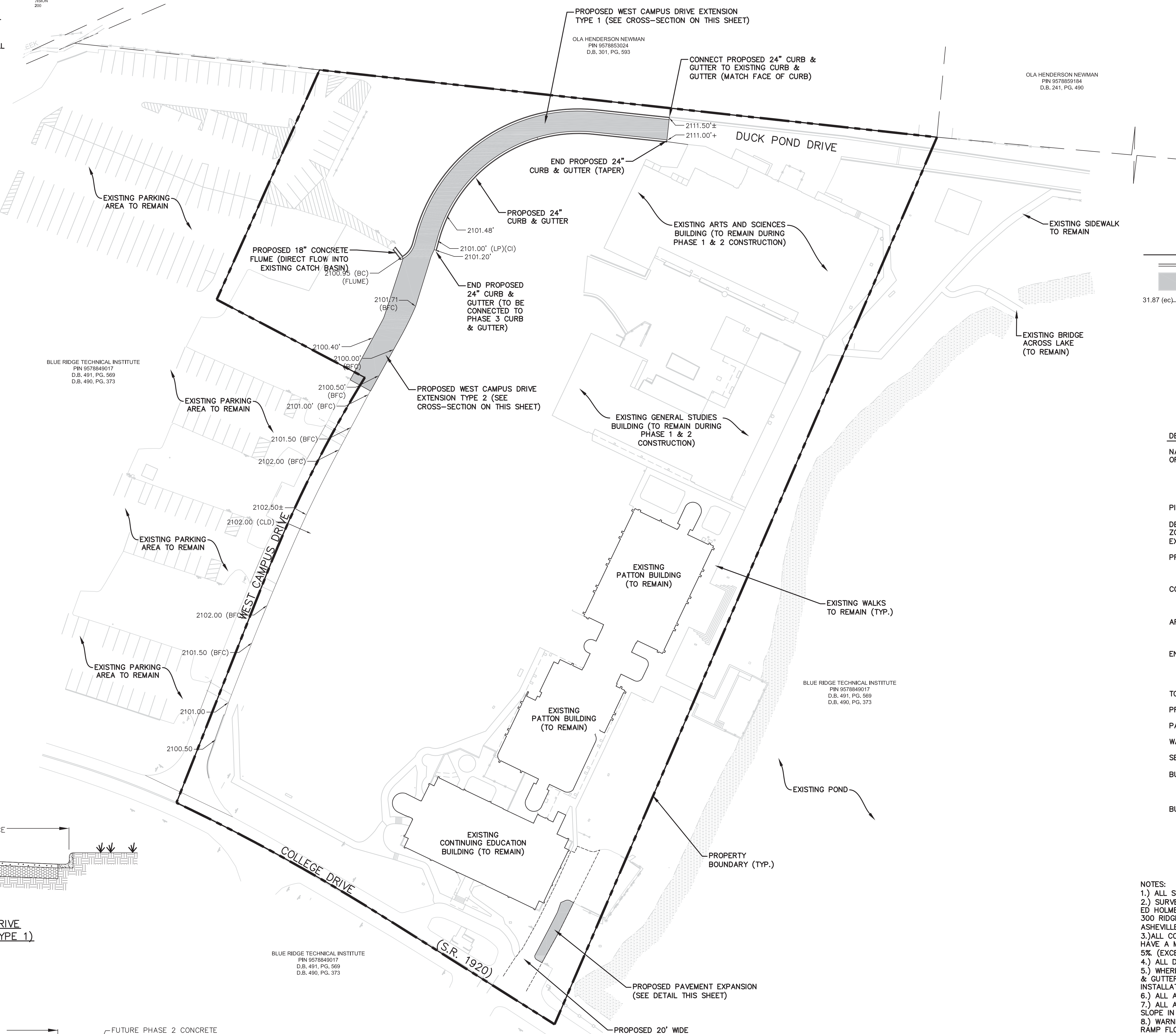
180 W. CAMPUS DR., FLAT ROCK, NC 28751

DESIGNER

CLARK NEXSEN

301 COLLEGE STREET, SUITE 300
ASHEVILLE, NORTH CAROLINA 28801
828-232-0608 FAX 828-232-1606
WWW.CLARKNEXSEN.COM

CLARK NEXSEN LICENSE NUMBER: C-1028



LEGEND

	PROPOSED 24" CURB & GUTTER
	PROPOSED STANDARD ASPHALT PAVEMENT
	PROPOSED SPOT ELEVATION

DEVELOPMENT DATA BLOCK

NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28751
PIN NUMBER	9578-84-1661
DB/PG ZONING	3421/574
EXISTING ZONING	(O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUIE, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W 35' (THOROUGHFARE) SIDE 10' REAR 10'
BUILDING HEIGHT	MAX ALLOWED 50' PROPOSED SEE ARCHITECTS PLAN

CONSULTANT

WGLA Engineering, PLLC
Consulting Engineers & Land Planners
NC License No. P-1342
724 5th Avenue West
Hendersonville, North Carolina 28739
(828) 697-7177
wglc.com

SEALS

SUBMITTAL
10/19/2020
CONSTRUCTION DOCUMENTS

REVISIONS

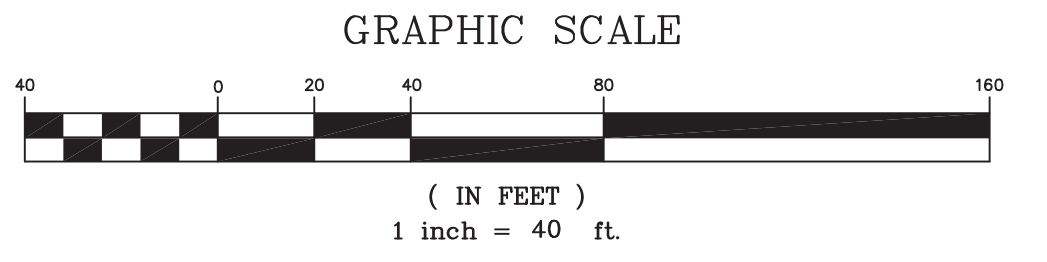
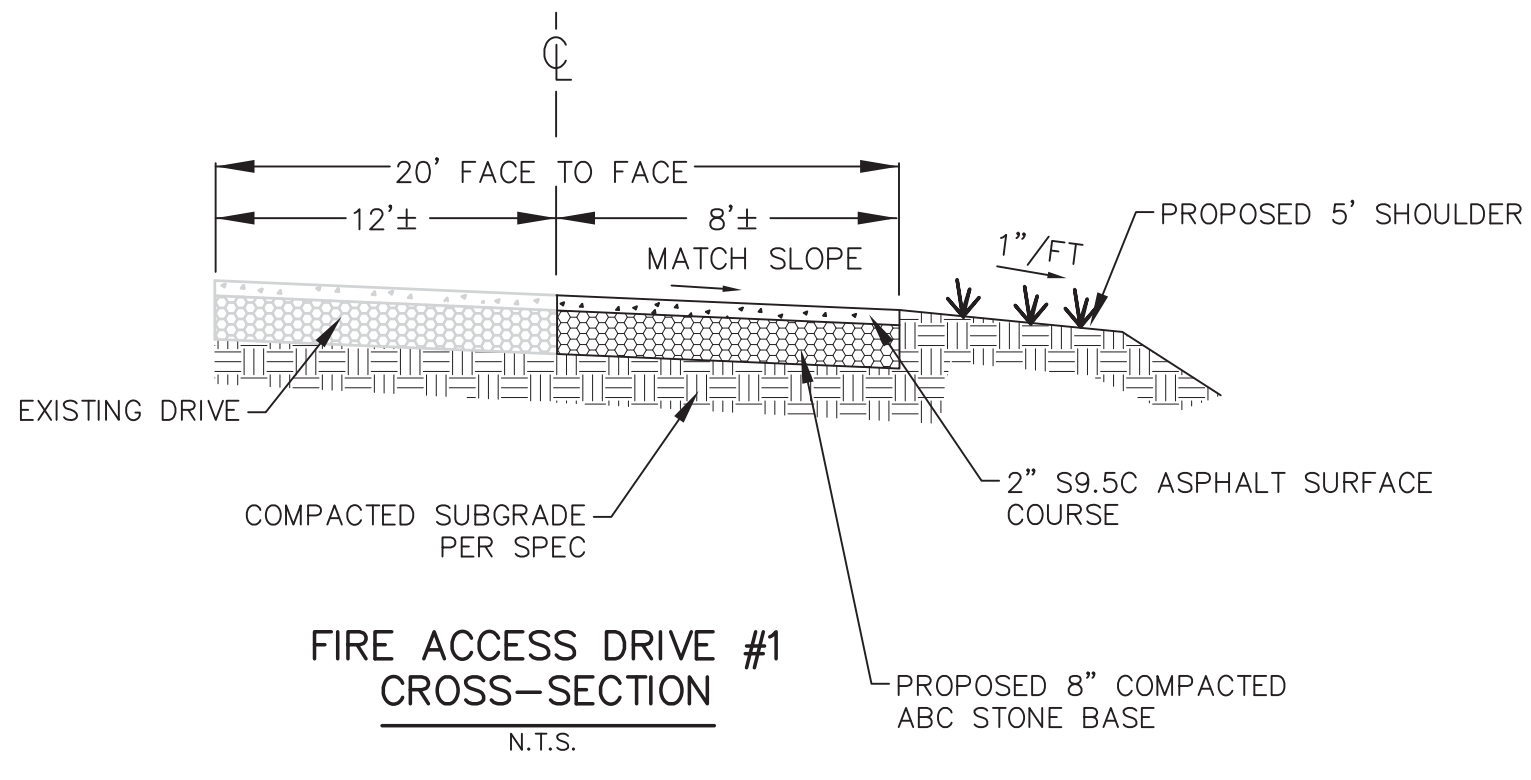
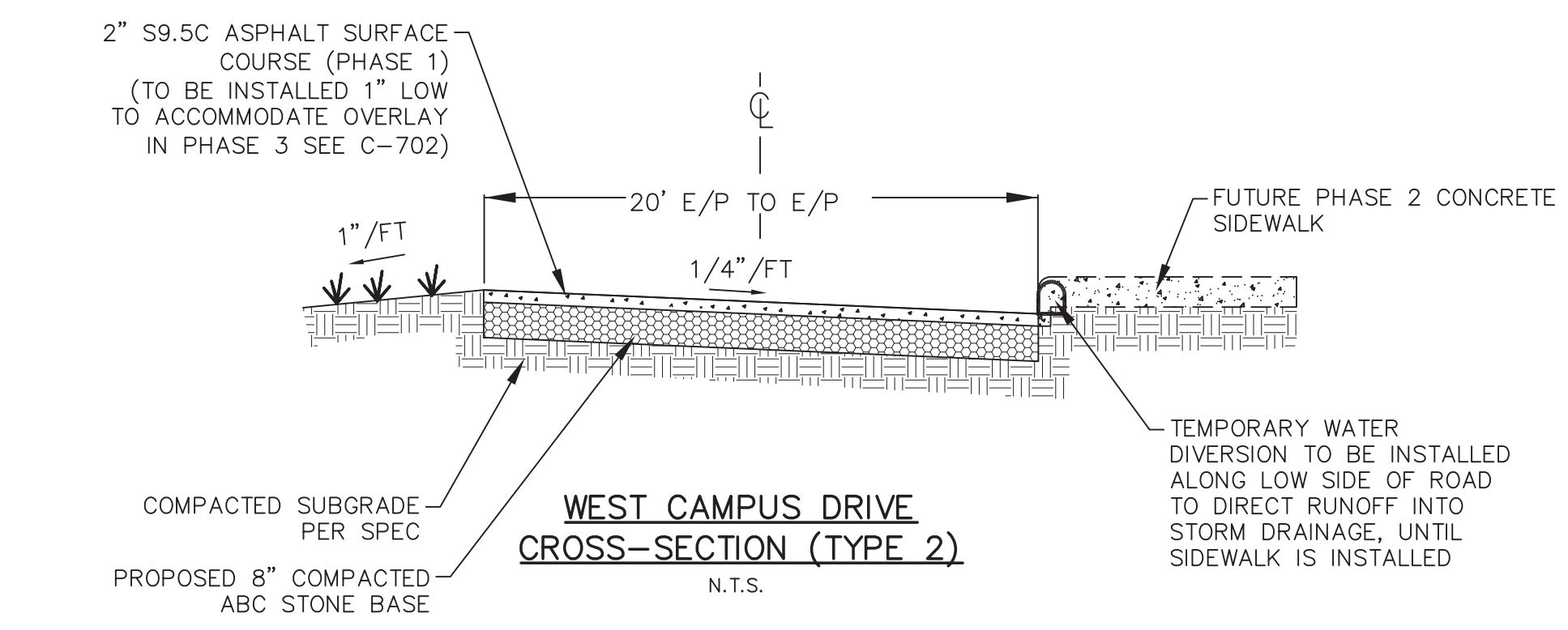
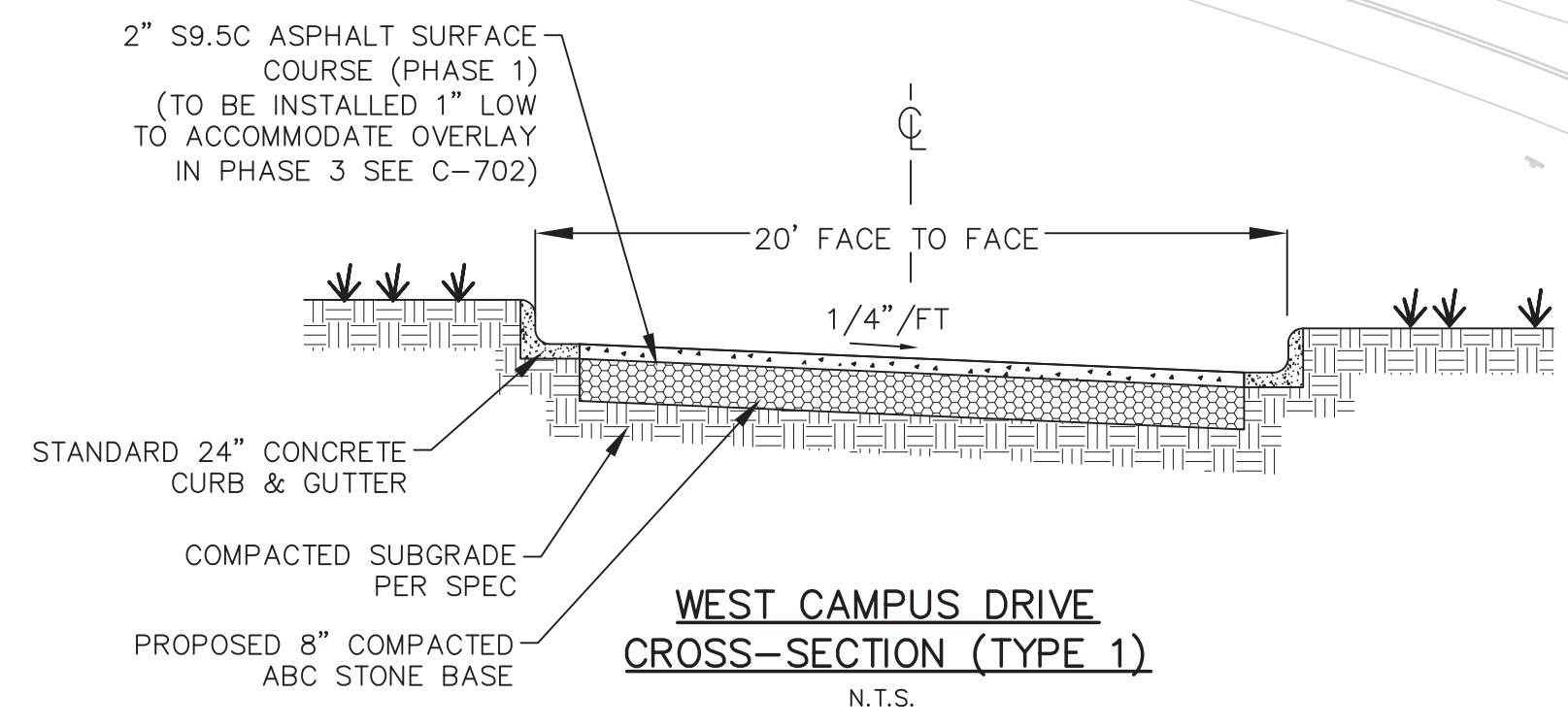
NO.	DESCRIPTION

KEY PLAN

SHEET
PHASE 1 PAVING PLAN

C-700

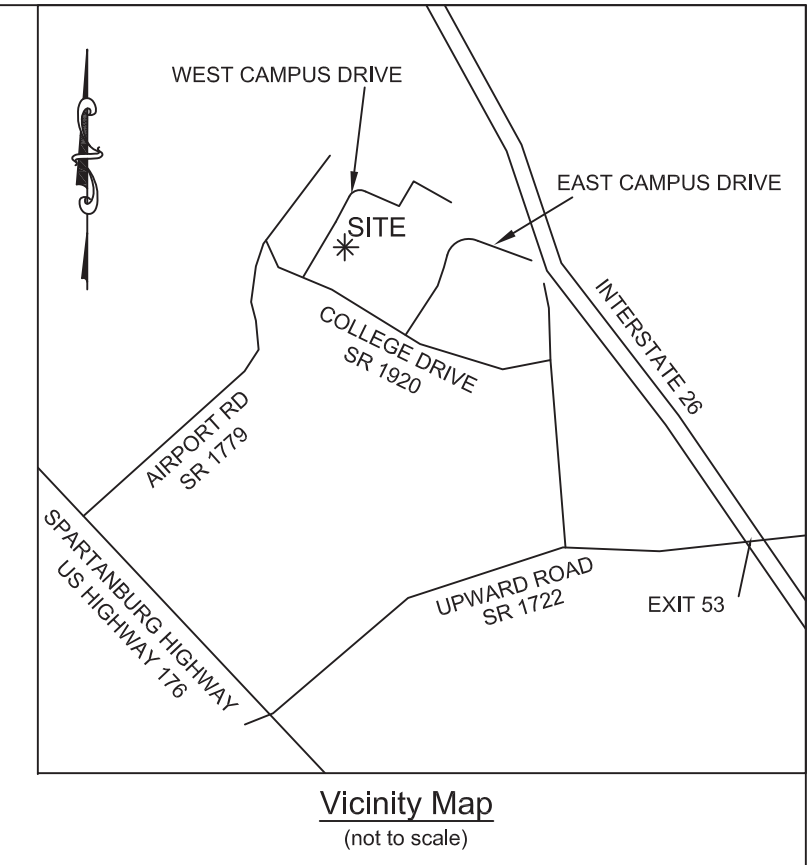
DESIGN: TWT
DRAWN: KHC
REVIEW: WRB
CN 5199-L



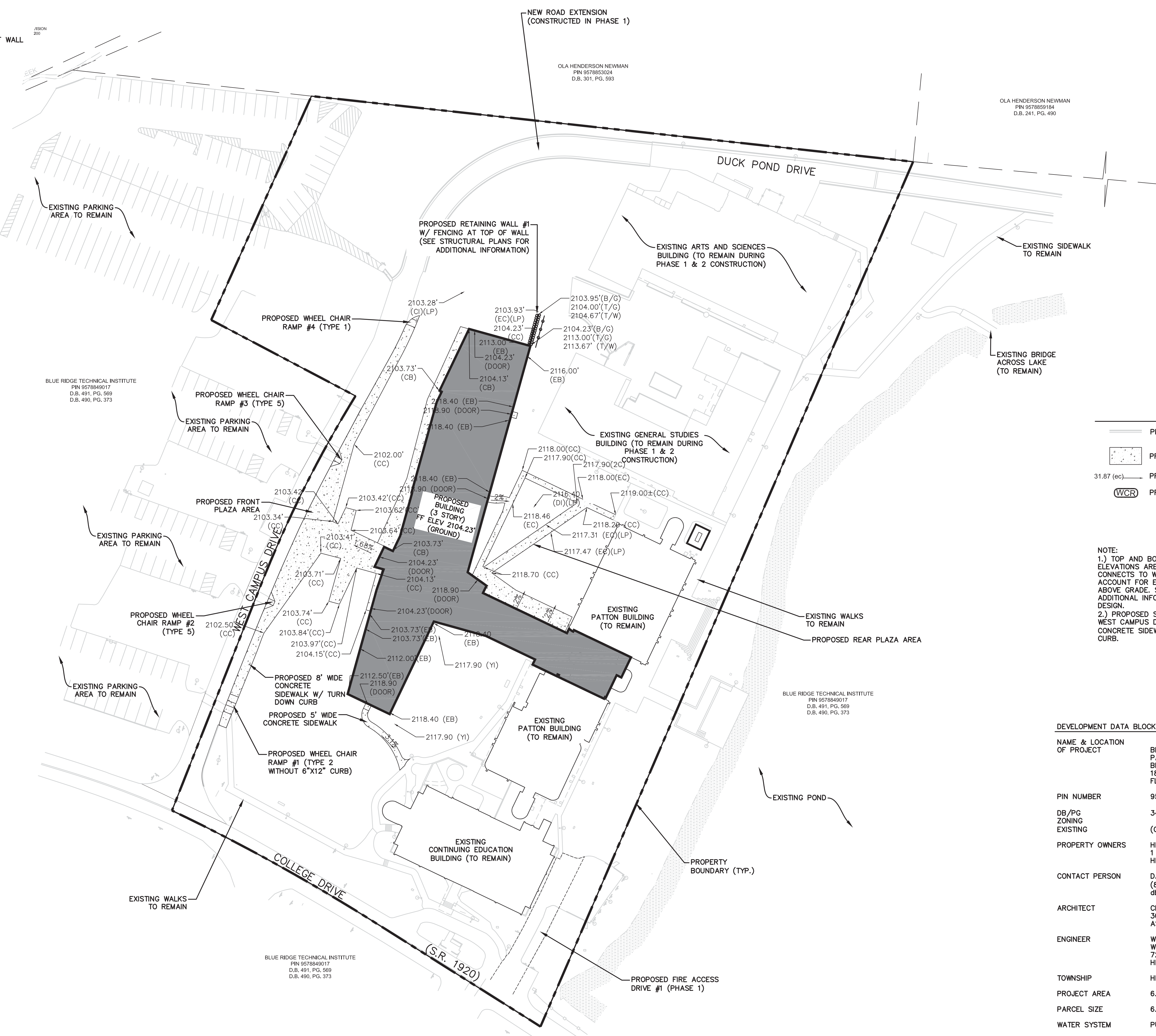
ABBREVIATION LEGEND

b/c BOTTOM FACE OF CURB
 b/g FINISHED GRADE AT BOTTOM OF WALL
 cb CORNER OF BUILDING
 cc CORNER OF CONCRETE
 eb EDGE OF BUILDING
 ec EDGE OF CONCRETE
 hp HIGH POINT
 lp LOW POINT
 s SPOT
 t/g FINISHED GRADE AT TOP OF WALL
 t/w TOP OF WALL

NOTE: SEE STRUCTURE PLANS FOR RETAINING WALL FOOTING ELEVATION.



HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28731



LEGEND

PROPOSED 24" CURB & GUTTER (PHASE 1)

PROPOSED CONCRETE PAVEMENT OR SIDEWALK (PHASE 2)

31.87 (ec) PROPOSED SPOT ELEVATION

(WCR) PROPOSED WHEELCHAIR RAMP W/WARNING DOME

NOTE:

1.) TOP AND BOTTOM OF WALL SPOT ELEVATIONS ARE WHERE GRADE CONNECTS TO WALL. THIS DOES NOT ACCOUNT FOR EMBEDMENT OR ANY WALL ABOVE GRADE. SEE WALL PLANS FOR ADDITIONAL INFORMATION AND WALL DESIGN.

2.) PROPOSED SIDEWALK / PLAZA ALONG WEST CAMPUS DRIVE SHALL BE CONCRETE SIDEWALK W/ TURNDOWN CURB.

DEVELOPMENT DATA BLOCK

NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING EXISTING	3421/574 (O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUIE, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
PROJECT AREA	6.81 ACRES
PARCEL SIZE	6.81 ACRES
WATER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
SEWER SYSTEM	PUBLIC CITY OF HENDERSONVILLE
BUILDING SETBACKS	FRONT OR R/W SIDE 35' (THOROUGHFARE) REAR 10'
BUILDING HEIGHT	MAX ALLOWED PROPOSED 50' SEE ARCHITECTS PLAN

DESIGNER

CLARK NEXSEN

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 ASHEVILLE, NORTH CAROLINA 28801
 828-232-0608 FAX 828-232-1006
 WWW.CLARKNEXSEN.COM

CLARK NEXSEN LICENSE NUMBER: C-1028

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 Consulting Engineers & Land Planners
 NC License No. P-1342
 724 5th Avenue West
 Hendersonville, North Carolina 28739
 (828) 697-7177
 wglac.com

SEALS

SUBMITTAL

10/19/2020

CONSTRUCTION DOCUMENTS

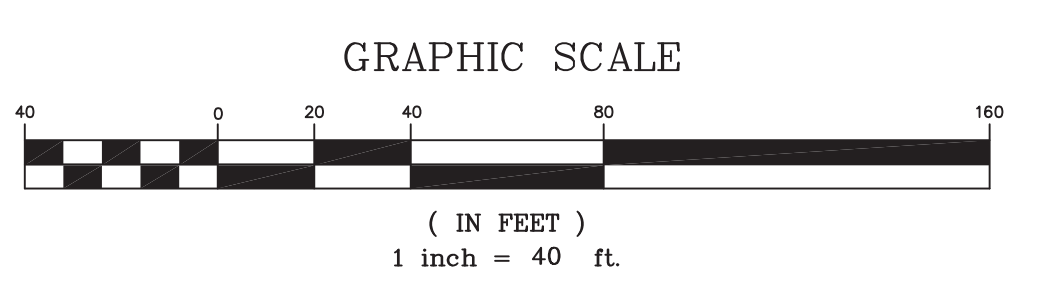
REVISIONS

KEY PLAN

SHEET

PHASE 2
 PAVING PLAN

C-701



SURVEY INFORMATION PROVIDED BY:
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 ED HOLMES & ASSOCIATES LAND SURVEYORS, PA.
 300 RIDGEFIELD CT., SUITE 301
 ASHEVILLE, NC 28806
 PHONE: 828-225-6562



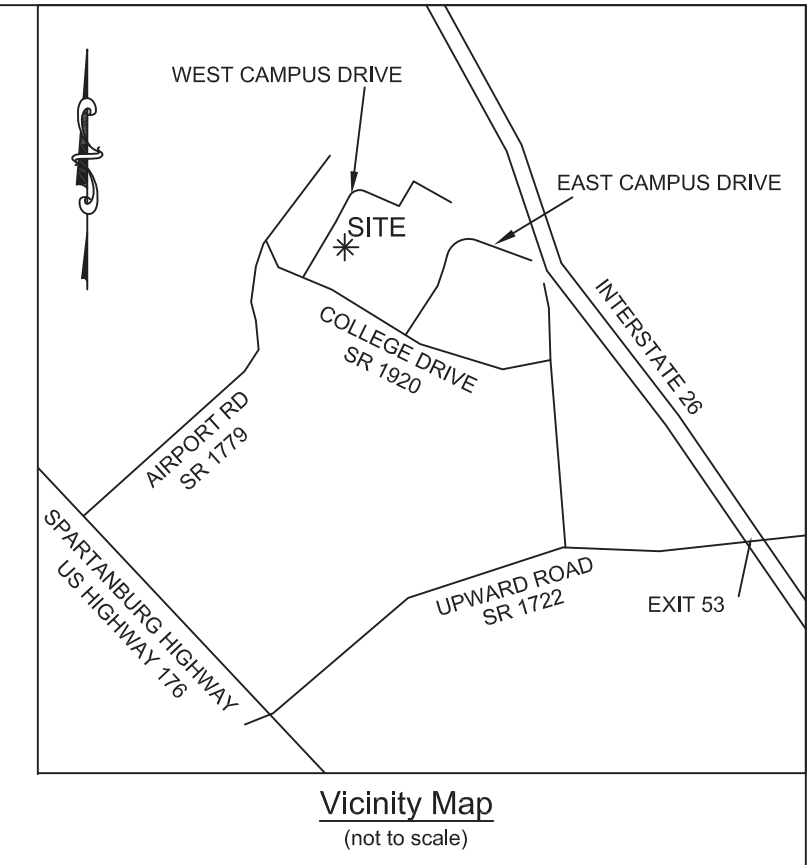
DESIGNER TWT
DRAWN KHC
REVIEW WRB

CN 5199-L

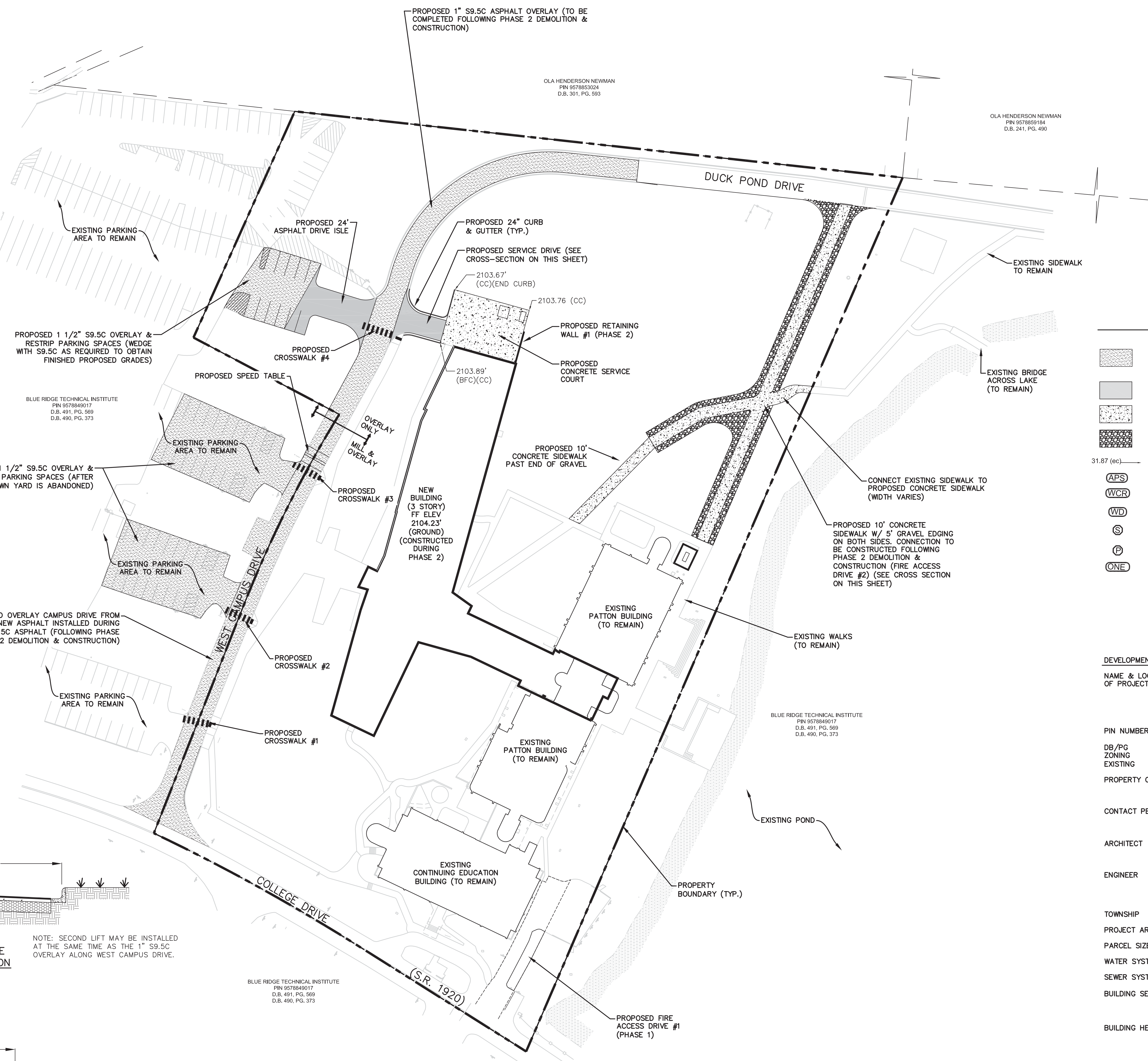
ABBREVIATION LEGEND

bfc BOTTOM FACE OF CURB
 bw BOTTOM OF WALL
 cb CORNER OF BUILDING
 cc CORNER OF CONCRETE
 eb EDGE OF BUILDING
 ec EDGE OF CONCRETE
 hp HIGH POINT
 lp LOW POINT
 s SPOT
 t TOP OF WALL

NOTE: TOP AND BOTTOM OF WALL SPOT ELEVATIONS ARE WHERE GRADE CONNECTS TO WALL. THIS DOES NOT ACCOUNT FOR EMBEDMENT OR ANY WALL ABOVE GRADE. SEE WALL PLANS FOR ADDITIONAL INFORMATION AND WALL DESIGN.



HENDERSON COUNTY, NORTH CAROLINA
BRCC - PATTON HALL INTERIOR RENOVATION AND ADDITION
 180 W. CAMPUS DR., FLAT ROCK, NC 28751



LEGEND

	PROPOSED 1" S9.5C ASPHALT OVERLAY (PHASE 3)
	PROPOSED ASPHALT PAVEMENT (PHASE 3)
	PROPOSED CONCRETE SIDEWALK (PHASE 3)
	PROPOSED GRAVEL (PHASE 3)
31.87 (etc.)	PROPOSED SPOT ELEVATION
	PROPOSED ACCESSIBLE PARKING SIGN
	PROPOSED WHEELCHAIR RAMP W/ WARNING DOME
	PROPOSED WARNING DOME
	PROPOSED STOP SIGN
	PROPOSED PEDESTRIAN CROSSWALK SIGN
	PROPOSED ONE WAY SIGN

DEVELOPMENT DATA BLOCK

NAME & LOCATION OF PROJECT	BLUE RIDGE COMMUNITY COLLEGE PATTON HALL INTERIOR RENOVATION AND ADDITION BLUE RIDGE TECHNICAL INSTITUTE 180 W CAMPUS DRIVE FLAT ROCK, NC 28731
PIN NUMBER	9578-84-1661
DB/PG ZONING EXISTING	3421/574 (O & I) OFFICE & INSTITUTIONAL
PROPERTY OWNERS	HENDERSON COUNTY 1 HISTORIC SQUARE HENDERSONVILLE, NC 28792
CONTACT PERSON	DAVID BERRY (828) 694-6605 dberry@hendersoncountync.org
ARCHITECT	CLARK NEXSEN 301 COLLEGE STREET, SUITE 300 ASHEVILLE, NC 28801
ENGINEER	WILLIAM R. BUIE, P.E. WGLA ENGINEERING, PLLC 724 5TH AVENUE WEST HENDERSONVILLE, NC 28739
TOWNSHIP	HENDERSONVILLE
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DESIGNER

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SEALS

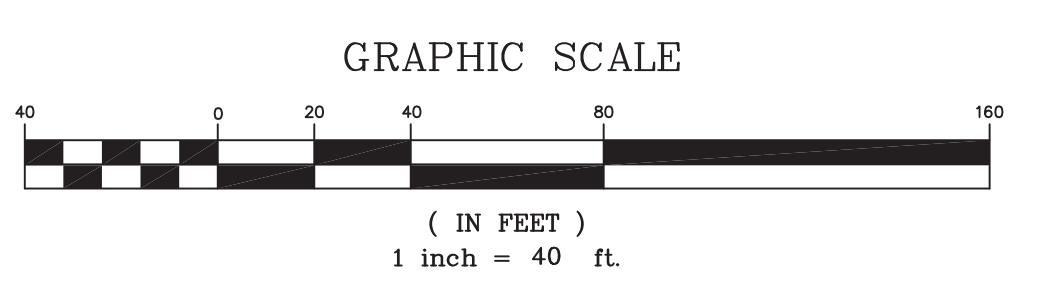
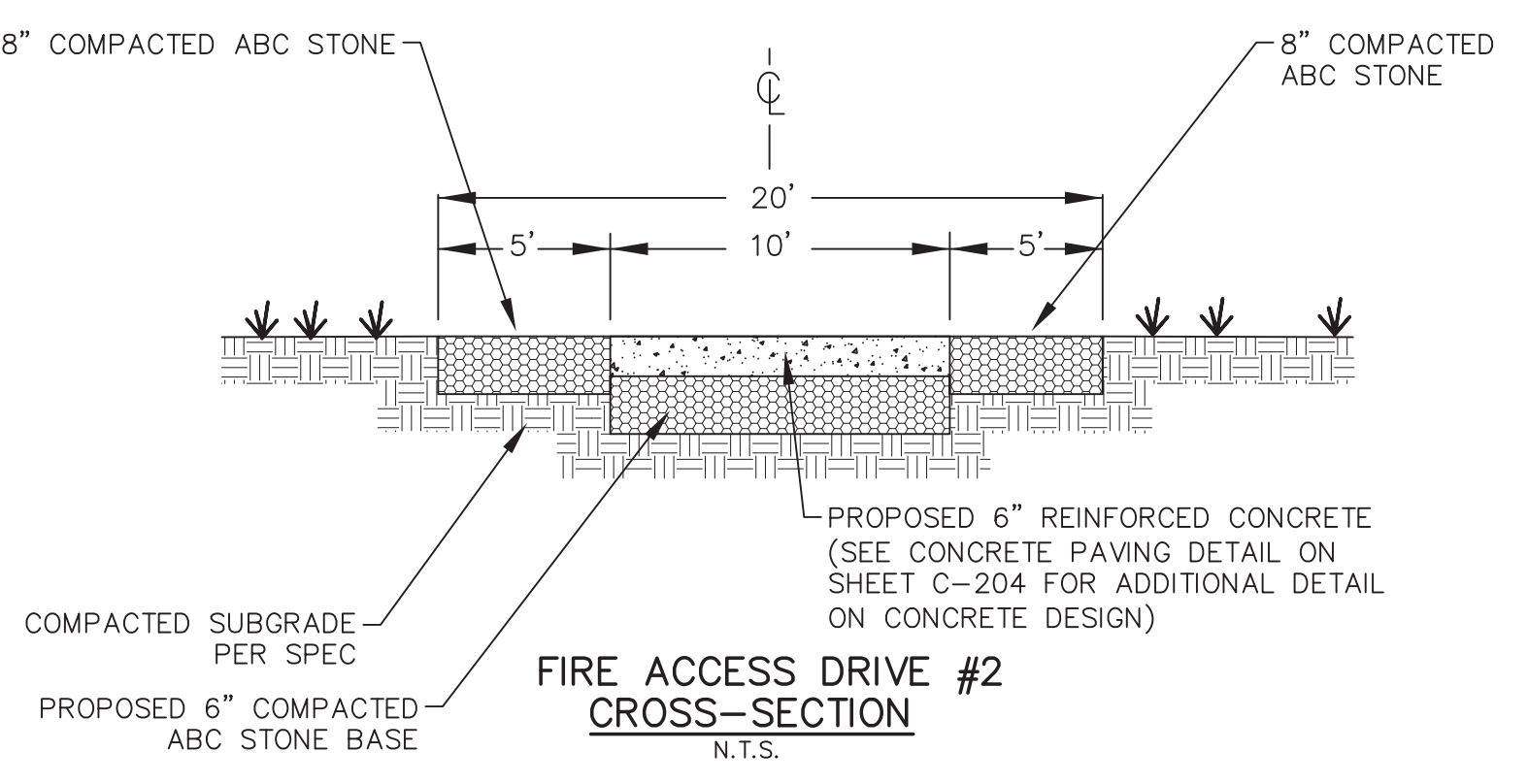
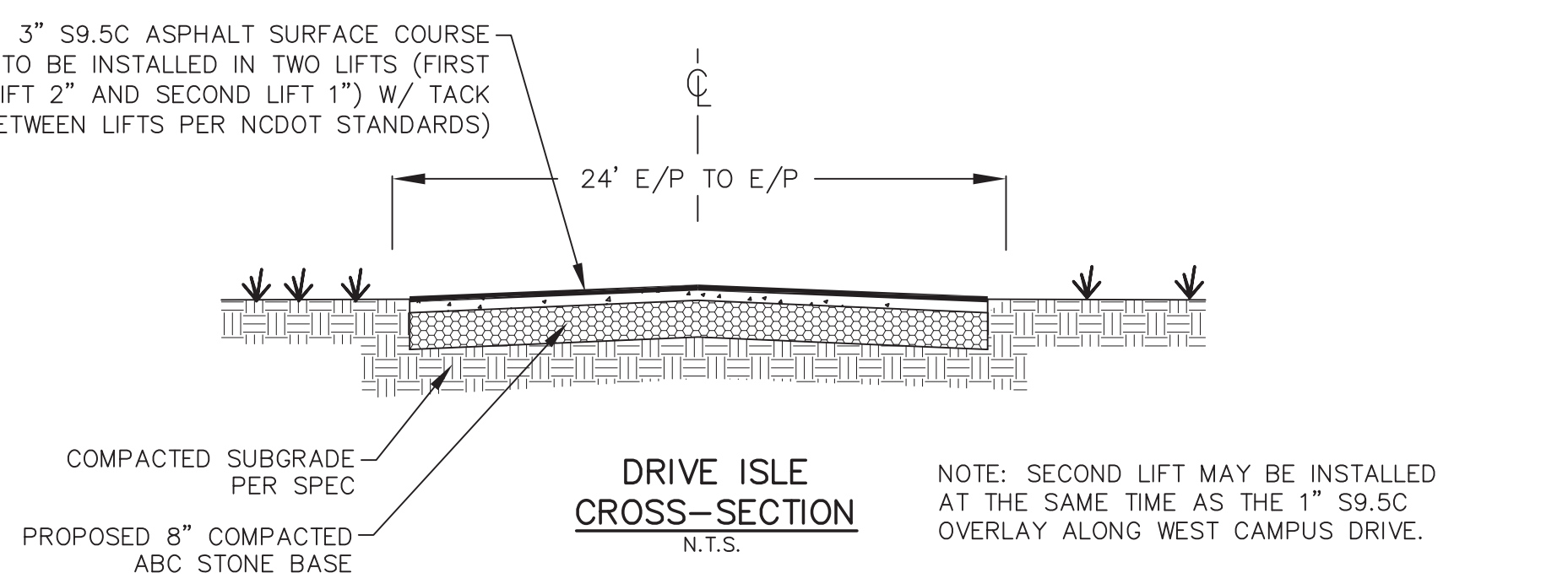
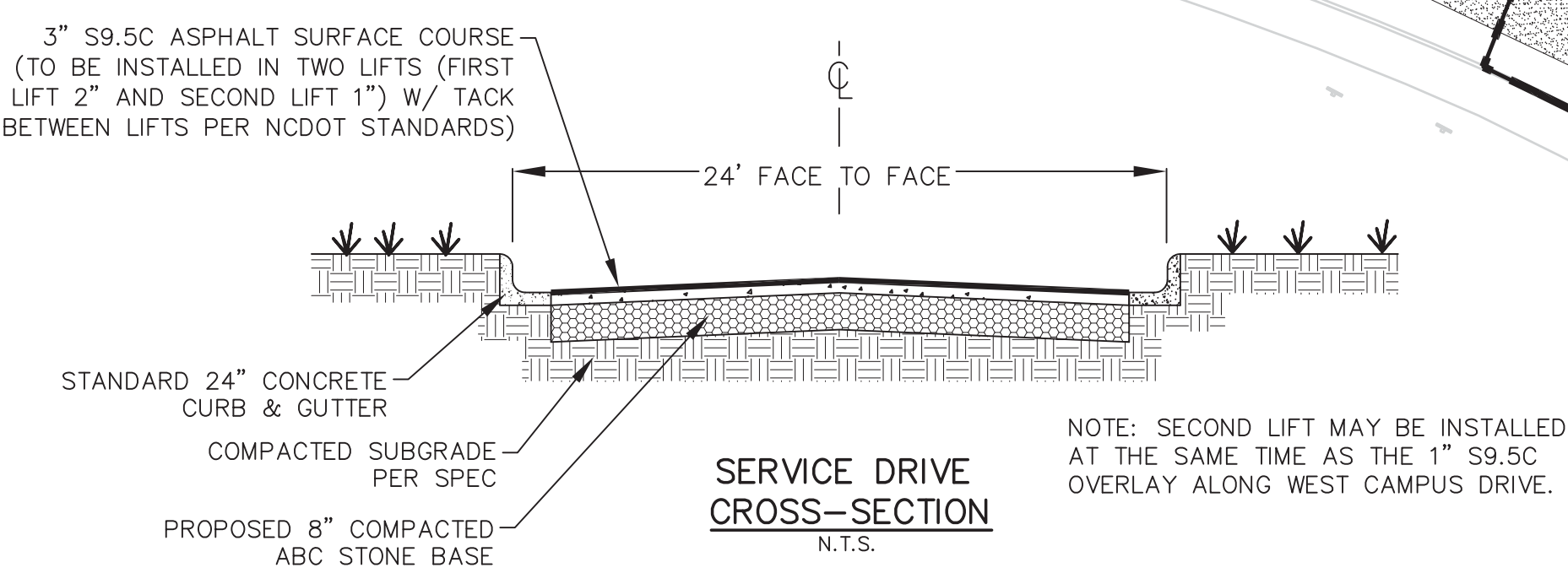
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 ENGINEER
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 WILLIAM R. BUIE, P.E.
 WILLIAM R. BUIE, P.E.
 WILLIAM R. BUIE, P.E.

SUBMITTAL
 10/19/2020

CONSTRUCTION DOCUMENTS

REVISIONS

KEY PLAN



SURVEY INFORMATION PROVIDED BY:
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 ED HOLMES & ASSOCIATES LAND SURVEYORS, PA.
 300 RIDGEFIELD CT., SUITE 301
 ASHEVILLE, NC 28808
 PHONE: 828-225-6562



C-702

PHASE 3
 PAVING PLAN

DESIGN: TWT
 DRAWING: KHC
 REVIEW: WRB

CN 5199-L