

**REQUEST FOR COMMITTEE ACTION**

**HENDERSON COUNTY**

**TECHNICAL REVIEW COMMITTEE**

**MEETING: June 16, 2020**

**SUBJECT: Major Site Plan Review – Legacy Place Industrial/Manufacturing Flex Space**

**PRESENTER: Toby Linville**

**ATTACHMENTS: Staff Report**

**SUMMARY OF REQUEST: Major site plan review**

**SUGGESTED MOTION: I move that the TRC approve/deny the major site plan for Legacy Place**



## Henderson County, North Carolina Code Enforcement Services

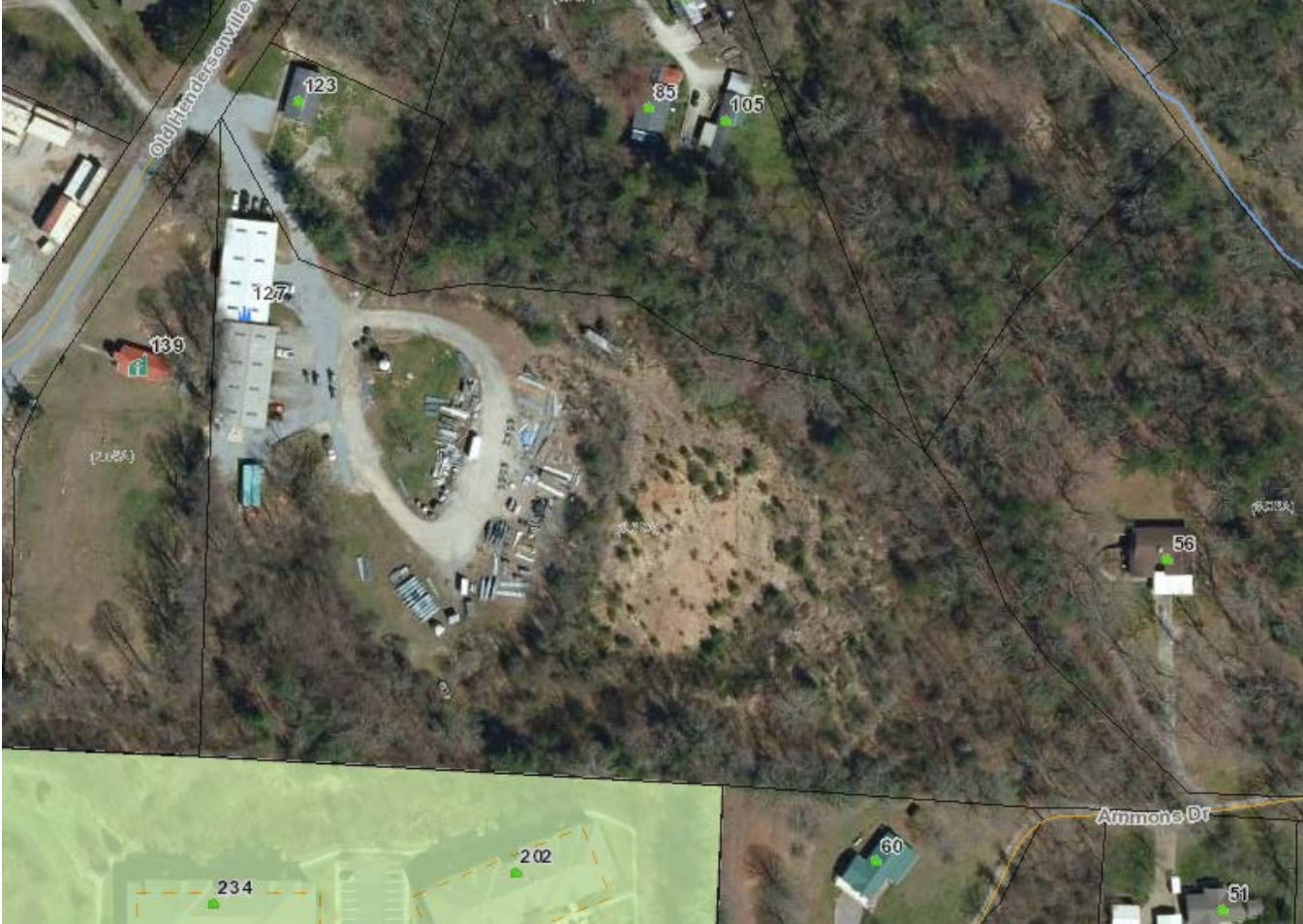
### 1. Committee Request

- 1.1. **Applicant:** Kantom Properties LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9652638332
- 1.4. **Size:** 9.06 acres +/-
- 1.5. **Location:** 127 Old Hendersonville Rd
- 1.6. **Supplemental Requirements:**

#### **SR 10.8. *Manufacturing and Production Operations***

- (1) Site Plan. Major *Site Plan* required in accordance with §42-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Dust Reduction. Unpaved *roads, travelways* and/or parking areas shall be treated to prevent dust from adverse effects to adjacent properties.

Map A: Pictometry/Aerial Photography





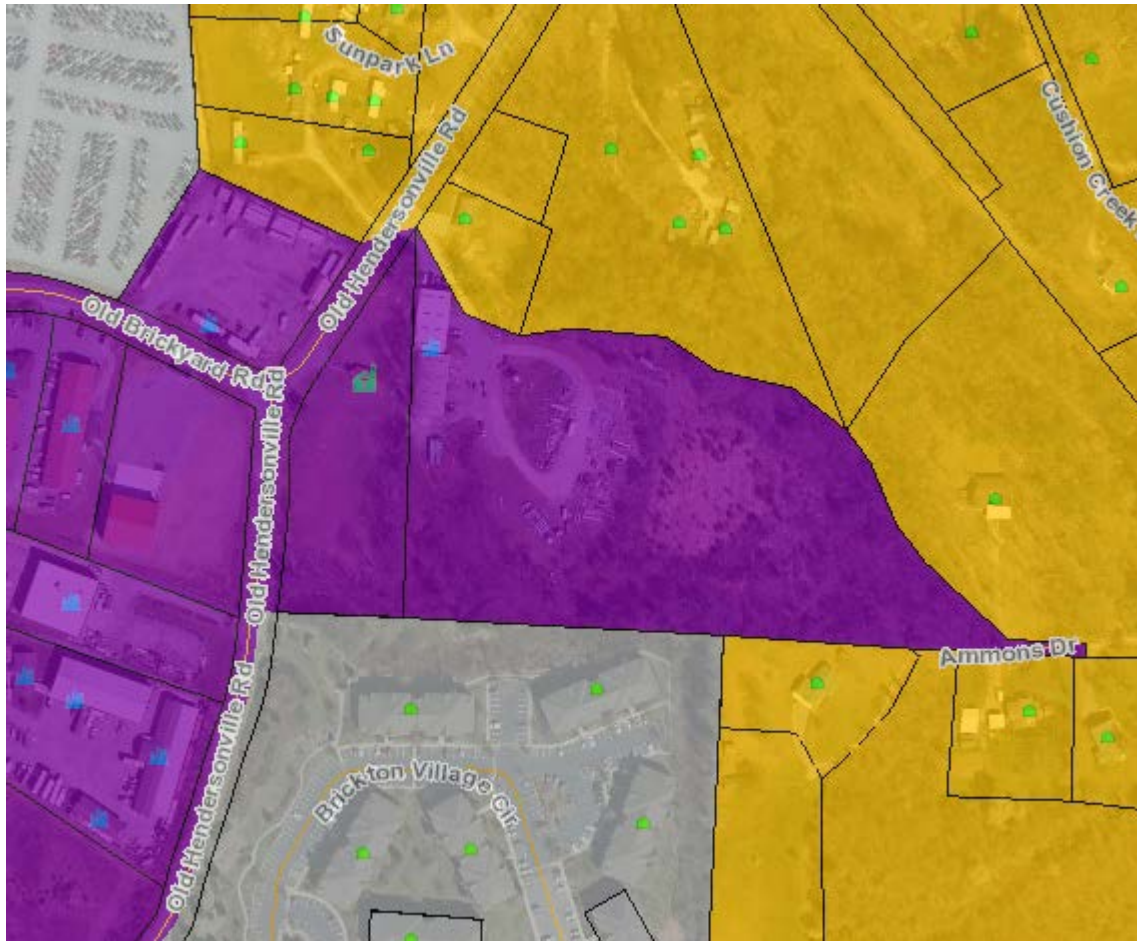
2. **Current Conditions**

**Current Use:** This parcel is currently Industrial

**Adjacent Area Uses:** The surrounding properties consist of residential and Industrial uses.

**Zoning:** The surrounding properties are Industrial. Residential One and Fletcher C1 Conditional.

**Map B: Current Zoning**



3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. **Water and Sewer** This property is served by public water and sewer.

**Public Water:** City of Hendersonville

**Public Sewer:** Cane Creek Sewer

### Map C: CCP Future Land Use Map



#### 5. Comprehensive Plan

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Industrial Area. The following is a description of the patterns of development envisioned within the USA.

1. The Urban Services Area is that area within which most urban services and urban-scale development is currently concentrated, and within which such development should generally be concentrated through the year 2020.
2. Growth and development will be proactively managed through extensive planning. Much of the USA falls within municipal planning jurisdictions and will be managed by those jurisdictions. Land use planning for areas falling within the County's jurisdiction should be comparable and compatible in its approach and intensity with planning conducted within the various municipal jurisdictions.

#### 6. Staff Recommendations

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

#### 7. Photographs



Legacy Place Industrial/Manufacturing Flex Space







06.03.2020 11:10





PRIVATE  
PROPERTY

USA

127

FDJ-4473

06.03.2020 11:10





06.03.2020 11:10

**HENDERSON COUNTY  
MAJOR SITE PLAN REVIEW APPLICATION**

**CONTACT INFORMATION**

**Property Owner:**

Name: Kantom Properties, LLC Phone: (828) 674-5845  
Complete Address: 127 Old Hendersonville Road, Fletcher, NC 28732

**Applicant:**

Name: Kantom Properties, LLC Phone: (828) 674-5845  
Complete Address: 127 Old Hendersonville Road, Fletcher, NC 28732

**Agent:**

Name: Thomas Kane, Kantom Properties, LLC Phone: (828) 674-5845  
Complete Address: 127 Old Hendersonville Road, Fletcher, NC 28732  
Agent Form (Circle One): Yes  No

**Plan Preparer:**

Name: Tyson Griswold, P.E. Phone: (828) 393-5820  
Complete Address: 421 5th Ave W, Hendersonville, NC 28739

**GENERAL INFORMATION**

Date of Application: May 18, 2020  
Site Plan Attached (Circle One):  Yes  No

**PARCEL INFORMATION**

PIN: <u>9652-63-8332</u>	Tract Size (Acres): <u>8.32</u>
Zoning District: <u>I</u>	Fire District: <u>Fletcher</u>
Supplemental Requirement# <u>None</u>	Watershed: <u>Hoopers Creek</u>
Permitted by Right <u>Yes</u>	Floodplain: <u>None</u>
Special Use Permit <u>No</u>	

Location / Property to be developed: The project location is at 127 Old Hendersonville Road. The proposed development will be approximately 125,000 square feet of flex space with associated parking and driveway. Water and sewer are available in the area.

\*\*\*\*\*

**County Use Only**

Fee: \$ \_\_\_\_\_ Paid: \_\_\_\_\_ Method: \_\_\_\_\_ Received by: \_\_\_\_\_



<b>APPLICATION IDENTIFICATION</b>		<b>N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION</b>
Driveway Permit No.	Date of Application	
County: Henderson		
Development Name: Legacy Place		

**LOCATION OF PROPERTY:**

Route/Road: 1536/Old Hendersonville Rd

Exact Distance 350       Miles       Feet      N S E W  
                 

From the Intersection of Route No. 1536/Old Hend and Route No. 1537/Old Brickyard Toward Fletcher

Property Will Be Used For:  Residential /Subdivision     Commercial     Educational Facilities     TND     Emergency Services     Other  
Property:                                       is                       is not                      within Fletcher                      City Zoning Area.

**AGREEMENT**

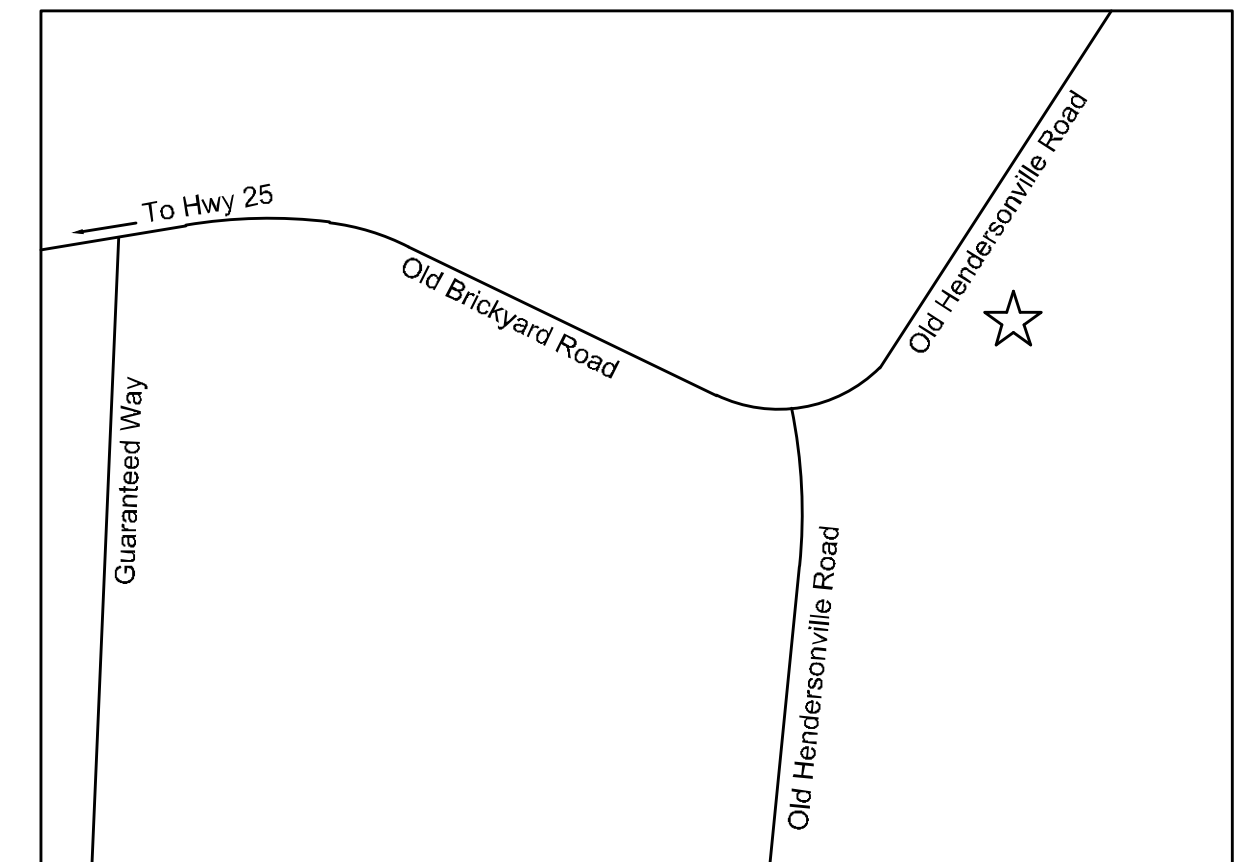
- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during and following construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- I agree that the entire cost of constructing and maintaining an approved private street or driveway access connection and conditions of this permit will be borne by the property owner, the applicant, and their grantees, successors, and assignees.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**







"NOT FOR CONSTRUCTION"



Vicinity Map  
(NTS)

  
 Griswold Engineering &  
 Environmental PLLC  
 Civil Engineer  
 Tyson Griswold, PE  
 421 5th Avenue West  
 Hendersonville, NC 28739  
 (828) 393-5820  
 engineer@tysongriswold.com

SEAL / LOGO:

NORTH ARROW

REVISIONS  
 REV 2  
 REVISED SITE DESIGN; ADDED  
 STORMWATER, DEMO, WATER  
 CONNECTION DETAILS, SEWER  
 CONNECTION DETAILS AND PROFILE  
 SHEETS;  
 DSM 05/11/20

REV 3  
 REVISED SHT. C-1;  
 DSM 05/18/20

REV 4  
 REVISED PRJ TITLE ALL SHEETS  
 DSM 05/26/20

REV 5  
 REVISED SITE PLAN C-1; ADDED SHEET  
 C-10; CHANGED TOTAL NO. OF SHEETS  
 ON ALL PAGES;  
 DSM 06/03/20

REV 6  
 REVISED SITE LAYOUT TO MOVE ROADS  
 WITHIN B2 BUFFER. REVISED BLDG  
 AREA, IMPERVIOUS AND CUT-FILL  
 CALCULATIONS ACCORDINGLY. SHEETS  
 C-1, C-2, C-3, C-7 AND C-9 UPDATED.  
 DSM 06/10/20



PROJECT  
 LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 OWNER INFO:  
 KANTOM PROPERTIES, LLC  
 127 OLD HENDERSONVILLE ROAD  
 FLETCHER, NC 28732

PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE  
 COVER SHEET

LEGEND OF DRAWINGS			
DWG NO	SHEET NO	REV NO	SHEET TITLE
C-0	1	6	COVER SHEET
C-1	2	6	SITE PLAN
C-2	3	4	STORMWATER PLAN
C-3	4	4	SITE GRADING PLAN
C-4	5	3	DEMOLITION PLAN
C-5	Z	3	WATER EXTENSION
C-6	E	3	SEWER EXTENSION
C-7	8	5	PROFILE MAIN DRIVE
C-8	9	3	PROFILE SOUTH WALL
C-9	10	4	PROFILE NORTH WALLS
C-10	11	1	SITE DETAILS

ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	5/11/20
SCALE	NTS	SHEET	1 OF 11
DRAWN	DSM		
CHECKED	TMG		
APPR. BY	TMG		

C-0



SEAL / LOGO:

NORTH ARROW

REVISIONS  
 REV 3  
 ADDED ADJOINING PROPERTY OWNERS;  
 ADDED OWNER INFO TO THIS SHEET;  
 DSM 05/18/20

REV 4  
 REVISED PRJ TITLE;  
 DSM 05/26/20

REV 5  
 ADDED PARKING LOT LANDSCAPING  
 AND NOTE 8; DELETED VB, STB; ADDED  
 B2 BUFFER; ADDED NOTE 9, 10 & 11;  
 ADDED TABLE FOR PARKING LOT  
 SPACES;  
 DSM 06/03/20

REV 6  
 MAJOR SITE DESIGN TO RELOCATE ALL  
 ROADS WITHIN B2 BUFFER. DELETED  
 PULLOFF LANE REAR OF BLDG A.  
 REVISED BLDG DIMS ACCORDINGLY.  
 DSM 06/10/20



PROJECT  
 LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE

OWNER INFO:  
 KANTOM PROPERTIES, LLC  
 127 OLD HENDERSONVILLE ROAD  
 FLETCHER, NC 28732

PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE  
 SITE PLAN

ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	3/17/20
SCALE	1:40	SHEET	2 OF 11
DRAWN	DSM		
CHECKED	TMG		
APPR. BY	TMG		

C-1

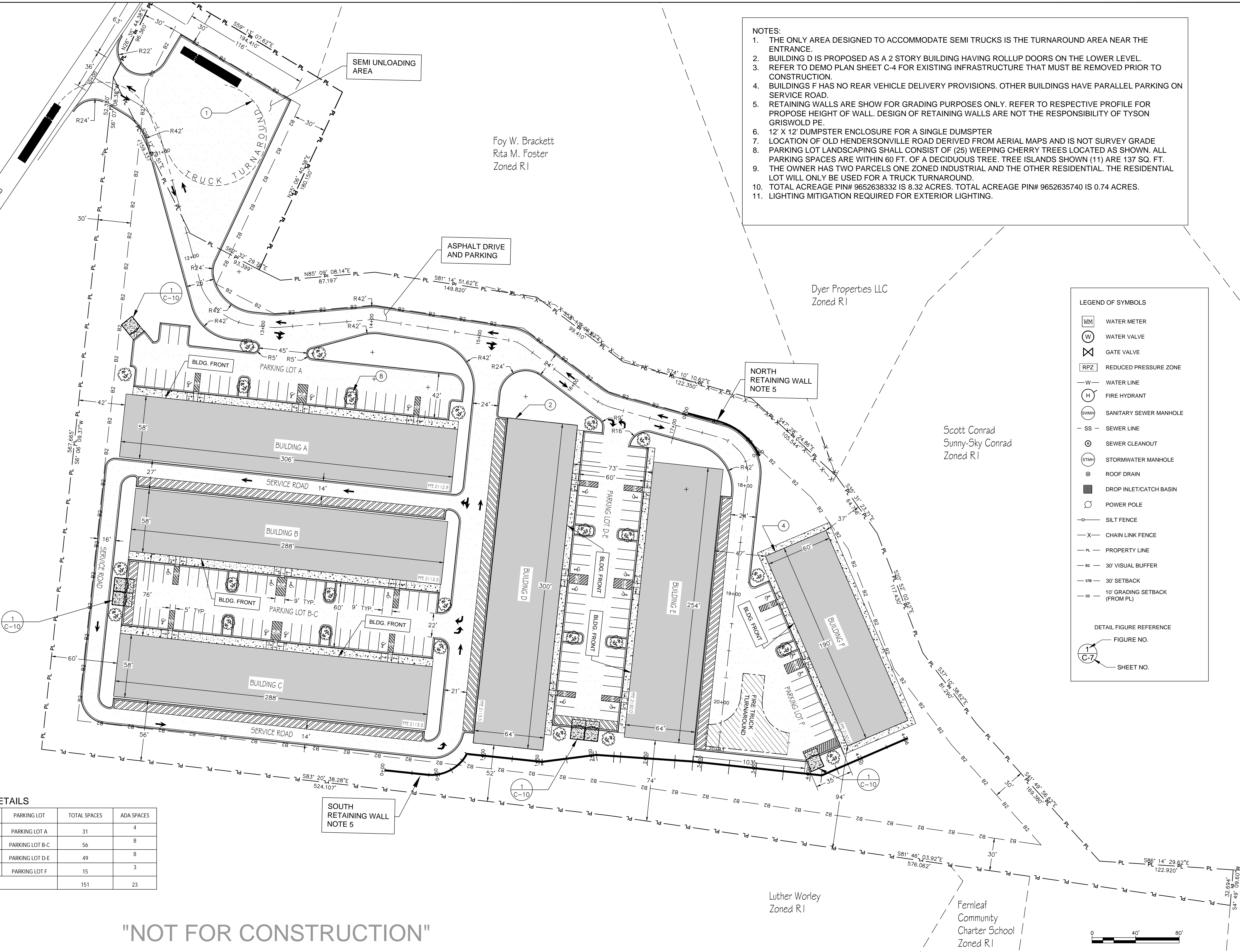
- NOTES:
1. THE ONLY AREA DESIGNED TO ACCOMMODATE SEMI TRUCKS IS THE TURNAROUND AREA NEAR THE ENTRANCE.
  2. BUILDING D IS PROPOSED AS A 2 STORY BUILDING HAVING ROLLUP DOORS ON THE LOWER LEVEL.
  3. REFER TO DEMO PLAN SHEET C-4 FOR EXISTING INFRASTRUCTURE THAT MUST BE REMOVED PRIOR TO CONSTRUCTION.
  4. BUILDINGS F HAS NO REAR VEHICLE DELIVERY PROVISIONS. OTHER BUILDINGS HAVE PARALLEL PARKING ON SERVICE ROAD.
  5. RETAINING WALLS ARE SHOW FOR GRADING PURPOSES ONLY. REFER TO RESPECTIVE PROFILE FOR PROPOSE HEIGHT OF WALL. DESIGN OF RETAINING WALLS ARE NOT THE RESPONSIBILITY OF TYSON GRISWOLD PE.
  6. 12' X 12' DUMPSTER ENCLOSURE FOR A SINGLE DUMPSTER
  7. LOCATION OF OLD HENDERSONVILLE ROAD DERIVED FROM AERIAL MAPS AND IS NOT SURVEY GRADE
  8. PARKING LOT LANDSCAPING SHALL CONSIST OF (25) WEEPING CHERRY TREES LOCATED AS SHOWN. ALL PARKING SPACES ARE WITHIN 60 FT. OF A DECIDUOUS TREE. TREE ISLANDS SHOWN (11) ARE 137 SQ. FT.
  9. THE OWNER HAS TWO PARCELS ONE ZONED INDUSTRIAL AND THE OTHER RESIDENTIAL. THE RESIDENTIAL LOT WILL ONLY BE USED FOR A TRUCK TURNAROUND.
  10. TOTAL ACREAGE PIN# 9652638332 IS 8.32 ACRES. TOTAL ACREAGE PIN# 9652635740 IS 0.74 ACRES.
  11. LIGHTING MITIGATION REQUIRED FOR EXTERIOR LIGHTING.

LEGEND OF SYMBOLS

- WM WATER METER
- W WATER VALVE
- X GATE VALVE
- RPZ REDUCED PRESSURE ZONE
- W WATER LINE
- H FIRE HYDRANT
- SSM SANITARY SEWER MANHOLE
- SS SEWER LINE
- SC SEWER CLEANOUT
- STMH STORMWATER MANHOLE
- RD ROOF DRAIN
- DI DROP INLET/CATCH BASIN
- PP POWER POLE
- SF SILT FENCE
- CL CHAIN LINK FENCE
- PL PROPERTY LINE
- B2 30' VISUAL BUFFER
- SB 30' SETBACK
- GS 10' GRADING SETBACK (FROM PL)

DETAIL FIGURE REFERENCE

- FIGURE NO.
- SHEET NO.



PARKING LOT DETAILS

BUILDING DESIGNATION	PARKING LOT	TOTAL SPACES	ADA SPACES
BUILDING A	PARKING LOT A	31	4
BUILDING B AND C	PARKING LOT B-C	56	8
BUILDING D AND E	PARKING LOT D-E	49	8
BUILDING F	PARKING LOT F	15	3
TOTAL >>		151	23

"NOT FOR CONSTRUCTION"



SEAL / LOGO:

NORTH ARROW

REVISIONS  
 REV 1  
 NEW SHEET;  
 DSM 05/11/20

REV 2  
 REVISED PRJ TITLE;  
 DSM 05/26/20

REV 3  
 REV'D TOTAL NUMBER OF SHEETS;  
 UPDATED TABLE OF IMPERVIOUS  
 VALUES TO SHOW TOTAL %  
 IMPERVIOUS;  
 DSM 06/03/20

REV 4  
 REVISED IMPERVIOUS AREA TABLE.  
 DELETED STORMTECH IN SERVICE  
 ROAD.  
 DSM 06/10/20



PROJECT

LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE  
 STORMWATER PLAN

ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	05/11/20
SCALE	1:40	SHEET	3 OF 11
DRAWN	DSM		
CHECKED	TMG		
APPR. BY	TMG		

C-2

STORMWATER PARTS LIST

ID	DESCRIPTION
SG1-1	24" X 36" STORM GRATE
SG1-2	24" X 36" STORM GRATE
SG1-3	24" X 36" STORM GRATE
SG1-4	24" X 36" STORM GRATE
SG1-5	24" X 36" STORM GRATE
SG1-6	24" X 36" STORM GRATE
STMH1-1	48" MANHOLE
JB1-1	JUNCTION BOX
HW1-1	HEADWALL
SN2-1	STORMTECH STORAGE
SG2-1	24" X 36" STORM GRATE
SG2-2	24" X 36" STORM GRATE
SG2-3	24" X 36" STORM GRATE
SG2-4	24" X 36" STORM GRATE
SN3-1	STORMTECH STORAGE
SG3-1	24" X 36" STORM GRATE
SG3-2	24" X 36" STORM GRATE
SG3-3	24" X 36" STORM GRATE
STMH3-1	48" MANHOLE
SN4-1	STORMTECH STORAGE
SG4-1	24" X 36" STORM GRATE
SG4-2	24" X 36" STORM GRATE
SG4-3	24" X 36" STORM GRATE
STMH4-1	48" MANHOLE
SG5-1	24" X 36" STORM GRATE
SG5-2	24" X 36" STORM GRATE
SG5-3	24" X 36" STORM GRATE
STMH5-1	48" MANHOLE
SN6-1	STORMTECH STORAGE
C16-1	24" X 36" CURB INLET
C16-2	24" X 36" CURB INLET
C16-3	24" X 36" CURB INLET
C16-4	24" X 36" CURB INLET
C16-5	24" X 36" CURB INLET
SG6-1	24" X 36" STORM GRATE

LEGEND OF SYMBOLS

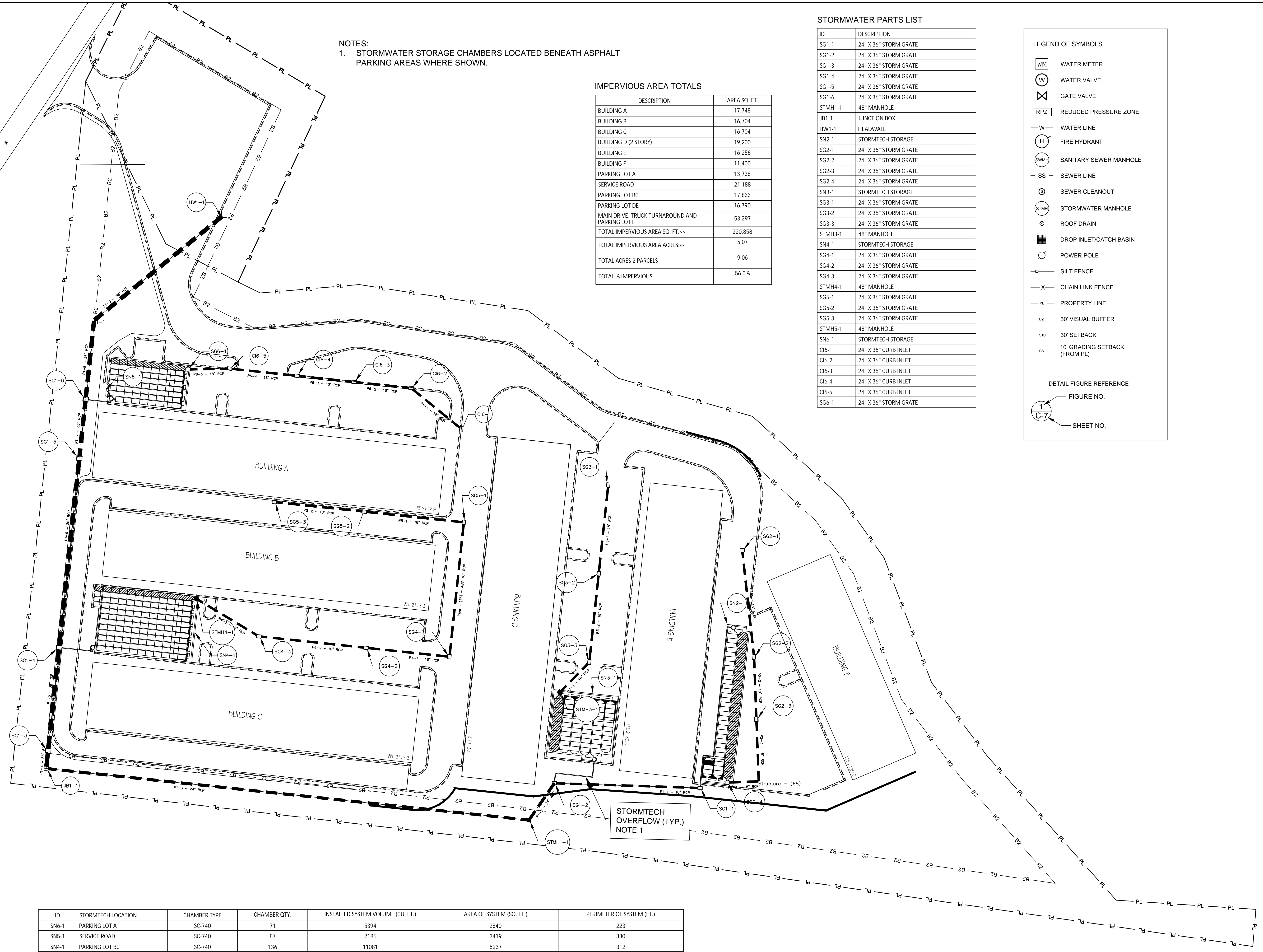
WM WATER METER  
 W WATER VALVE  
 X GATE VALVE  
 RPZ REDUCED PRESSURE ZONE  
 W WATER LINE  
 H FIRE HYDRANT  
 SSMW SANITARY SEWER MANHOLE  
 SS SEWER LINE  
 S SEWER CLEANOUT  
 STMH STORMWATER MANHOLE  
 R ROOF DRAIN  
 DIB DROP INLET/CATCH BASIN  
 P POWER POLE  
 S SILT FENCE  
 X CHAIN LINK FENCE  
 PL PROPERTY LINE  
 B2 30' VISUAL BUFFER  
 S 30' SETBACK  
 OS 10' GRADING SETBACK (FROM PL)

DETAIL FIGURE REFERENCE  
 FIGURE NO.  
 SHEET NO.

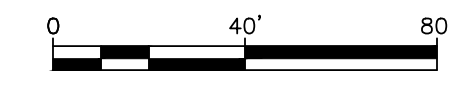
IMPERVIOUS AREA TOTALS

DESCRIPTION	AREA SQ. FT.
BUILDING A	17,748
BUILDING B	16,704
BUILDING C	16,704
BUILDING D (2 STORY)	19,200
BUILDING E	16,256
BUILDING F	11,400
PARKING LOT A	13,738
SERVICE ROAD	21,188
PARKING LOT BC	17,833
PARKING LOT DE	16,790
MAIN DRIVE, TRUCK TURNAROUND AND PARKING LOT F	53,297
TOTAL IMPERVIOUS AREA SQ. FT.>>	220,858
TOTAL IMPERVIOUS AREA ACRES>>	5.07
TOTAL ACRES 2 PARCELS	9.06
TOTAL % IMPERVIOUS	56.0%

NOTES:  
 1. STORMWATER STORAGE CHAMBERS LOCATED BENEATH ASPHALT PARKING AREAS WHERE SHOWN.



ID	STORMTECH LOCATION	CHAMBER TYPE	CHAMBER QTY.	INSTALLED SYSTEM VOLUME (CU. FT.)	AREA OF SYSTEM (SQ. FT.)	PERIMETER OF SYSTEM (FT.)
SN6-1	PARKING LOT A	SC-740	71	5394	2840	223
SN5-1	SERVICE ROAD	SC-740	87	7185	3419	330
SN4-1	PARKING LOT BC	SC-740	136	11081	5237	312
SN3-1	PARKING LOT DE	MC-4500	65	12928	3154	232
SN2-1	PARKING LOT EF	MC-4500	65	12392	3004	338



"NOT FOR CONSTRUCTION"



SEAL / LOGO:

NORTH ARROW

REVISIONS

REV 1  
 NEW SHEET:  
 DSM 05/11/20

REV 2  
 REVISED PRJ TITLE:  
 DSM 05/26/20

REV 3  
 ADDED NOTE 7:  
 DSM 06/03/20

REV 4  
 MAJOR SITE REDESIGN. REVISED  
 CUT-FILL CALCULATIONS:  
 DSM 06/10/20



PROJECT

LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

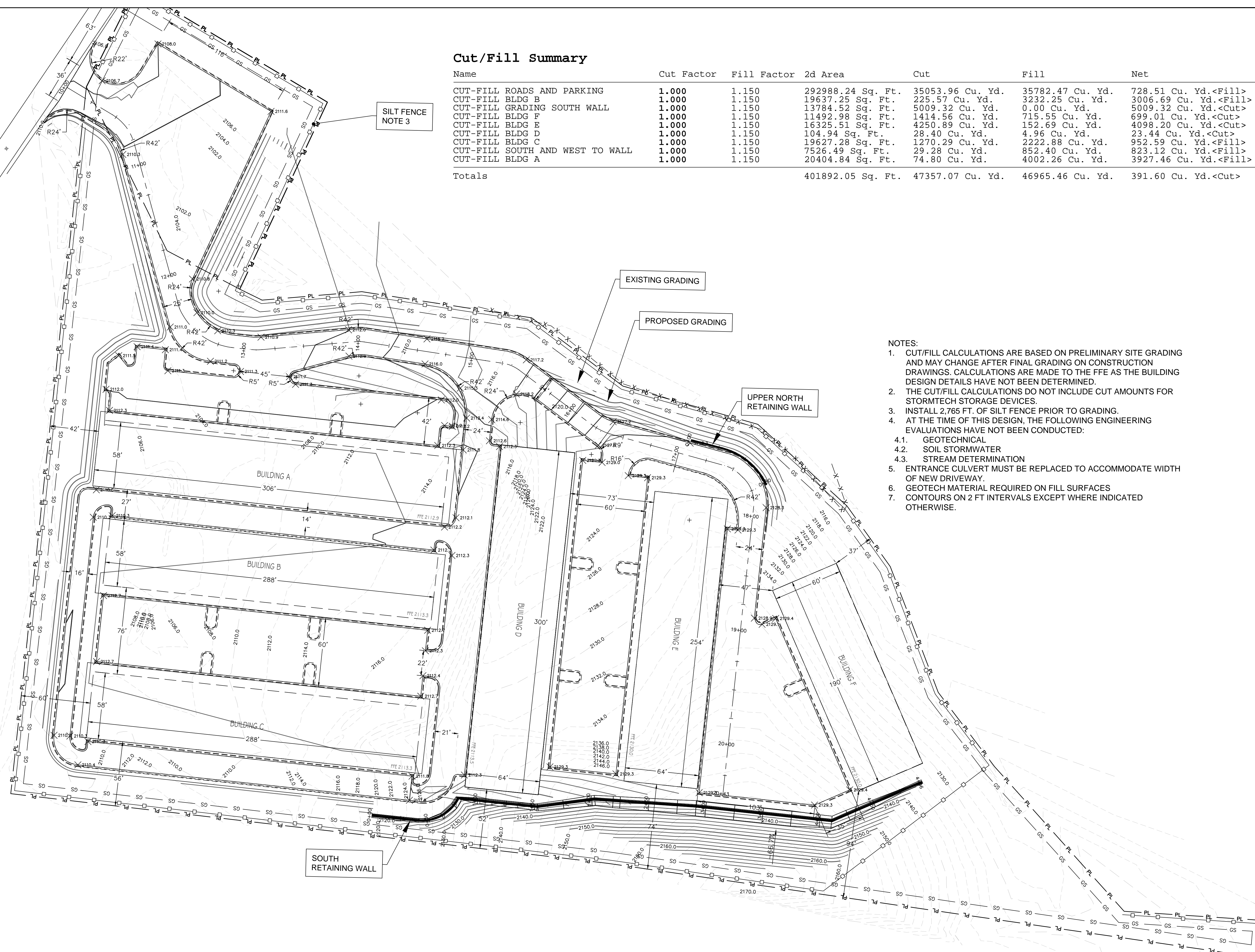
SHEET TITLE

SITE GRADING PLAN

ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	5/11/20
SCALE	1:40	SHEET	4 OF 11
DRAWN	DSM	C-3	
CHECKED	TMG		
APPR. BY	TMG		

### Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
CUT-FILL ROADS AND PARKING	1.000	1.150	292988.24 Sq. Ft.	35053.96 Cu. Yd.	35782.47 Cu. Yd.	728.51 Cu. Yd.<Fill>
CUT-FILL BLDG B	1.000	1.150	19637.25 Sq. Ft.	225.57 Cu. Yd.	3232.25 Cu. Yd.	3006.69 Cu. Yd.<Fill>
CUT-FILL GRADING SOUTH WALL	1.000	1.150	13784.52 Sq. Ft.	5009.32 Cu. Yd.	0.00 Cu. Yd.	5009.32 Cu. Yd.<Cut>
CUT-FILL BLDG F	1.000	1.150	11492.98 Sq. Ft.	1414.56 Cu. Yd.	715.55 Cu. Yd.	699.01 Cu. Yd.<Cut>
CUT-FILL BLDG E	1.000	1.150	16325.51 Sq. Ft.	4250.89 Cu. Yd.	152.69 Cu. Yd.	4098.20 Cu. Yd.<Cut>
CUT-FILL BLDG D	1.000	1.150	104.94 Sq. Ft.	28.40 Cu. Yd.	4.96 Cu. Yd.	23.44 Cu. Yd.<Cut>
CUT-FILL BLDG C	1.000	1.150	19627.28 Sq. Ft.	1270.29 Cu. Yd.	2222.88 Cu. Yd.	952.59 Cu. Yd.<Fill>
CUT-FILL SOUTH AND WEST TO WALL	1.000	1.150	7526.49 Sq. Ft.	29.28 Cu. Yd.	852.40 Cu. Yd.	823.12 Cu. Yd.<Fill>
CUT-FILL BLDG A	1.000	1.150	20404.84 Sq. Ft.	74.80 Cu. Yd.	4002.26 Cu. Yd.	3927.46 Cu. Yd.<Fill>
<b>Totals</b>			<b>401892.05 Sq. Ft.</b>	<b>47357.07 Cu. Yd.</b>	<b>46965.46 Cu. Yd.</b>	<b>391.60 Cu. Yd.&lt;Cut&gt;</b>



- NOTES:
- CUT/FILL CALCULATIONS ARE BASED ON PRELIMINARY SITE GRADING AND MAY CHANGE AFTER FINAL GRADING ON CONSTRUCTION DRAWINGS. CALCULATIONS ARE MADE TO THE FFE AS THE BUILDING DESIGN DETAILS HAVE NOT BEEN DETERMINED.
  - THE CUT/FILL CALCULATIONS DO NOT INCLUDE CUT AMOUNTS FOR STORMTECH STORAGE DEVICES.
  - INSTALL 2,765 FT. OF SILT FENCE PRIOR TO GRADING.
  - AT THE TIME OF THIS DESIGN, THE FOLLOWING ENGINEERING EVALUATIONS HAVE NOT BEEN CONDUCTED:
    1. GEOTECHNICAL
    2. SOIL STORMWATER
    3. STREAM DETERMINATION
  - ENTRANCE CULVERT MUST BE REPLACED TO ACCOMMODATE WIDTH OF NEW DRIVEWAY.
  - GEOTECH MATERIAL REQUIRED ON FILL SURFACES
  - CONTOURS ON 2 FT INTERVALS EXCEPT WHERE INDICATED OTHERWISE.

"NOT FOR CONSTRUCTION"



SEAL / LOGO:

NORTH ARROW



REVISIONS  
 REV 1  
 NEW SHEET;  
 DSM 05/11/20

REV 2  
 REVISED PRJ TITLE;  
 DSM 05/26/20

REV 3  
 REV'D TOTAL NUMBER OF SHEETS;  
 DSM 06/03/20



PROJECT

LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE

PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE

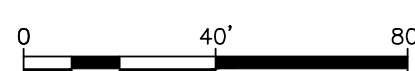
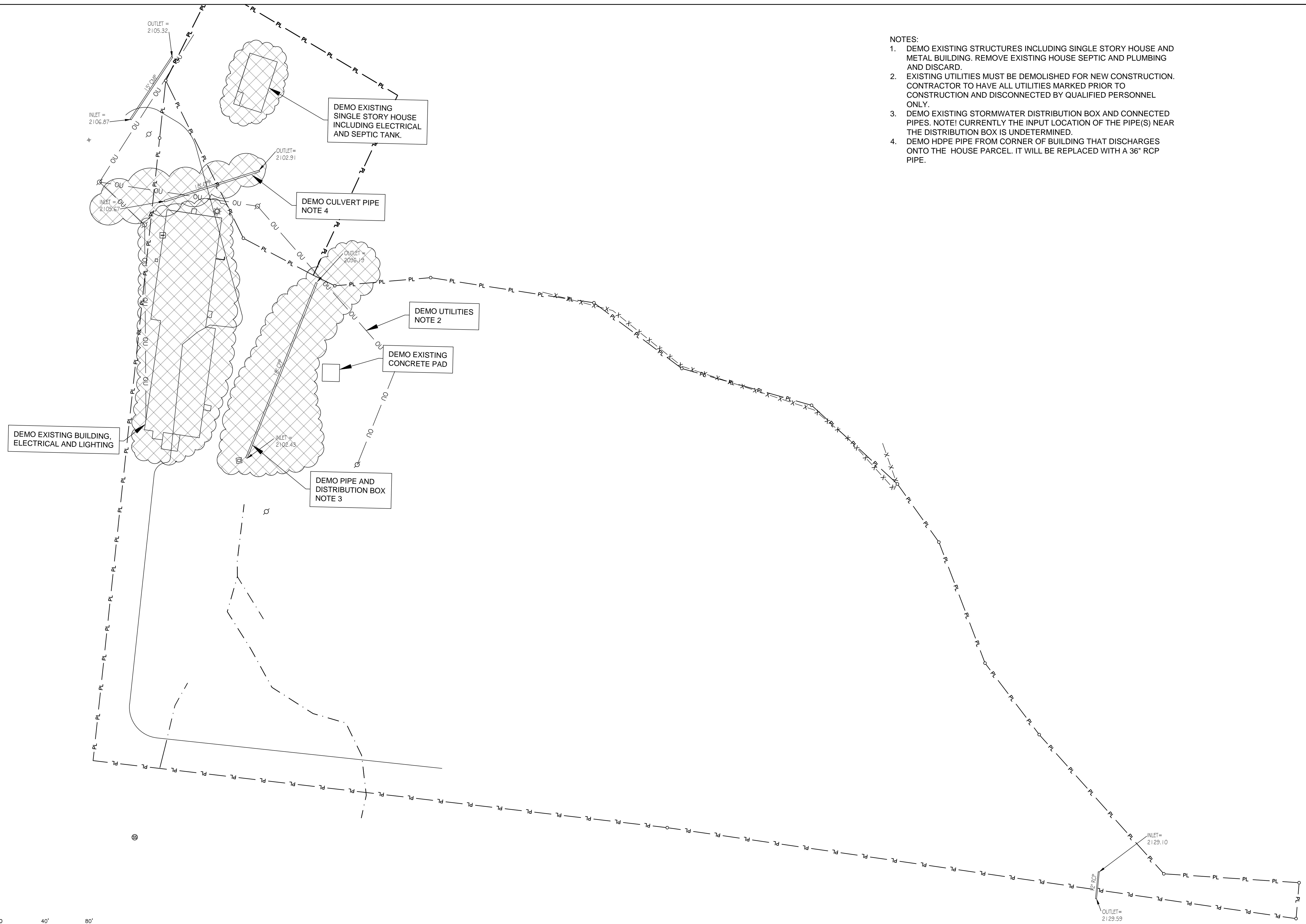
DEMOLITION PLAN

ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	05/11/20
SCALE	1:40	SHEET	5 OF 11
DRAWN	DSM		
CHECKED	TMG		
APPR. BY	TMG		

**C-4**

NOTES:

1. DEMO EXISTING STRUCTURES INCLUDING SINGLE STORY HOUSE AND METAL BUILDING. REMOVE EXISTING HOUSE SEPTIC AND PLUMBING AND DISCARD.
2. EXISTING UTILITIES MUST BE DEMOLISHED FOR NEW CONSTRUCTION. CONTRACTOR TO HAVE ALL UTILITIES MARKED PRIOR TO CONSTRUCTION AND DISCONNECTED BY QUALIFIED PERSONNEL ONLY.
3. DEMO EXISTING STORMWATER DISTRIBUTION BOX AND CONNECTED PIPES. NOTE! CURRENTLY THE INPUT LOCATION OF THE PIPE(S) NEAR THE DISTRIBUTION BOX IS UNDETERMINED.
4. DEMO HDPE PIPE FROM CORNER OF BUILDING THAT DISCHARGES ONTO THE HOUSE PARCEL. IT WILL BE REPLACED WITH A 36" RCP PIPE.



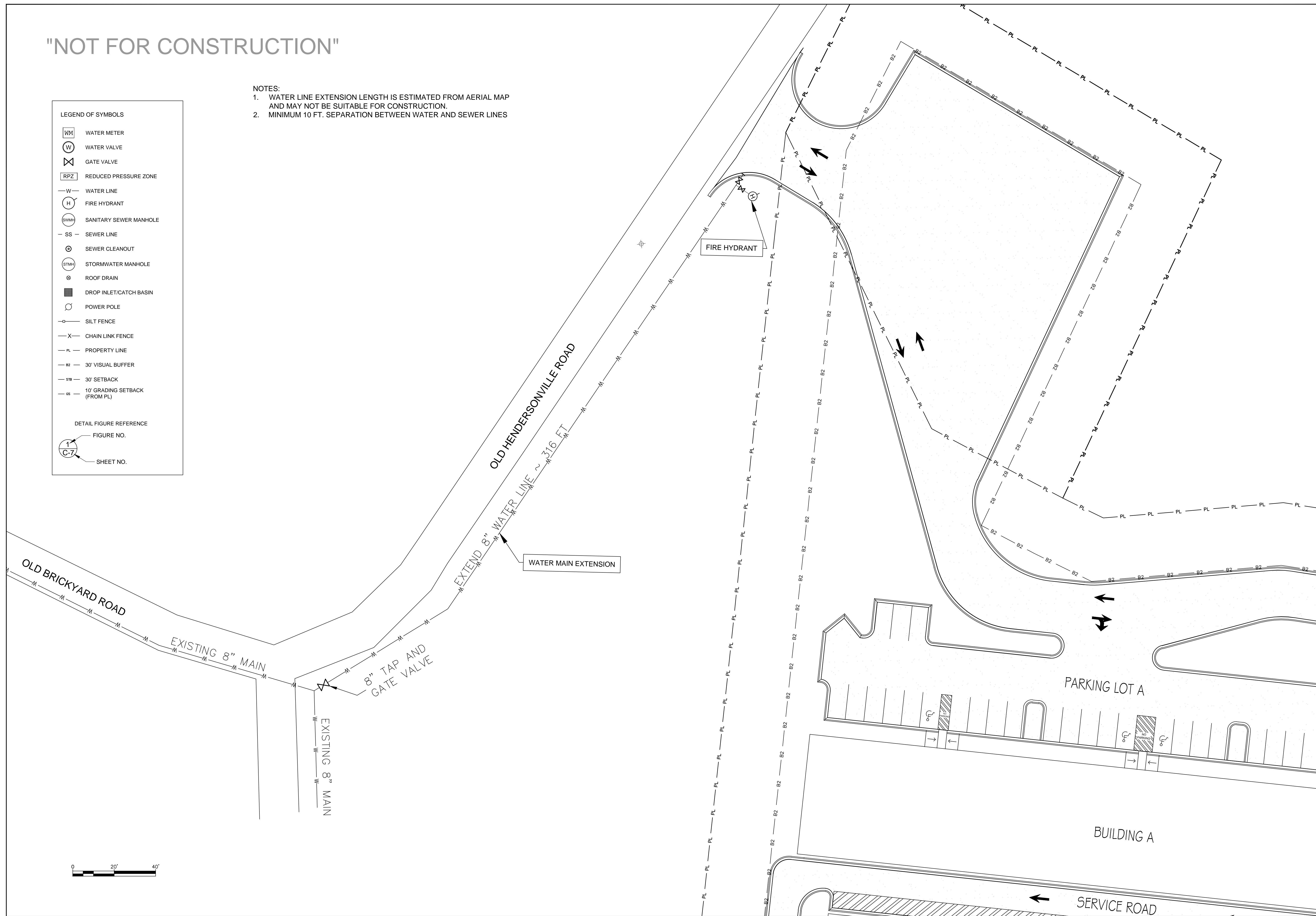
"NOT FOR CONSTRUCTION"

# "NOT FOR CONSTRUCTION"

## LEGEND OF SYMBOLS

	WATER METER
	WATER VALVE
	GATE VALVE
	REDUCED PRESSURE ZONE
	WATER LINE
	FIRE HYDRANT
	SANITARY SEWER MANHOLE
	SEWER LINE
	SEWER CLEANOUT
	STORMWATER MANHOLE
	ROOF DRAIN
	DROP INLET/CATCH BASIN
	POWER POLE
	SILT FENCE
	CHAIN LINK FENCE
	PROPERTY LINE
	30' VISUAL BUFFER
	30' SETBACK
	10' GRADING SETBACK (FROM PL)
DETAIL FIGURE REFERENCE	
	FIGURE NO.
	SHEET NO.

- NOTES:
1. WATER LINE EXTENSION LENGTH IS ESTIMATED FROM AERIAL MAP AND MAY NOT BE SUITABLE FOR CONSTRUCTION.
  2. MINIMUM 10 FT. SEPARATION BETWEEN WATER AND SEWER LINES



Griswold Engineering & Environmental PLLC  
 Civil & Environmental Engineering Consultants  
 Civil Engineer  
 Tyson Griswold, PE  
 421 5th Avenue West  
 Hendersonville, NC 28739  
 (828) 393-5820  
 engineer@tysongriswold.com

SEAL / LOGO:

NORTH ARROW

REVISIONS

- |              |                              |
|--------------|------------------------------|
| REV 1        | NEW SHEET;                   |
| DSM 05/11/20 |                              |
| REV 2        | REVISED PRJ TITLE;           |
| DSM 05/26/20 |                              |
| REV 3        | REVD TOTAL NUMBER OF SHEETS; |
| DSM 06/03/20 |                              |



PROJECT

LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE

WATER EXTENSION DETAIL

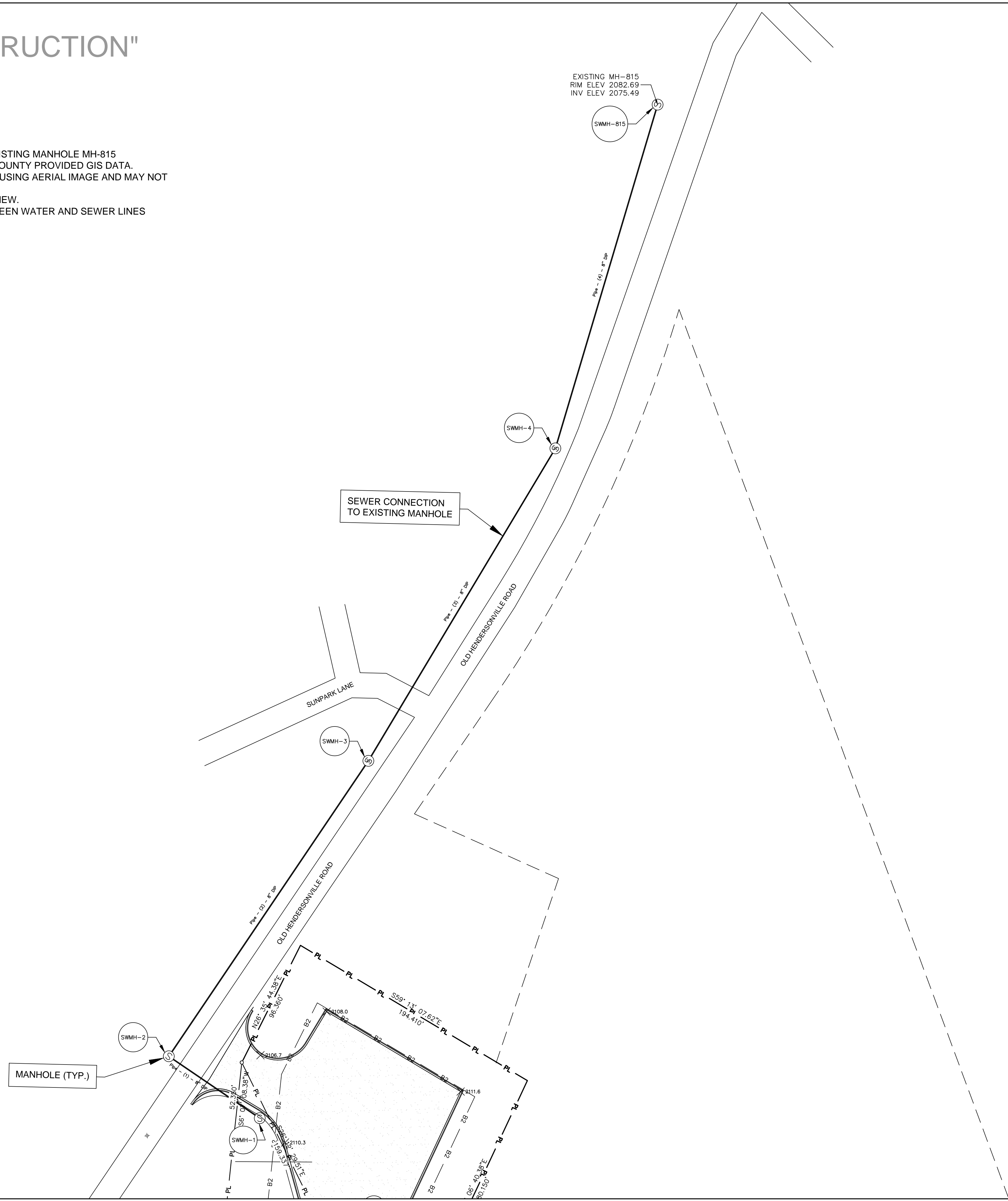
ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	05/11/20
SCALE	1:20	SHEET	6 OF 11
DRAWN	DSM		
CHECKED	TMG		
APPR. BY	TMG		

**C-5**



# "NOT FOR CONSTRUCTION"

- NOTES:
1. LOCATION AND PROPERTIES OF EXISTING MANHOLE MH-815 DETERMINED FROM HENDERSON COUNTY PROVIDED GIS DATA. SEWER PIPE EXTENSION LOCATED USING AERIAL IMAGE AND MAY NOT BE SUITABLE FOR CONSTRUCTION.
  2. SEWER MANHOLES SWMH1-4 ARE NEW.
  3. MINIMUM 10 FT. SEPARATION BETWEEN WATER AND SEWER LINES



**LEGEND OF SYMBOLS**

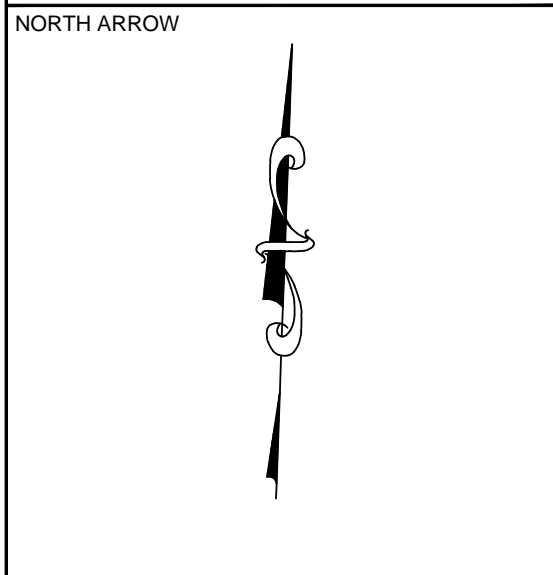
- WATER METER
- WATER VALVE
- GATE VALVE
- REDUCED PRESSURE ZONE
- WATER LINE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- SEWER LINE
- SEWER CLEANOUT
- STORMWATER MANHOLE
- ROOF DRAIN
- DROP INLET/CATCH BASIN
- POWER POLE
- SILT FENCE
- CHAIN LINK FENCE
- PROPERTY LINE
- 30' VISUAL BUFFER
- 30' SETBACK
- 10' GRADING SETBACK (FROM PL)

**DETAIL FIGURE REFERENCE**

- FIGURE NO.
- SHEET NO.

Griswold Engineering & Environmental PLLC  
 Civil & Environmental Engineering Consultants  
 Civil Engineer  
 Tyson Griswold, PE  
 421 5th Avenue West  
 Hendersonville, NC 28739  
 (828) 393-5820  
 engineer@tysongriswold.com

SEAL / LOGO:



REVISIONS  
 REV 1  
 NEW SHEET;  
 DSM 05/11/20

REV 2  
 REVISED PRJ TITLE;  
 DSM 05/26/20

REV 3  
 REV'D TOTAL NUMBER OF SHEETS;  
 DSM 06/03/20



PROJECT  
 LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE  
 SEWER CONNECTION TO EXISTING MANHOLE

ISSUED FOR	APPR	DWG NO.	HEC-120220
ISSUED DATE	06/10/20	DWG DATE	05/11/20
SCALE	1:40	SHEET	7 OF 11
DRAWN	DSM	<b>C-6</b>	
CHECKED	TMG		
APPR. BY	TMG		

"NOT FOR CONSTRUCTION"

Griswold Engineering & Environmental PLLC  
 Civil Engineer  
 Tyson Griswold, PE  
 421 5th Avenue West  
 Hendersonville, NC 28739  
 (828) 393-5820  
 engineer@tysongriswold.com

SEAL / LOGO:

NORTH ARROW

REVISIONS  
 REV 2 DRIVEWAY MOVED TO NORTH SIDE OF PROPERTY;  
 DSM 05/11/20

REV 3 REVISED PRJ TITLE;  
 DSM 05/26/20

REV 4 REV'D TOTAL NUMBER OF SHEETS;  
 DSM 06/03/20

REV 5 REVISED ACCORDING TO SITE REDESIGN;  
 DSM 06/10/20

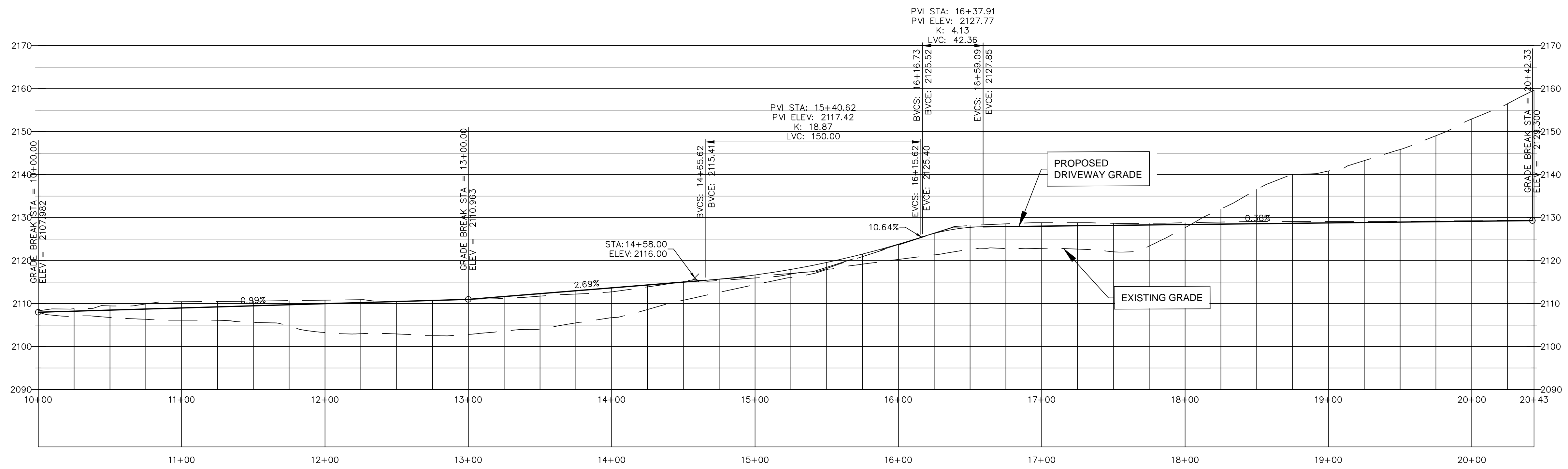


PROJECT  
 LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

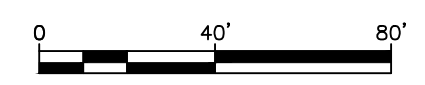
SHEET TITLE  
 MAIN DRIVE PROFILE

ISSUED FOR: APPR	DWG NO: HEC-120220
ISSUED DATE: 06/10/20	DWG DATE: 05/11/20
SCALE: 1:40	SHEET 8 OF 11
DRAWN: DSM	
CHECKED: TMG	
APPR. BY: TMG	

C-7



3X VERTICAL EXAGGERATION



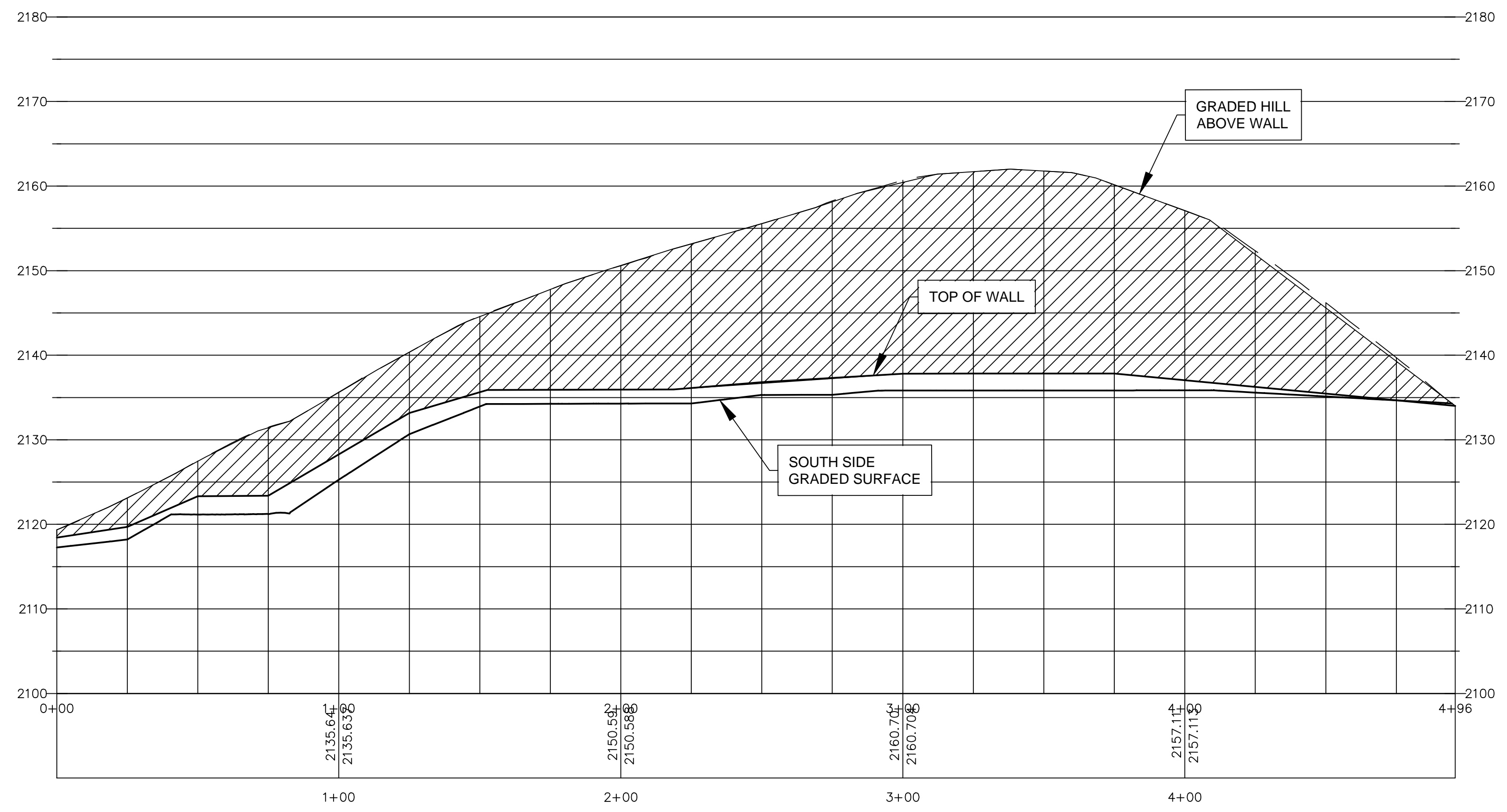


# "NOT FOR CONSTRUCTION"

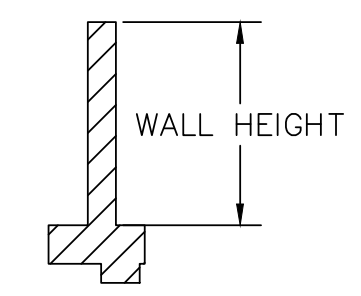
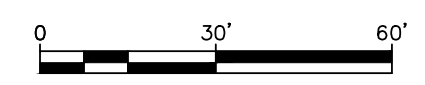
NOTES:  
 1. THE RETAINING WALL DETAILS SHOWN ON THIS SHEET ARE INTENDED TO SHOW THE PROPOSED HEIGHT REQUIRED TO ACHIEVE GRADING OF THE SOUTH SLOPE. THE ACTUAL DESIGN OF THE RETAINING WALL IS NOT THE RESPONSIBILITY OF TYSON GRISWOLD PE.

RETAINING WALL HEIGHT

STATION ID	WALL HEIGHT
0+0	3.5 FT
0+25	4.5 FT
0+50	6.5 FT
0+75	6.5 FT
0+100	7.5 FT
1+0	7.5 FT
1+25	4.5 FT
1+50	4.5 FT
1+75	4.5 FT
2+0	4.5 FT
2+25	4.5 FT
2+50	4.5 FT
2+75	4.5 FT
3+0	6.0 FT
3+25	6.0 FT
3+50	6.0 FT
3+75	6.0 FT
4+0	4.5 FT



3X VERTICAL EXAGGERATION



RETAINING WALL SECTION

Griswold Engineering & Environmental PLLC  
 Civil Engineer  
 Tyson Griswold, PE  
 421 5th Avenue West  
 Hendersonville, NC 28739  
 (828) 393-5820  
 engineer@tysongriswold.com

SEAL / LOGO:

NORTH ARROW

REVISIONS

- REV 1  
NEW SHEET:  
DSM 05/11/20
- REV 2  
REVISED PRJ TITLE:  
DSM 05/26/20
- REV 3  
REV'D TOTAL NUMBER OF SHEETS:  
DSM 06/03/20



PROJECT

LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE

PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE

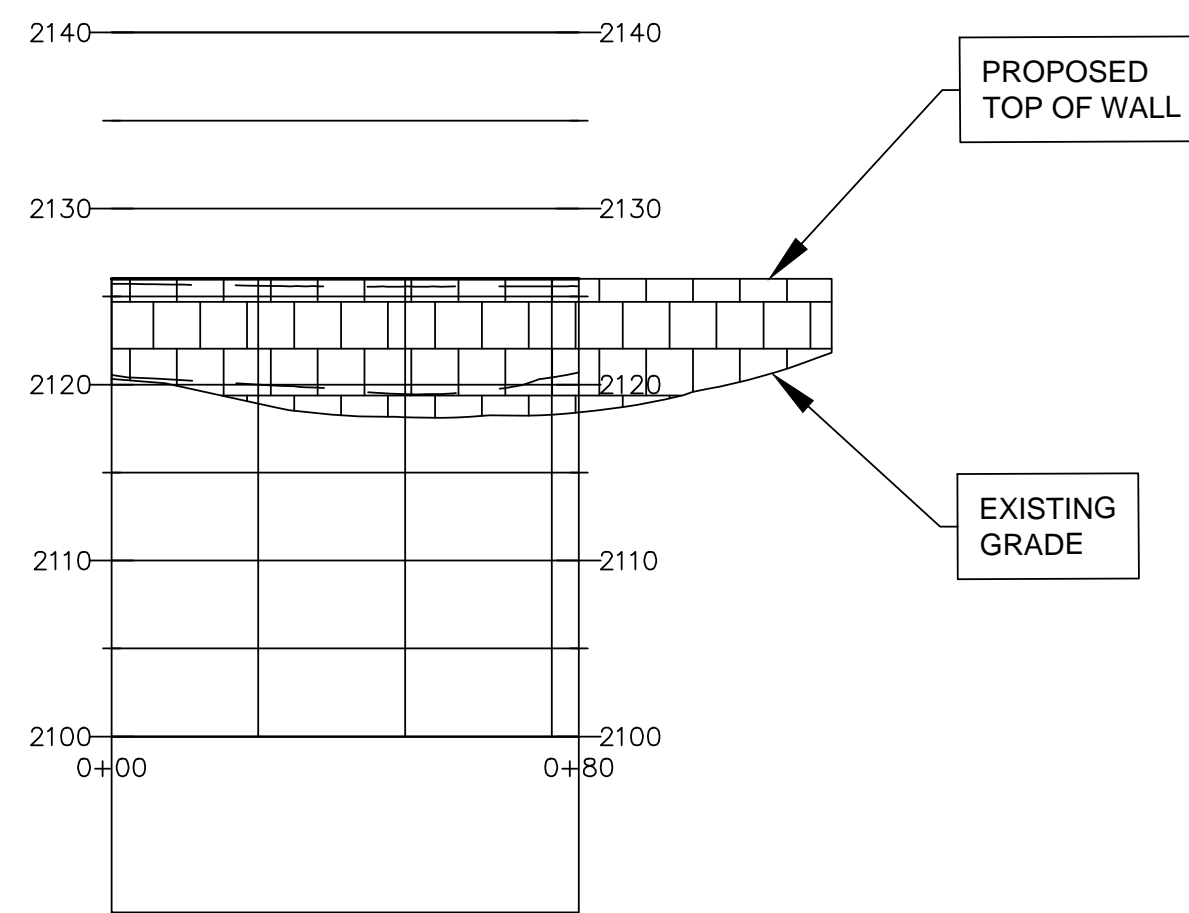
SOUTH RETAINING WALL PROFILE

ISSUED FOR: APPR	DWG NO: HEC-120220
ISSUED DATE: 06/10/20	DWG DATE: 05/11/20
SCALE: 1:30	SHEET: 9 OF 11
DRAWN: DSM	
CHECKED: TMG	
APPR. BY: TMG	

C-8

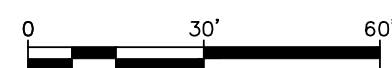
# "NOT FOR CONSTRUCTION"

- NOTES:
1. THE RETAINING WALL DETAIL SHOWN ON THIS SHEET ARE INTENDED TO SHOW THE PROPOSED HEIGHT REQUIRED TO ACHIEVE GRADING OF THE NORTH SLOPE. THE ACTUAL DESIGN OF THE RETAINING WALL IS NOT THE RESPONSIBILITY OF TYSON GRISWOLD PE.



3X VERTICAL EXAGGERATION

UPPER NORTH RETAINING WALL PROFILE



Griswold Engineering & Environmental PLLC  
 Civil Engineer  
 Tyson Griswold, PE  
 421 5th Avenue West  
 Hendersonville, NC 28739  
 (828) 393-5820  
 engineer@tysongriswold.com

SEAL / LOGO:

NORTH ARROW

REVISIONS  
 REV 1  
 NEW SHEET:  
 DSM 05/11/20

REV 2  
 REVISED PRJ TITLE:  
 DSM 05/26/20

REV 3  
 REVD TOTAL NUMBER OF SHEETS:  
 DSM 06/03/20

REV 4  
 DELETED LOWER NORTH RETAINING WALL:  
 DSM 06/10/20



PROJECT

LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE

NORTH RETAINING WALL PROFILE

ISSUED FOR: APPR	DWG NO: HEC-120220
ISSUED DATE: 06/10/20	DWG DATE: 05/11/20
SCALE: 1:30	SHEET: 10 OF 11
DRAWN: DSM	
CHECKED: TMG	
APPR. BY: TMG	

C-9



SEAL / LOGO:

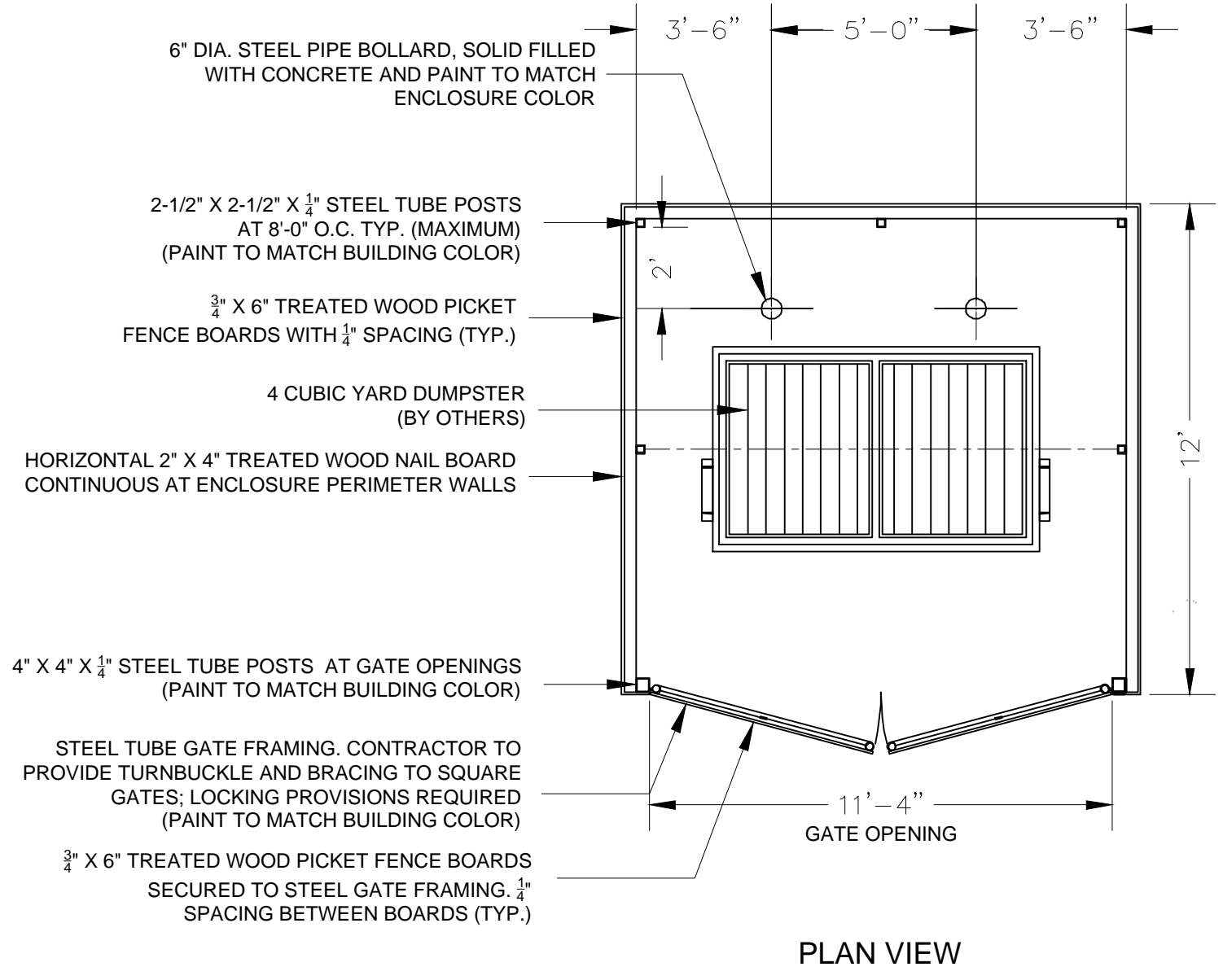
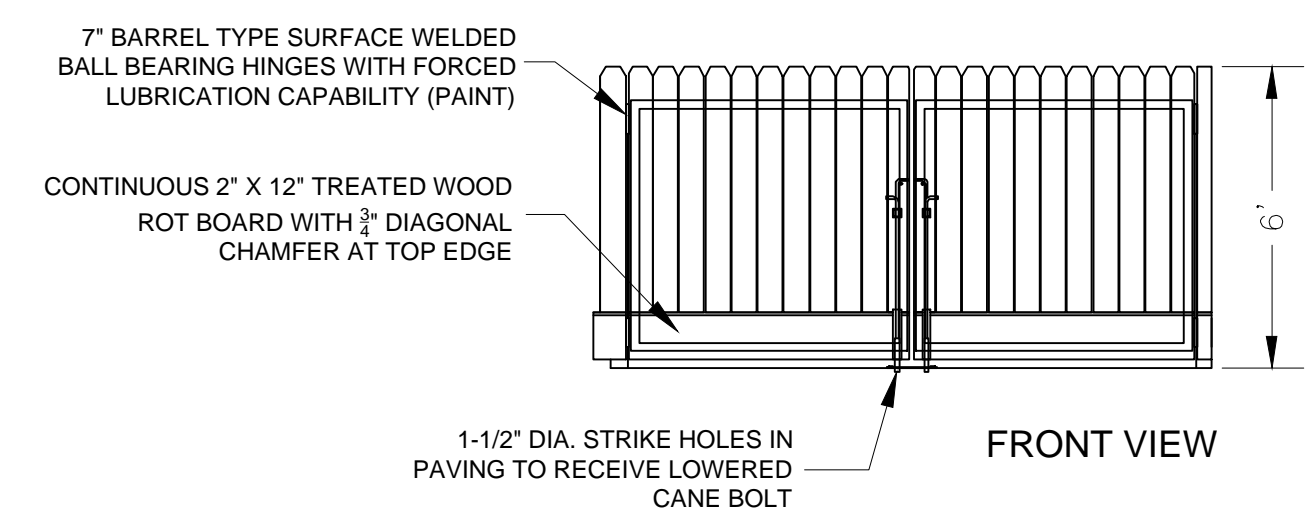
NORTH ARROW

REVISIONS  
 REV 1  
 NEW SHEET:  
 DSM 06/03/20



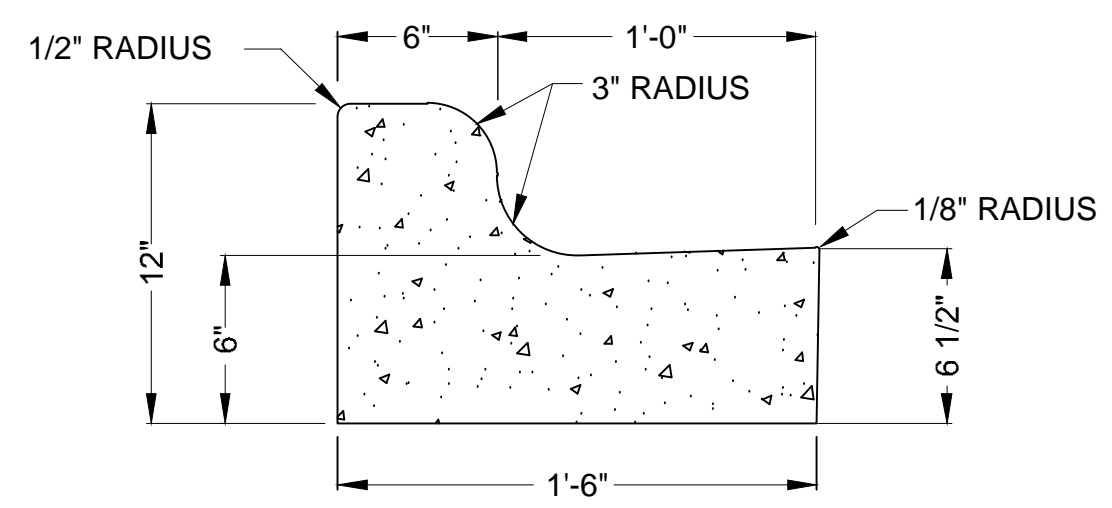
PROJECT  
 LEGACY PLACE  
 INDUSTRIAL/MANUFACTURING  
 FLEX SPACE  
 PIN# 9652638332  
 AND PIN# 9652635740  
 HENDERSON COUNTY

SHEET TITLE  
 SITE DETAILS

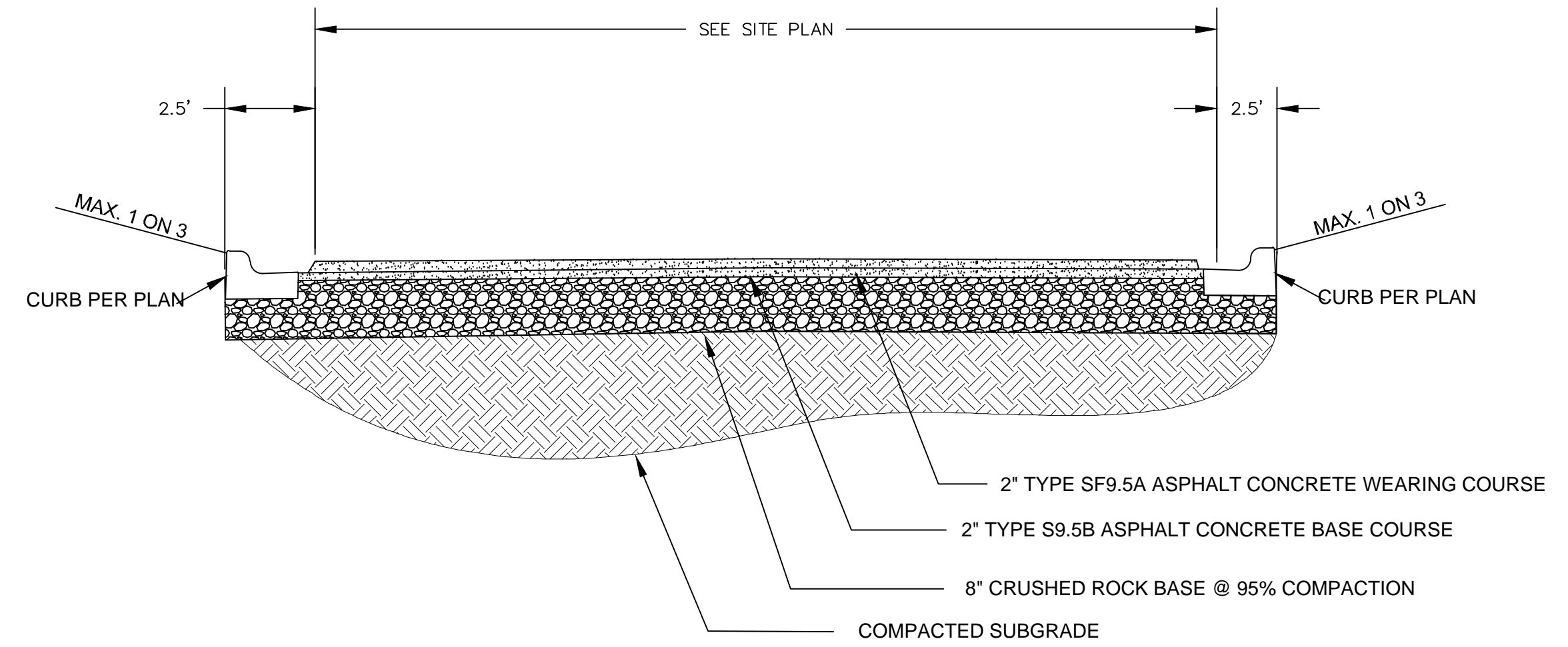


1 STANDARD DUMPSTER SCREENING  
 C-10

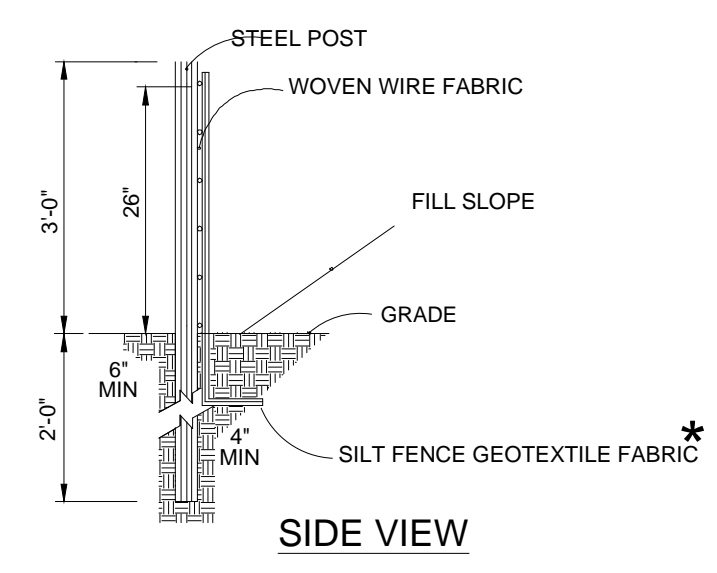
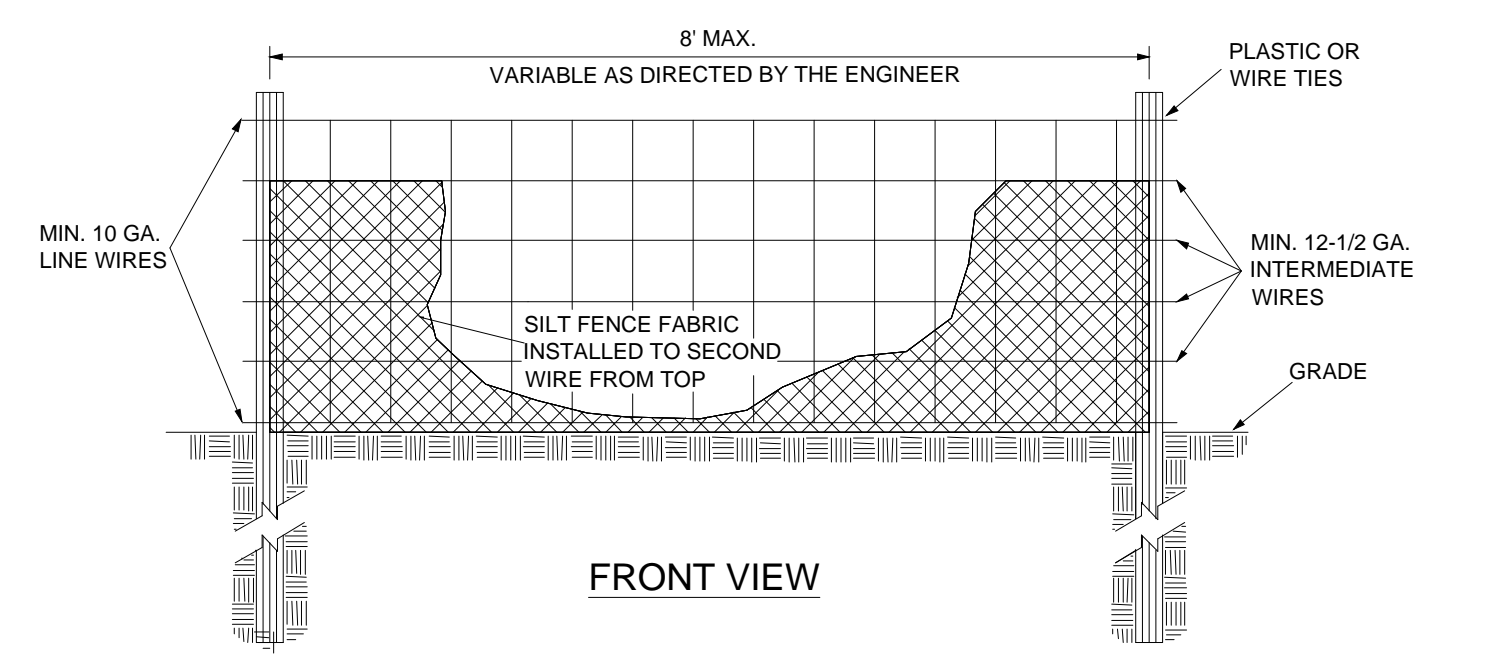
"NOT FOR CONSTRUCTION"



3 STANDARD CURB AND GUTTER DETAIL  
 C-10



4 PAVEMENT SECTION  
 C-10



- NOTES:
1. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE
  2. END OF SILT FENCE NEEDS TO BE TURNED UPHILL
  3. SEE N.C. STATE DENR PRACTICE STANDARDS & SPECIFICATIONS SEDIMENT FENCE SET FOR CONDITIONS WHERE PRACTICE APPLIES; PLANNING CONSIDERATIONS & DESIGN CRITERIA

MAINTENANCE: CLEAN OUT AT 50% CAPACITY  
 LIFE OF FENCING: 6-9 MONTHS

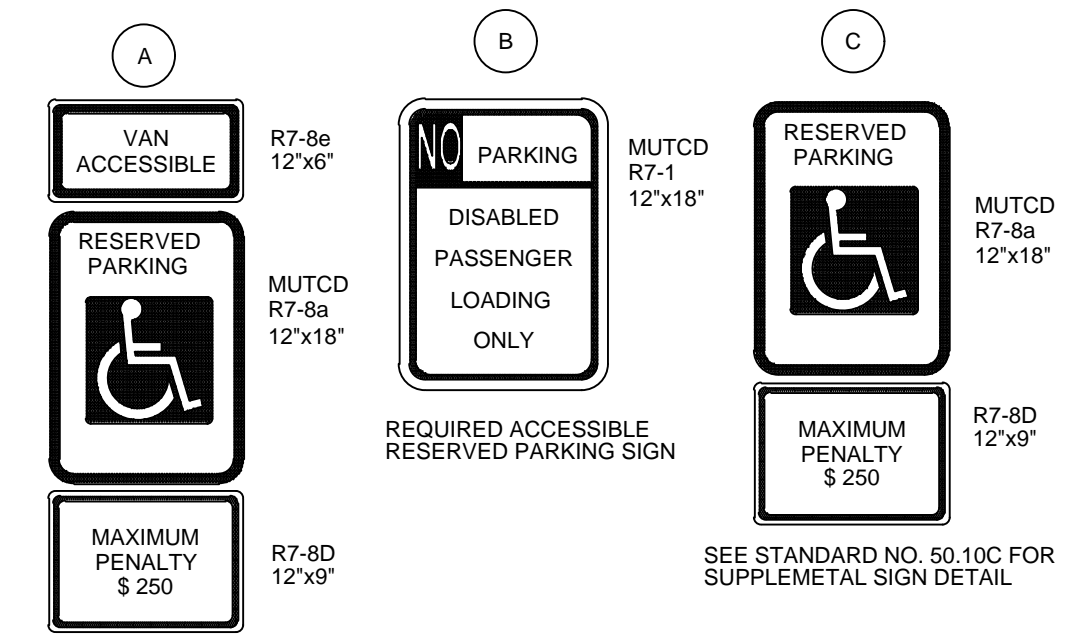
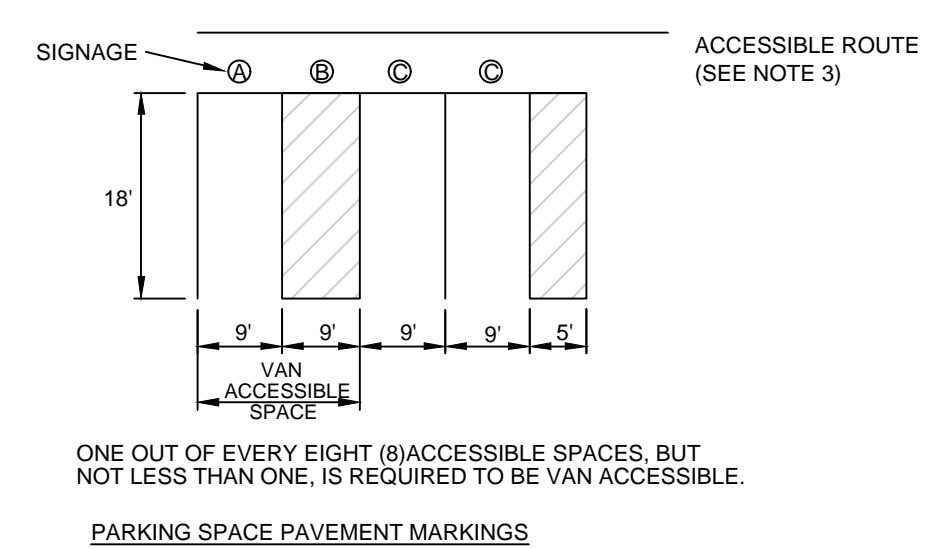
2 STANDARD TEMPORARY (SEDIMENT/SILT) FENCE  
 C-10

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	1
301 TO 400	8	1
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 8 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 8 ACCESSIBLE SPACES

SECTION 4.1.2 (5) OF THE AMERICANS WITH DISABILITIES ACT (ADA).  
 SEE 4.1.2.(5) (d) FOR MEDICAL CARE FACILITIES

- NOTES:
1. ALL 12"x18" ACCESSIBLE SIGNS (R7-8a & R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD) MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
  2. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
  3. IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.



SEE STANDARD NO. 50.10B & 50.10C FOR SUPPLEMENTAL SIGN DETAIL.

5 ACCESSIBLE PARKING REQUIREMENTS  
 C-10