

REQUEST FOR COMMITTEE ACTION

HENDERSON COUNTY

TECHNICAL REVIEW COMMITTEE

MEETING: June 4, 2019

SUBJECT: Major Site Plan Review Broadway Group

PRESENTER: Toby Linville

ATTACHMENTS: Staff Report

SUMMARY OF REQUEST: Applicant requesting permits for Retail Sales and Service

**Suggested Motion: I move that the TRC approve the major site plan for Broadway
Group Retail Sales**



Henderson County, North Carolina Code Enforcement Services

1. Committee Request

- 1.1. **Applicant:** The Broadway Group, LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9575643849
- 1.4. **Size:** 1.42 acres +/-
- 1.5. **Location:** The subject area is located off Old US 25 Hwy at Tuxedo St
- 1.6. **Supplemental Requirements:**

SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (*Gross Floor Area*)

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

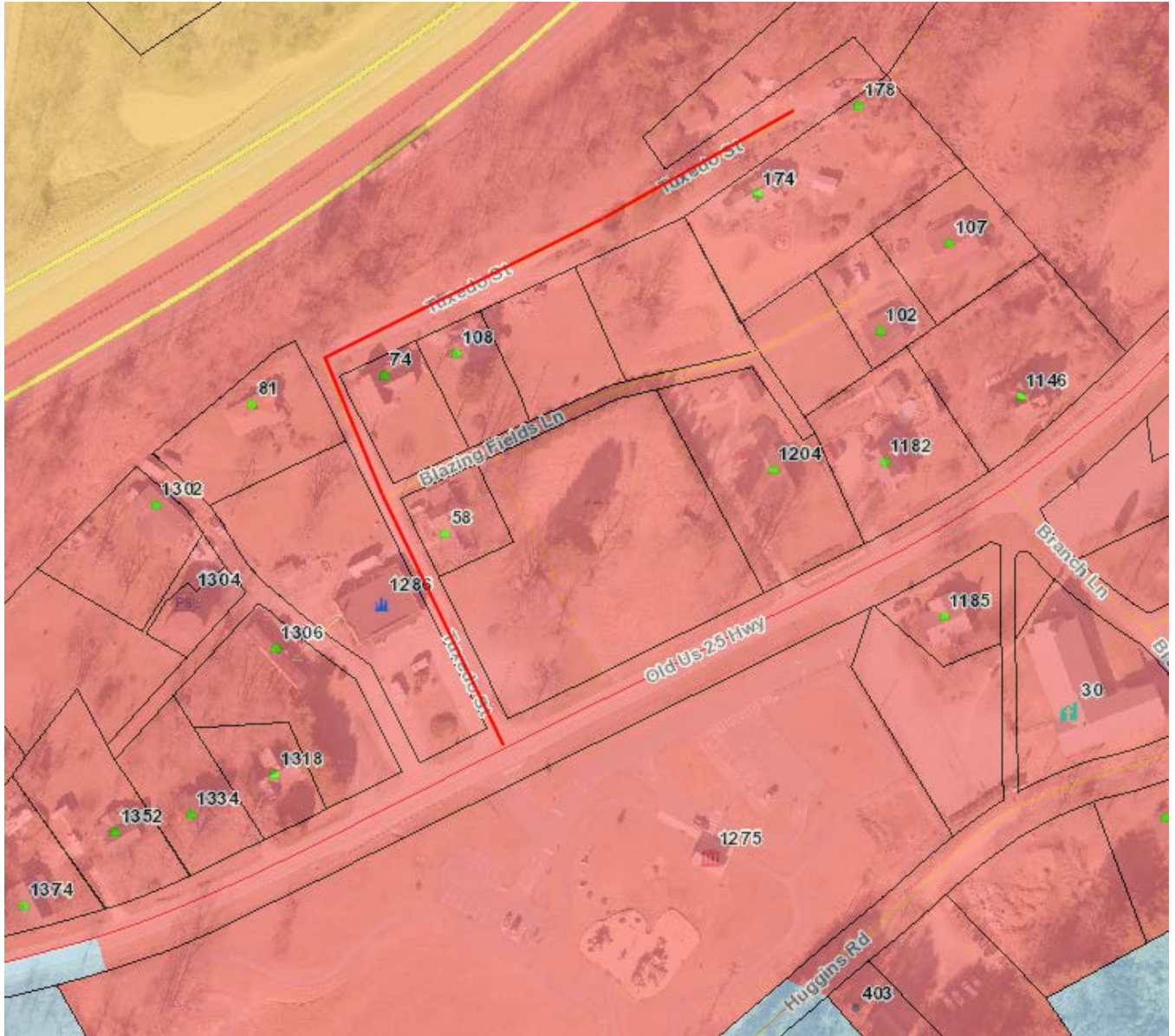
2. Current Conditions

2.1 Current Use: This parcel currently is currently vacant

2.2 Adjacent Area Uses: The surrounding properties consist of mixed residential and commercial uses.

2.3 Zoning: The surrounding properties are Local Commercial Commercial.

Map B: Current Zoning



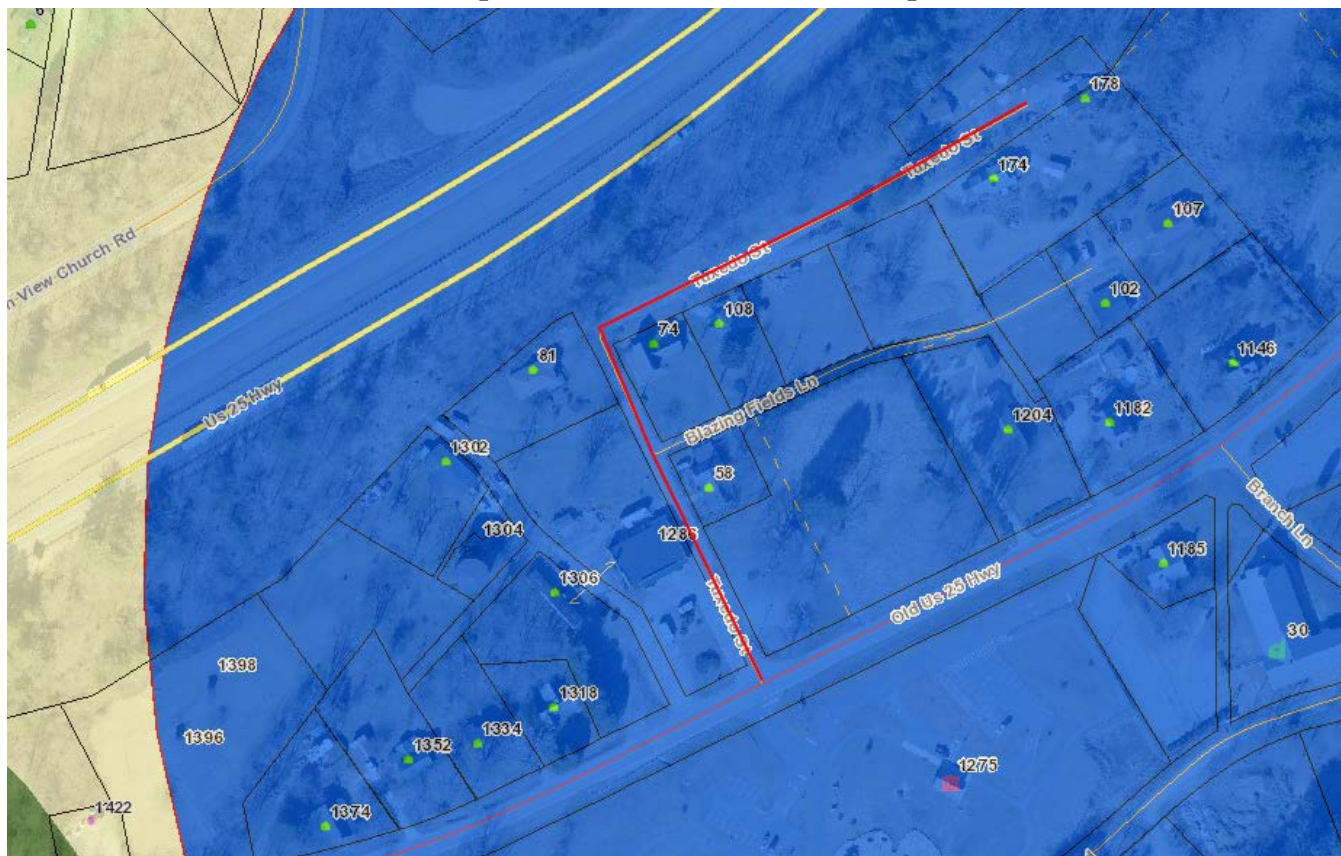
3. Floodplain /Watershed Protection The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.

4. Water and Sewer Aqua NC water or well and septic system will serve this property.

Public Water: Aqua NC

Public Sewer: n/a

Map C: CCP Future Land Use Map



5. Staff Comments

The 2020 CCP: The CCP Future Land Use Map places the Subject Area in the Community Service Center Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

1. *Community Service Centers* are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. *Community Service Centers* are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and *Community Facilities* such as schools, parks, community centers, and other similar *Community Facilities*. The mixture and intensity of land uses contained within *Community Service Centers* are intended to be appropriate within the context of the surrounding community and intended service area. *Community Service Centers* should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.

6. Staff Recommendations

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

7. **Photographs**



**HENDERSON COUNTY
MAJOR SITE PLAN REVIEW APPLICATION**

CONTACT INFORMATION

Property Owner:

Name: The Broadway Group, LLC Phone: (256) 533-7287

Complete Address: P.O. Box 18968 Huntsville, AL

Applicant:

Name: The Broadway Group, LLC Phone: (256) 533-7287

Complete Address: P.O. Box 18968 Huntsville, AL

Agent:

Name: _____ Phone: _____

Complete Address: _____

Agent Form (Circle One): Yes No

Plan Preparer:

Name: Civil Design Concepts, PA Phone: (828) 252-5388

Complete Address: 168 Patton Ave. Asheville, NC 28801

GENERAL INFORMATION

Date of Application: _____

Site Plan Attached (Circle One): Yes No

PARCEL INFORMATION

PIN: 9575-64-3849

Tract Size (Acres): 1.423 AC

Zoning District: LC

Fire District: Green River Fire

Supplemental Requirement# _____

Watershed: Broad River

Permitted by Right _____

Floodplain: NA

Special Use Permit _____

Location / Property to be developed: Corner of Old US-25 Hwy and Tuxedo St. Approx. 1.25 miles north-east of intersection of US-25 Hwy and Green River Road.

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Received by: _____

APPLICATION IDENTIFICATION		N.C. DEPARTMENT OF TRANSPORTATION STREET AND DRIVEWAY ACCESS PERMIT APPLICATION
Driveway Permit No.	Date of Application	
County: Henderson		
Development Name: Zirconia Retail Store		

LOCATION OF PROPERTY:

Route/Road: Old US-25 Hwy

Exact Distance 1.25 Miles Feet N S E W

From the Intersection of Route No. US-25 and Route No. SR-1106 Toward Travelers Rest

Property Will Be Used For: Residential /Subdivision Commercial Educational Facilities TND Emergency Services Other

Property: is is not within _____ City Zoning Area.

AGREEMENT

- I, the undersigned property owner, request access and permission to construct driveway(s) or street(s) on public right-of-way at the above location.
- I agree to construct and maintain driveway(s) or street entrance(s) in absolute conformance with the current "Policy on Street and Driveway Access to North Carolina Highways" as adopted by the North Carolina Department of Transportation.
- I agree that no signs or objects will be placed on or over the public right-of-way other than those approved by NCDOT.
- I agree that the driveway(s) or street(s) will be constructed as shown on the attached plans.
- I agree that that driveway(s) or street(s) as used in this agreement include any approach tapers, storage lanes or speed change lanes as deemed necessary.
- I agree that if any future improvements to the roadway become necessary, the portion of driveway(s) or street(s) located on public right-of-way will be considered the property of the North Carolina Department of Transportation, and I will not be entitled to reimbursement or have any claim for present expenditures for driveway or street construction.
- I agree that this permit becomes void if construction of driveway(s) or street(s) is not completed within the time specified by the "Policy on Street and Driveway Access to North Carolina Highways".
- I agree to pay a \$50 construction inspection fee. Make checks payable to NCDOT. This fee will be reimbursed if application is denied.
- I agree to construct and maintain the driveway(s) or street(s) in a safe manner so as not to interfere with or endanger the public travel.
- I agree to provide during construction proper signs, signal lights, flaggers and other warning devices for the protection of traffic in conformance with the current "Manual on Uniform Traffic Control Devices for Streets and Highways" and Amendments or Supplements thereto. Information as to the above rules and regulations may be obtained from the District Engineer.
- I agree to indemnify and save harmless the North Carolina Department of Transportation from all damages and claims for damage that may arise by reason of this construction.
- I agree that the North Carolina Department of Transportation will assume no responsibility for any damages that may be caused to such facilities, within the highway right-of-way limits, in carrying out its construction.
- I agree to provide a Performance and Indemnity Bond in the amount specified by the Division of Highways for any construction proposed on the State Highway system.
- The granting of this permit is subject to the regulatory powers of the NC Department of Transportation as provided by law and as set forth in the N.C. Policy on Driveways and shall not be construed as a contract access point.
- **I AGREE TO NOTIFY THE DISTRICT ENGINEER WHEN THE PROPOSED WORK BEGINS AND WHEN IT IS COMPLETED.**

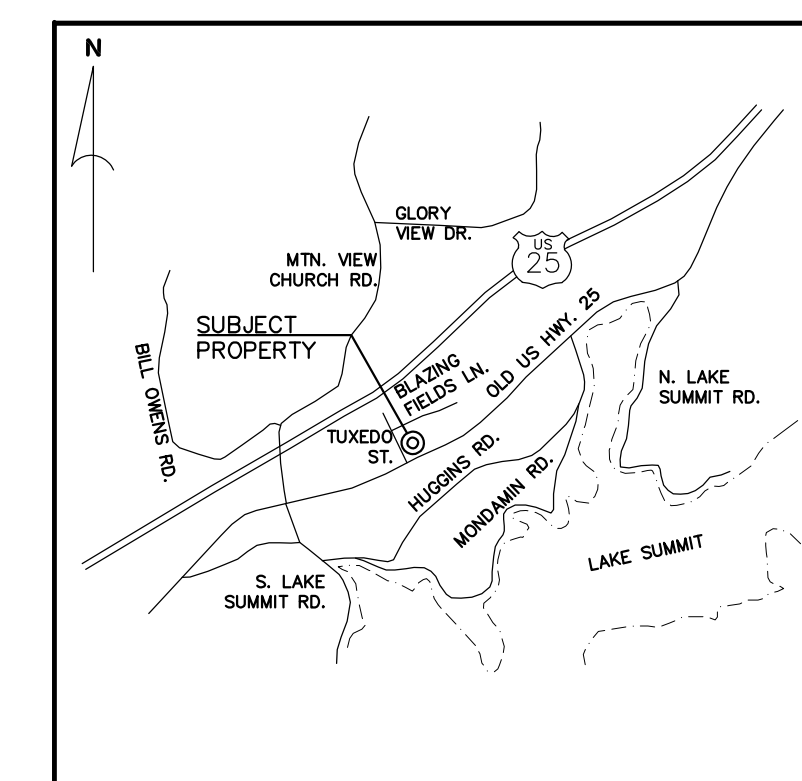
ZIRCONIA RETAIL STORE

HENDERSON COUNTY, NORTH CAROLINA

PREPARED FOR:
THE BROADWAY GROUP, LLC
 P.O. BOX 18968
 HUNTSVILLE, ALABAMA
 ROBERT M. BROADWAY
 (256) 533-7287

INDEX OF SHEETS

Sheet No.	Title
C000	COVER
--	SURVEY
C101	EXISTING CONDITIONS AND DEMOLITION PLAN
C201	SITE PLAN
C301	ROUGH GRADING AND EROSION CONTROL PLAN
C501	STORWATER PLAN
C502	STORM PROFILES
C931	EROSION CONTROL DETAILS
C932	SKIMMER BASIN DETAILS
C951	STORM DETAILS
L101	LANDSCAPE COMPLIANCE PLAN



VICINITY MAP
(NOT TO SCALE)



Know what's below.
Call before you dig.

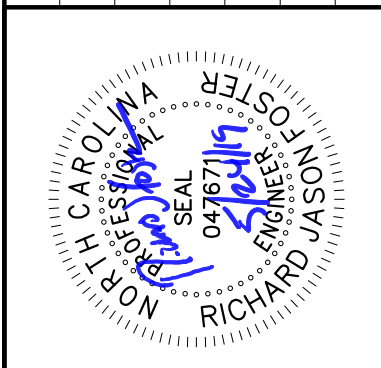
DEVELOPMENT DATA	
OWNER/DEVELOPER:	THE BROADWAY GROUP, LLC P.O. BOX 18968 HUNTSVILLE, ALABAMA ROBERT M. BROADWAY (256) 533-7287
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801 JASON FOSTER, P.E. (828) 252-5388
CONTACT:	

168 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9
WAYNEVILLE, NC 28786
PHONE (828) 252-5400
FAX (828) 455-5455

CDC Civil Design Concepts, PA
www.civildesignconcepts.com
NCELS LICENSE # C-2184

NO.	DATE	DESCRIPTION	BY
1	05/24/19	TRC SUBMITTAL	LWR



COVER FOR:

ZIRCONIA RETAIL STORE

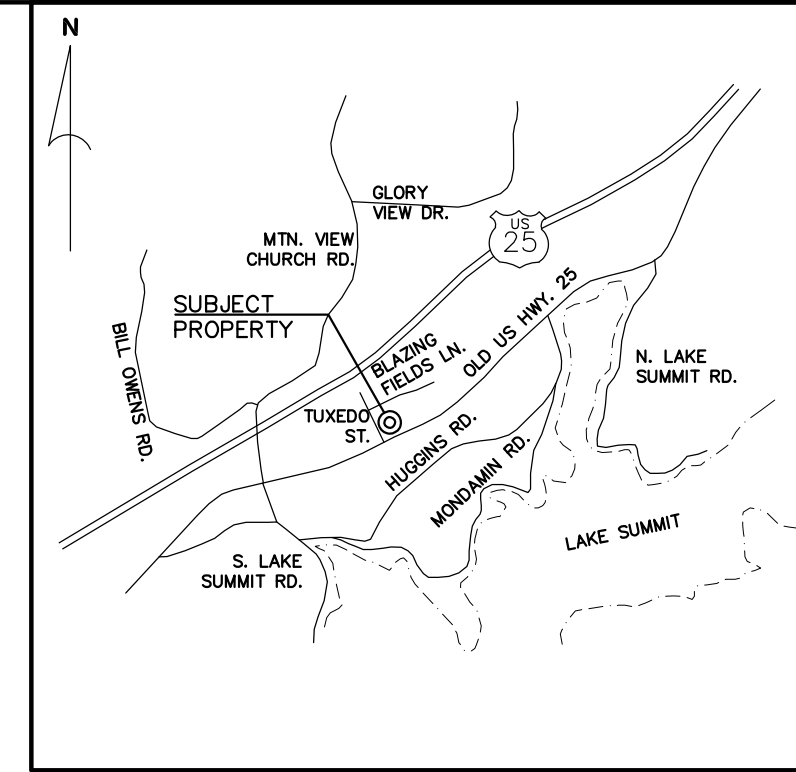
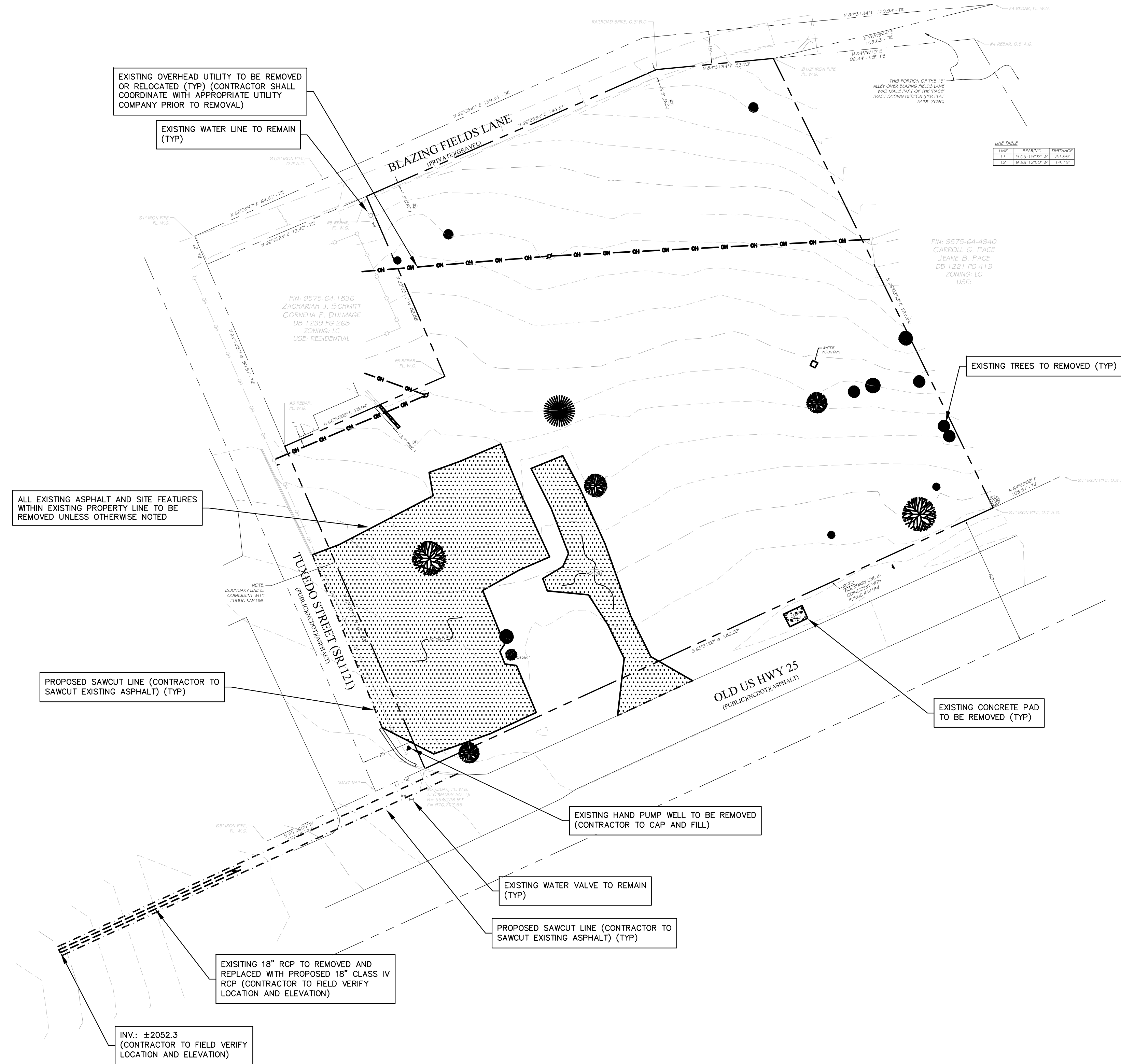
THE BROADWAY GROUP, LLC -- HENDERSON COUNTY, NORTH CAROLINA

DRAWN BY: LWR 21921
 CDC PROJECT NO.: xxx
 XXX PERMIT NO.: xxx

SHEET
C000

NOTES

1. ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
2. CONTRACTOR TO VERIFY WITH ENGINEER THAT THE REQUIRED GRADING/LAND DISTURBANCE AND DRIVEWAY PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
3. ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
4. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES CALLED OUT TO REMAIN DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULCOO AT 1-800-832-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
7. EROSION CONTROL IS FIELD PERFORMANCE BASED AND CONTRACTOR SHALL INSTALL AND MAINTAIN ANY EROSION CONTROL MEASURES NECESSARY TO ASSURE MAXIMUM PROTECTION OF THE SITE DURING DEMOLITION AND CLEARING.
8. CONTRACTOR TO COORDINATE TIMING OF DEMOLITION AND CONSTRUCTION WITH OWNER TO ENSURE EXISTING FACILITIES REMAIN ACCESSIBLE.
9. ALL DEBRIS, STRUCTURES AND UTILITIES TO BE DEMOLISHED AND REMOVED FROM THE PROJECT SITE ARE NOT SHOWN ON THIS PLAN. ANY ADDITIONAL DEBRIS, STRUCTURES AND UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHICH IN THE OPINION OF THE ENGINEER SHOULD BE DEMOLISHED AND REMOVED, SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTOR'S EXPENSE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY REQUIRED PERMITS.



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT DATA

OWNER/DEVELOPER: THE BROADWAY GROUP, LLC
P.O. BOX 18968
HUNTSVILLE, ALABAMA
ROBERT M. BROADWAY
(256) 533-7287

CONTACT:

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
158 PATTON AVENUE
ASHEVILLE, NC 28801
JASON FOSTER, P.E.
(828) 252-5388

CONTACT:

SURVEYOR: MCABEE & ASSOCIATES, P.A.
3 MCABEE TRAIL
FAIRVIEW, NC 28730
BARRY WEST, PLS
(828) 628-1295

CONTACT:

PROJECT DATA

PIN: 8575-64-3849
ADDRESS: US 25 HWY, ZIRCONIA, NC
DEED BOOK/PAGE: 896/742
SITE ACREAGE: 1.423 ACRES
ZONING: LC

SETBACKS:
FRONT: 15'
SIDES: 10'
REAR: 10'

DISTURBED AREA: 1.27 AC

PARKING CALCULATIONS:

VEHICULAR:
REQUIRED SPACES: 1 SPACE/500 SF
SPACES PROVIDED: 18
SPACES REQUIRED: 30

HANDICAPPED SPACES:
SPACES REQUIRED: 2
SPACES PROVIDED: 2

BUILDING DATA:

BUILDING	DESCRIPTION	HEIGHT	GFA
BUILDING 1	STEEL	18'	9,026 SF

IMPERVIOUS CALCULATIONS:

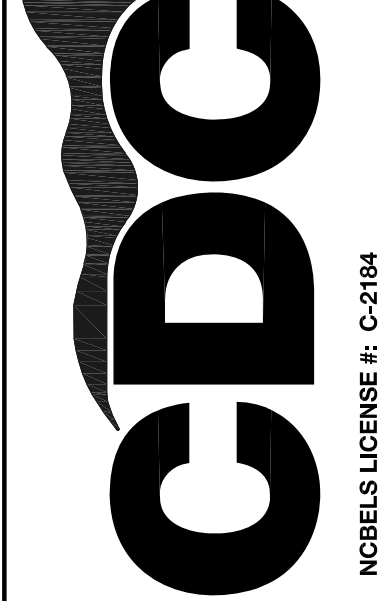
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PRE-DEVELOPMENT:	0.22 ACRES (16%)	1.20 ACRES (84%)
POST-DEVELOPMENT:	0.68 ACRES (48%)	0.74 ACRES (52%)

LANDSCAPING REQUIREMENTS: SEE L101 LANDSCAPE PLAN

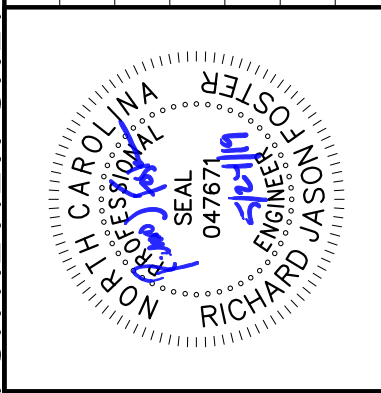
SOILS: Evc
SOIL GROUP: B

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1		05/24/19	

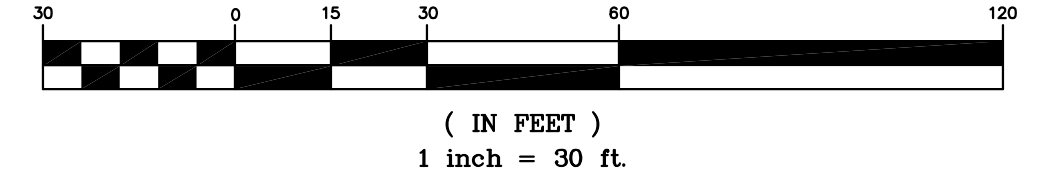


ZIRCONIA RETAIL STORE

THE BROADWAY GROUP, LLC -- HENDERSON COUNTY, NORTH CAROLINA



EXISTING CONDITIONS AND DEMOLITION PLAN
GRAPHIC SCALE



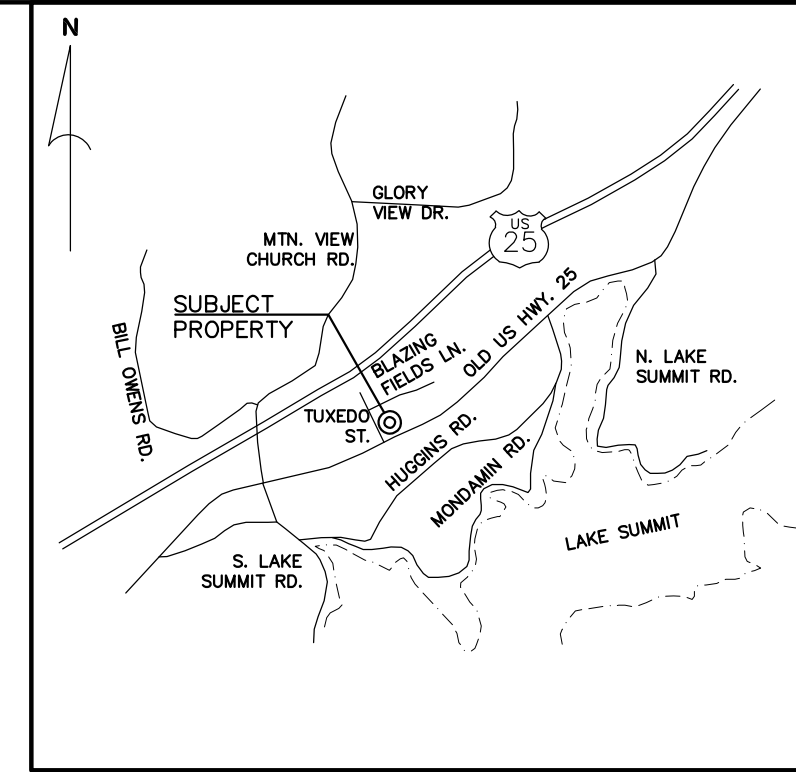
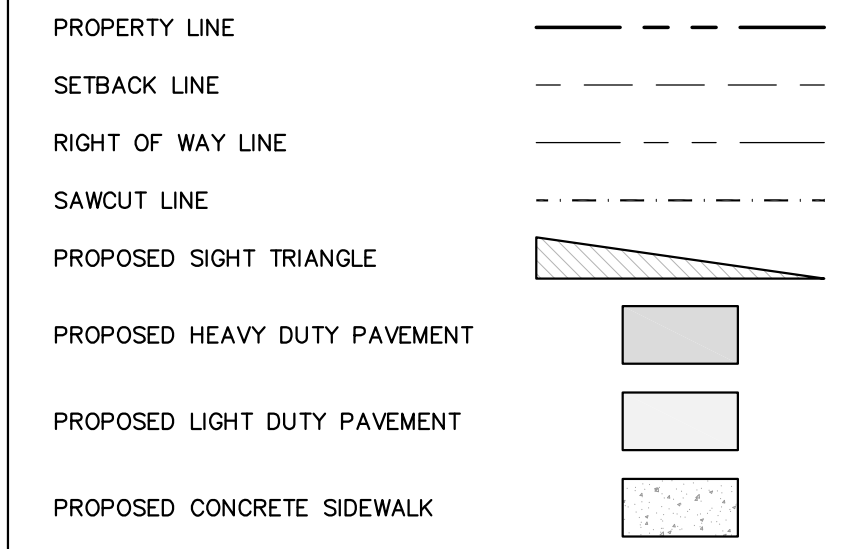
EXISTING CONDITIONS AND DEMOLITION PLAN FOR:
DRAWN BY: LWR
CDC PROJECT NO.: 21921
XXX PERMIT NO.: xxx

SHEET
C101

NOTES

1. ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
2. SINGLE-PHASE CONSTRUCTION.
3. ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
4. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES (SHOWN TO REMAIN) AND NEWLY COMPLETED WORK DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
7. SIDEWALKS SHALL BE CONSTRUCTED IN ORDER TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. A MAXIMUM OF 5% SIDEWALK/CROSSWALK LONGITUDINAL SLOPE IS PERMITTED. A MAXIMUM OF 1/4" PER FOOT SIDEWALK/CROSSWALK CROSS SLOPE IS PERMITTED. ANY SIDEWALK/CROSSWALK INSTALLED WITH A STEEPER SLOPES SHALL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
8. ALL RADII LISTED ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. ALL PARKING LOT RADII ARE 3.0' UNLESS OTHERWISE NOTED.
9. ALL ROAD/PARKING LOT IMPROVEMENTS, STRIPING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICE (MUTCD). CONTRACTOR MAY USE A PAINT SUITABLE FOR ASPHALT APPLICATION IN LIEU OF THERMOPLASTIC WITH PRIOR APPROVAL FROM THE ENGINEER.
10. CURB END TREATMENT TO BE APPLIED TO ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.

SITE LEGEND



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT DATA

OWNER/DEVELOPER: THE BROADWAY GROUP, LLC
P.O. BOX 18968
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ROBERT M. BROADWAY
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CONTACT:

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(828) 628-1295

CONTACT:

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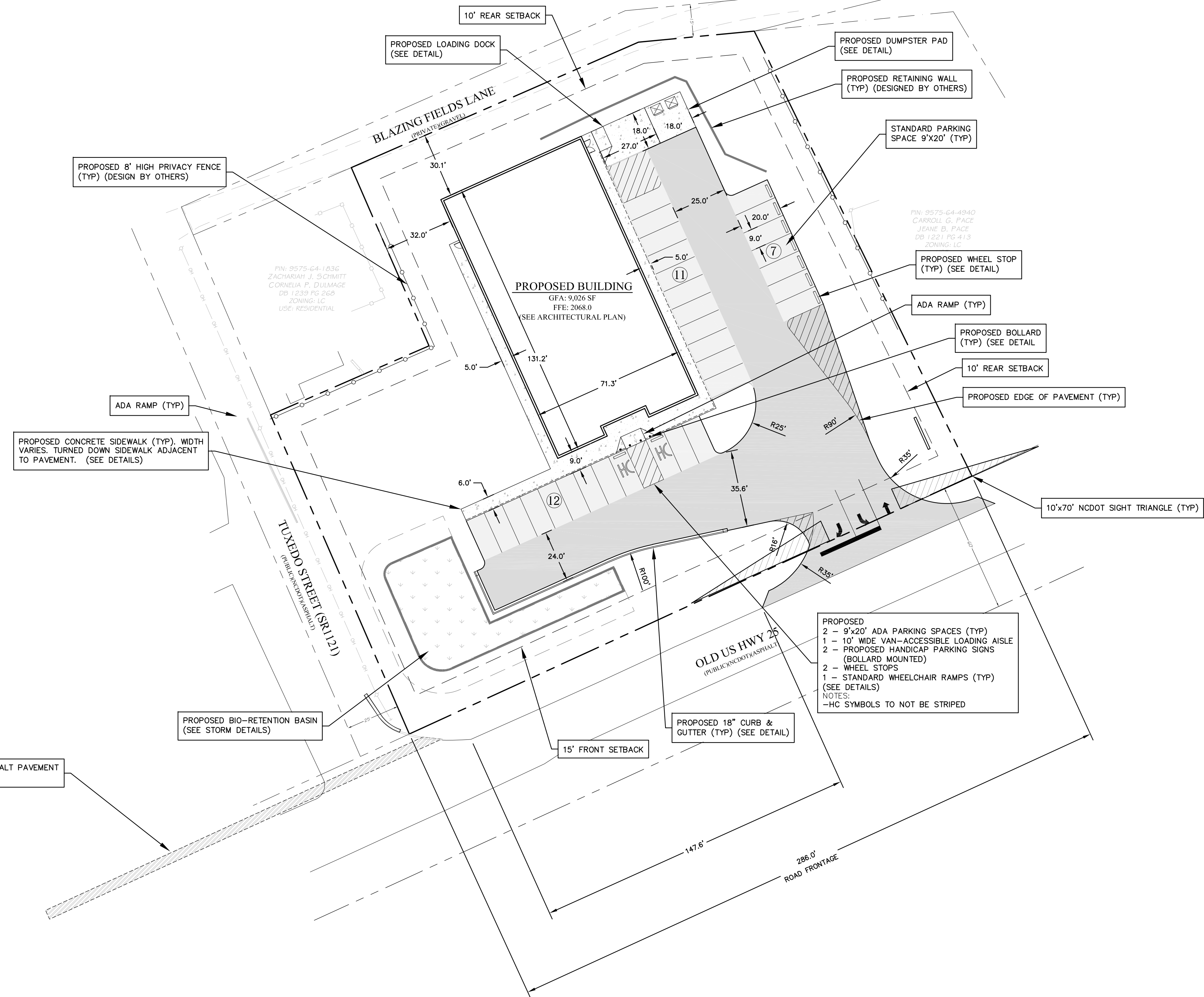
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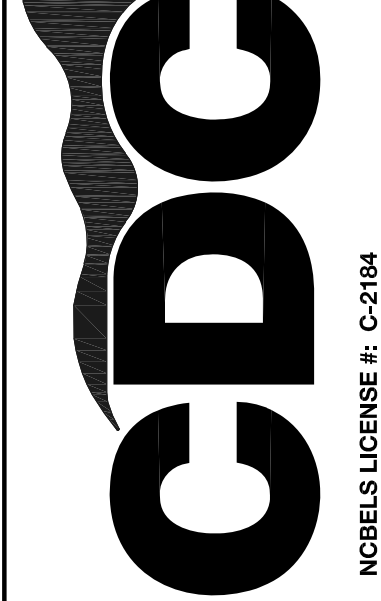
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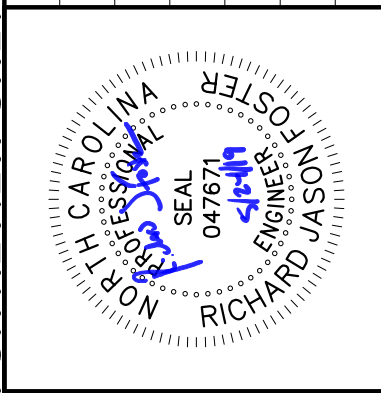
PROPOSED
2 - 9'x20' ADA PARKING SPACES (TYP)
1 - 10' WIDE VAN-ACCESSIBLE LOADING AISLE
2 - PROPOSED HANDICAP PARKING SIGNS (BOLLARD MOUNTED)
2 - WHEEL STOPS
1 - STANDARD WHEELCHAIR RAMPS (TYP) (SEE DETAILS)
NOTES:
-HC SYMBOLS TO NOT BE STRIPED

160 PATTON AVENUE
ASHEVILLE, NC 28801
PHONE (828) 252-5388
FAX (828) 252-5385

52 WALNUT STREET - SUITE 9
WAYNESVILLE, NC 27686
PHONE (828) 455-5496
FAX (828) 455-5495



LWR	TRC SUBMITTAL	DATE	DESCRIPTION
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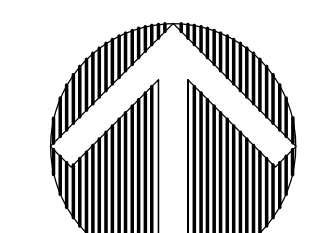


ZIRCONIA RETAIL STORE

THE BROADWAY GROUP, LLC - HENDERSON COUNTY, NORTH CAROLINA



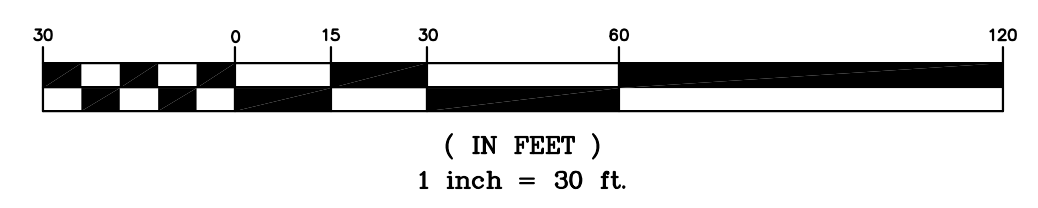
Know what's below.
Call before you dig.



NORTH

SITE PLAN

GRAPHIC SCALE



SHEET

C201

DRAWN BY: LWR
CDC PROJECT NO.: 21921
XXX PERMIT NO.: xxx

NOTES

- SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
- SOIL TYPE B.
- RETAINING WALLS:

ALL RETAINING WALL ELEVATIONS SHOWN ARE FROM TOP OF WALL TO FINISH GRADE ELEVATION. CONTRACTOR TO ACCOUNT FOR FOOTER/COVER OVER FOOTER. REFER TO WALL DESIGN FOR FOOTER DESIGN. WALL DESIGN TO ALSO ACCOMMODATE STORM PIPE PENETRATIONS PER PLANS.

WALL DESIGN TO INCLUDE FOOTING DRAIN AND MINIMUM WIDTH OF 12" OF #57 WASHED STONE BEHIND WALL FROM BOTTOM TO TOP OF WALL.

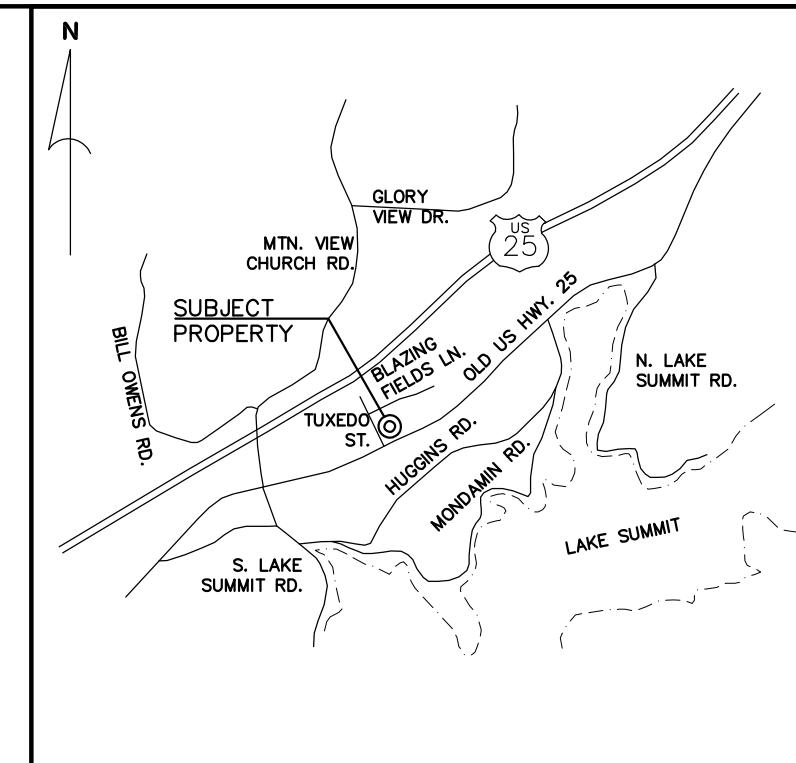
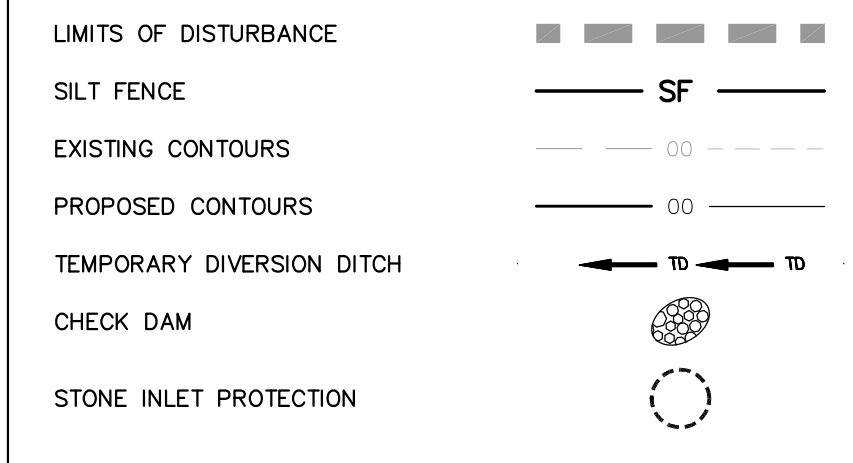
ALL RETAINING WALLS PROVIDING A CHANGE OF GRADE OF 30" OR MORE SHALL BE PROTECTED WITH A GUARDRAIL. THE GUARDRAIL SHALL BE 42" MINIMUM IN HEIGHT, AND PREVENT THE PASSAGE OF A 21" SPHERE UNLESS ADJACENT TO A WALKING SURFACE. COORDINATE BARRIER STYLE AND COLOR WITH ARCHITECT AND ENGINEER. SEE SITE PLAN FOR APPROXIMATE LOCATION OF FENCING/BARRIERS.

CONTRACTOR TO SUBMIT TO OWNER AND ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE WALL STYLE AND COLOR WITH ARCHITECT AND ENGINEER.

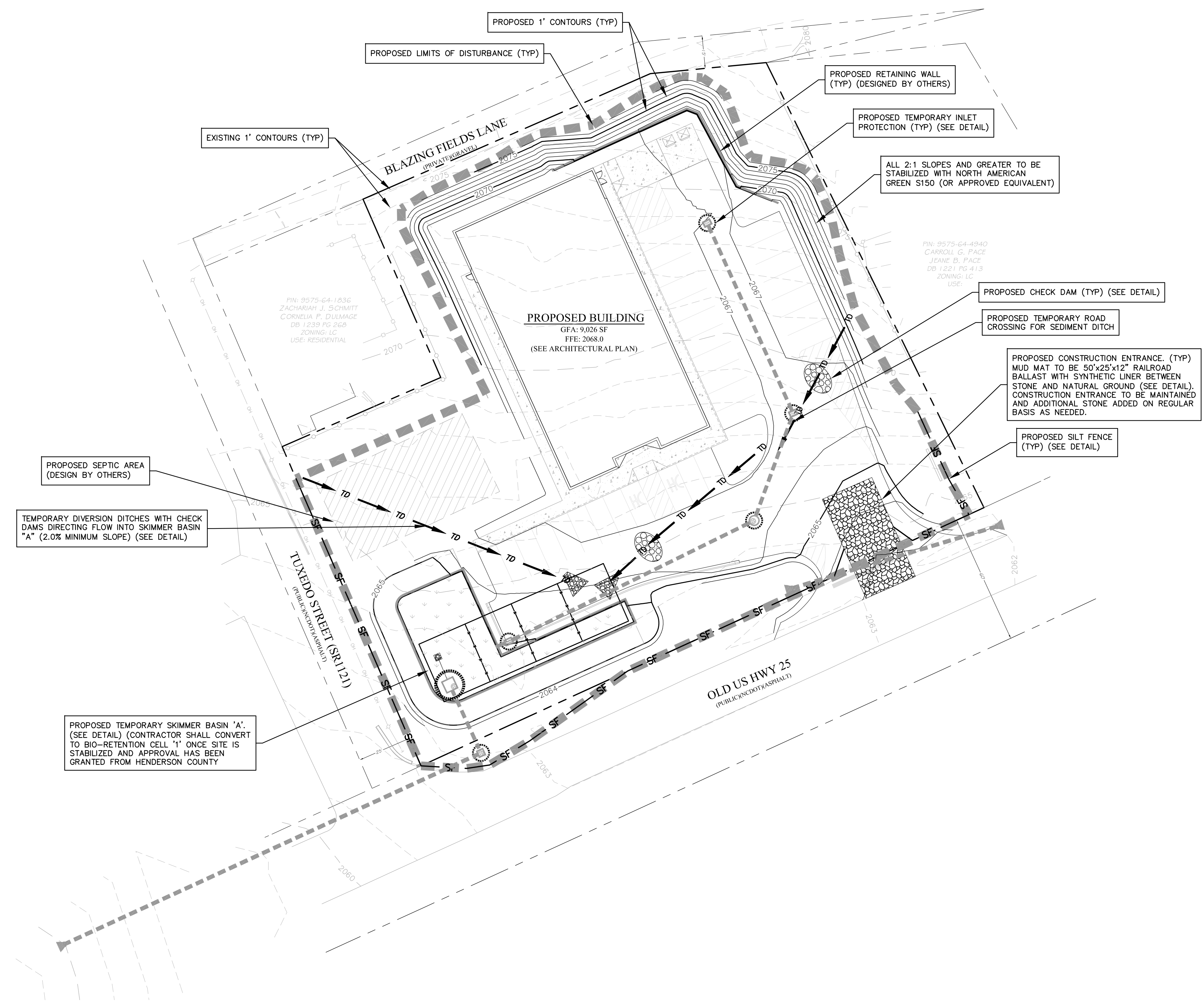
CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING PERMIT FOR ALL RETAINING WALLS PRIOR TO ORDERING MATERIALS OR CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING RETAINING WALLS IN ACCORDANCE WITH ALL WALL MANUFACTURERS STANDARDS AND SPECIFICATIONS.

ALL RETAINING WALLS 4' OR GREATER TO BE SUBMITTED TO HENDERSON COUNTY FOR REVIEW AND APPROVAL AND CERTIFIED BY THE WALL ENGINEER UPON COMPLETION. RETAINING WALLS SUBJECT TO ADDITIONAL LANDSCAPING DEPENDING ON HEIGHT AND MATERIAL.

ROUGH GRADING & EROSION CONTROL LEGEND



VICINITY MAP
(NOT TO SCALE)



DEVELOPMENT DATA

OWNER/DEVELOPER: THE BROADWAY GROUP, LLC
 CONTACT: P.O. BOX 18968, HUNTSVILLE, ALABAMA 35894, ROBERT M. BROADWAY (256) 533-7287

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 CONTACT: 3 MCABEE TRAIL, FAIRVIEW, NC 28730, BARRY WEST, PLS (828) 628-1295

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 SPACES PROVIDED: 30

HANDICAPPED SPACES:
 SPACES REQUIRED: 2
 SPACES PROVIDED: 2

BUILDING DATA:

BUILDING	DESCRIPTION	HEIGHT	GFA
BUILDING 1	STEEL	18'	9,026 SF

IMPERVIOUS CALCULATIONS:

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.22 ACRES (16%)	1.20 ACRES (84%)
POST-DEVELOPMENT:	0.68 ACRES (48%)	0.74 ACRES (52%)

LANDSCAPING REQUIREMENTS: SEE L101 LANDSCAPE PLAN

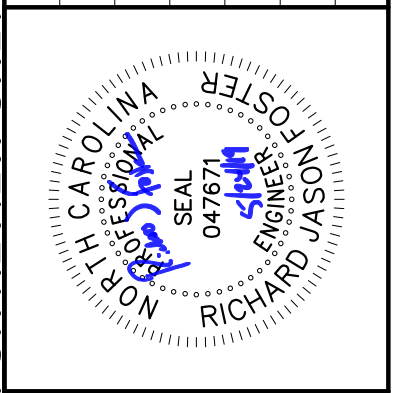
SOILS: EVC
 SOIL GROUP: B

CDC Civil Design Concepts, PA
 160 PATTON AVENUE, ASHEVILLE, NC 28801
 PHONE (828) 252-5388
 FAX (828) 252-5385

52 WALNUT STREET - SUITE 9, WYOMINGVILLE, NC 28646
 PHONE (828) 252-5400
 FAX (828) 459-5455

NCBELS LICENSE # C-2184

LWR	TRC SUBMITTAL	DATE	DESCRIPTION
1	05/24/19		



FOR REVIEW ONLY

ROUGH GRADING AND EROSION CONTROL PLAN FOR:
ZIRCONIA RETAIL STORE

THE BROADWAY GROUP, LLC - HENDERSON COUNTY, NORTH CAROLINA

811 Know what's below. Call before you dig.

NORTH

ROUGH GRADING AND EROSION CONTROL PLAN
 GRAPHIC SCALE

(IN FEET)
 1 inch = 30 ft.

NOTES

- SEE GRADING, EROSION CONTROL, AND STORM DRAINAGE DETAIL SHEETS FOR ALL GENERAL NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL PLANS.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
- SOIL TYPE B.
- RETAINING WALLS:

ALL RETAINING WALL ELEVATIONS SHOWN ARE FROM TOP OF WALL TO FINISH GRADE ELEVATION. CONTRACTOR TO ACCOUNT FOR FOOTER/COVER OVER FOOTER. REFER TO WALL DESIGN FOR FOOTER DESIGN. WALL DESIGN TO ALSO ACCOMMODATE STORM PIPE PENETRATIONS PER PLANS.

WALL DESIGN TO INCLUDE FOOTING DRAIN AND MINIMUM WIDTH OF 12" OF #57 WASHED STONE BEHIND WALL FROM BOTTOM TO TOP OF WALL.

ALL RETAINING WALLS PROVIDING A CHANGE OF GRADE OF 30" OR MORE SHALL BE PROTECTED WITH A GUARDRAIL. THE GUARDRAIL SHALL BE 42" MINIMUM IN HEIGHT, AND PREVENT THE PASSAGE OF A 21" SPHERE UNLESS ADJACENT TO A WALKING SURFACE. COORDINATE BARRIER STYLE AND COLOR WITH ARCHITECT AND ENGINEER. SEE SITE PLAN FOR APPROXIMATE LOCATION OF FENCING/BARRIERS.

CONTRACTOR TO SUBMIT TO OWNER AND ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE WALL STYLE AND COLOR WITH ARCHITECT AND ENGINEER.

CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING PERMIT FOR ALL RETAINING WALLS PRIOR TO ORDERING MATERIALS OR CONSTRUCTION. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING RETAINING WALLS IN ACCORDANCE WITH ALL WALL MANUFACTURERS STANDARDS AND SPECIFICATIONS.

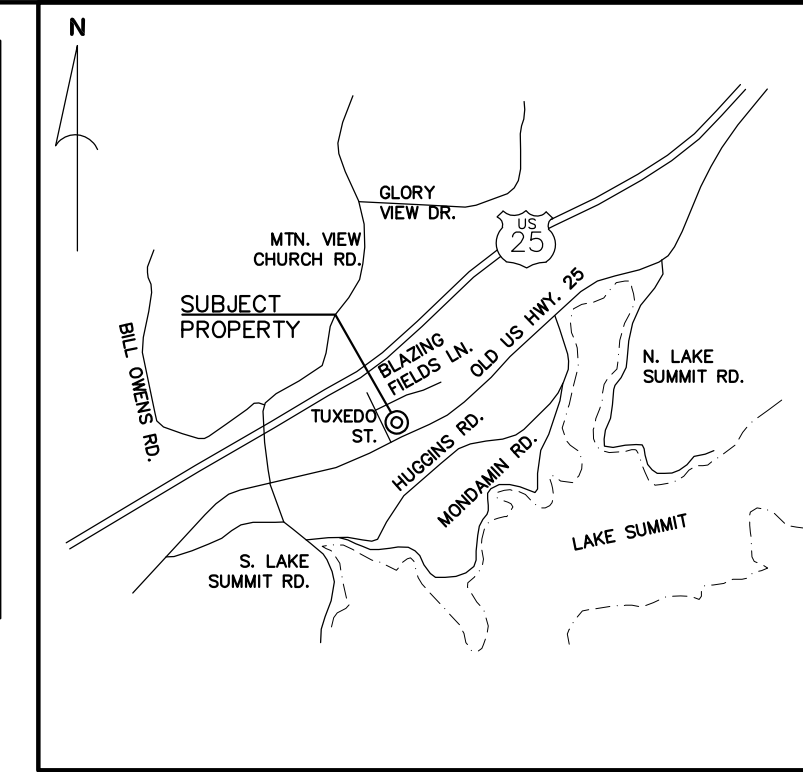
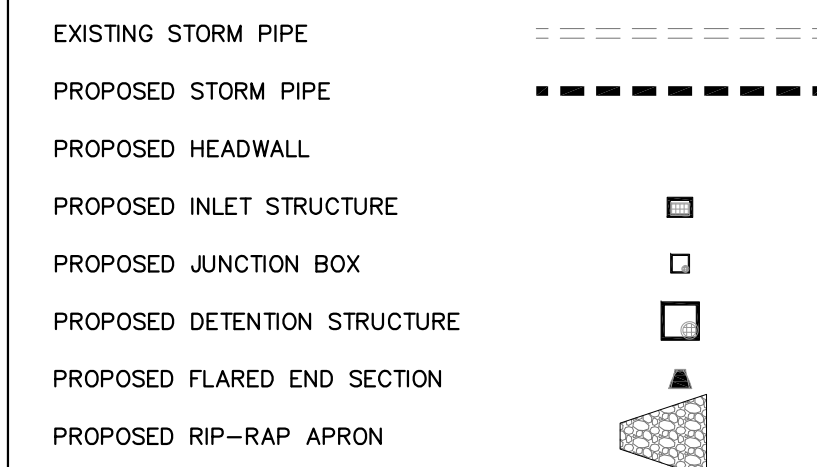
ALL RETAINING WALLS 4' OR GREATER TO BE SUBMITTED TO HENDERSON COUNTY FOR REVIEW AND APPROVAL AND CERTIFIED BY THE WALL ENGINEER UPON COMPLETION. RETAINING WALLS SUBJECT TO ADDITIONAL LANDSCAPING DEPENDING ON HEIGHT AND MATERIAL.

STRUCTURE TABLE (INVERTS BASED ON 2D LENGTH TO INSIDE EDGES)				
STRUCTURE	STATION	STRUCTURE DETAILS	DEPTH	DESCRIPTION
A1	10+06	RIM 2065.1 INV. IN 2061.7 (A2-A1) INV. OUT 2061.6 (A1-A0)	3.5'±	CURB INLET
A2	11+33	RIM 2066.4 INV. IN 2062.4 (A3-A2) INV. OUT 2062.3 (A2-A1)	4.1'±	JUNCTION BOX
A3	11+86	RIM 2066.7 INV. IN 2062.8 (A4-A3) INV. OUT 2062.7 (A3-A2)	4.0'±	GRATE INLET
A4	12+82	RIM 2067.0 INV. OUT 2063.5 (A4-A3)	3.5'±	GRATE INLET
B0	10+03	RIM 2054.1 INV. IN 2052.3 (B1-B0)	3.1'±	FES
B1	12+14	RIM 2063.1 INV. IN 2054.6 (B2-B1) INV. OUT 2054.5 (B1-B0)	8.6'±	JUNCTION BOX

PIPE TABLE (SLOPES BASED ON 2D LENGTH TO INSIDE EDGES)				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
A1-A0	18"	5'	1.8%	HDPE
A2-A1	18"	123'	0.5%	HDPE
A3-A2	18"	49'	0.6%	HDPE
A4-A3	18"	93'	0.7%	HDPE
B1-B0	18"	209'	1.1%	CLASS IV RCP
B2-B1	18"	30'	9.6%	HDPE
C1-C0	18"	96'	1.1%	CLASS IV RCP

INLET/OUTLET TABLE (INVERTS BASED ON 2D LENGTH TO INSIDE EDGES)			
STRUCTURE	STATION	STRUCTURE DETAILS	DESCRIPTION
A0	10+00	INV. OUT 2061.5 (A1-A0)	HEADWALL
B0	10+03	INV. OUT 2052.3 (B1-B0)	FES
C0	10+04	INV. OUT 2058.7 (C1-C0)	FES
C1	11+01	INV. OUT 2059.7 (C1-C0)	FES

STORM LEGEND



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT DATA

OWNER/DEVELOPER: THE BROADWAY GROUP, LLC
P.O. BOX 18968
HUNTSVILLE, ALABAMA
ROBERT M. BROADWAY
(256) 533-7287

CONTACT:

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
158 PATTON AVENUE
ASHEVILLE, NC 28801
JASON FOSTER, P.E.
(828) 252-5388

CONTACT:

SURVEYOR: MCABEE & ASSOCIATES, P.A.
3 MCABEE TRAIL
FAIRVIEW, NC 28730
BARRY WEST, PLS
(828) 628-1295

CONTACT:

PROJECT DATA

FIN: 9575-64-3849
ADDRESS: US 25 HWY, ZIRCONIA, NC
DEED BOOK/PAGE: 896/742
SITE ACREAGE: 1.423 ACRES
ZONING: LC

SETBACKS:
FRONT: 15'
SIDES: 10'
REAR: 10'

DISTURBED AREA: 1.27 AC

PARKING CALCULATIONS:

VEHICULAR:
REQUIRED SPACES: 1 SPACE/500 SF
SPACES REQUIRED: 18
SPACES PROVIDED: 30

HANDICAPPED SPACES:
SPACES REQUIRED: 2
SPACES PROVIDED: 2

BUILDING DATA:

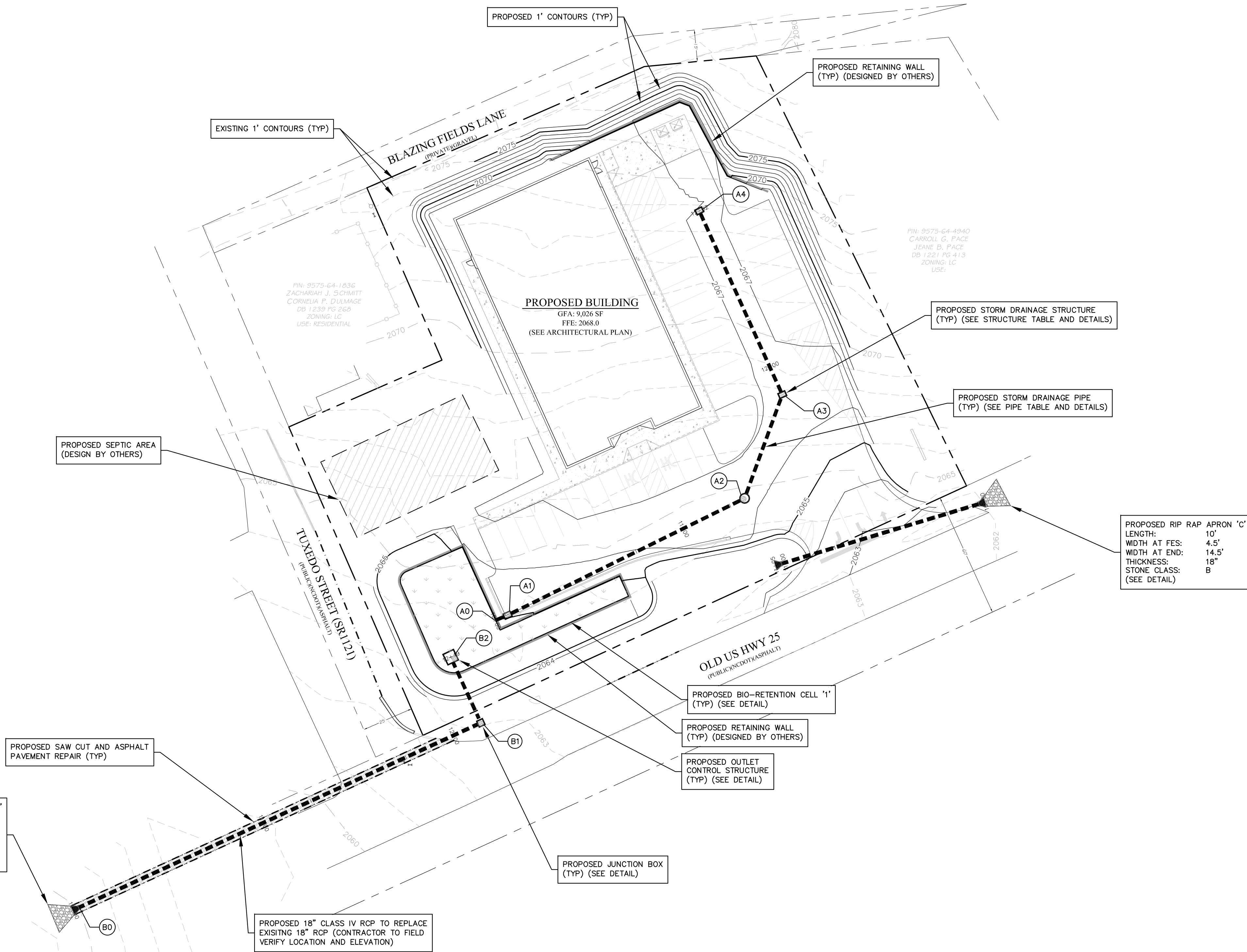
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BUILDING 1	STEEL	18'	9,026 SF

IMPERVIOUS CALCULATIONS:

	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT:	0.22 ACRES (16%)	1.20 ACRES (84%)
POST-DEVELOPMENT:	0.68 ACRES (48%)	0.74 ACRES (52%)

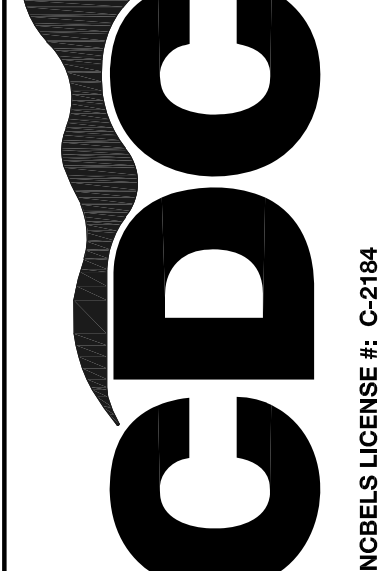
LANDSCAPING REQUIREMENTS: SEE L101 LANDSCAPE PLAN

SOILS: EVC
SOIL GROUP: B

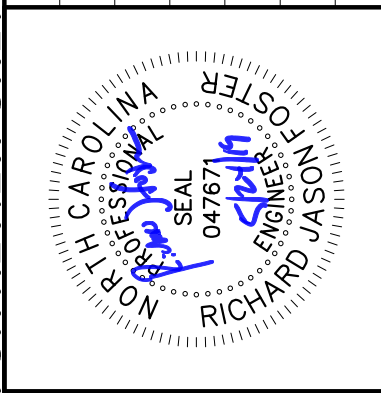


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LWR	BY	DATE	DESCRIPTION
1		05/24/19	TRC SUBMITTAL

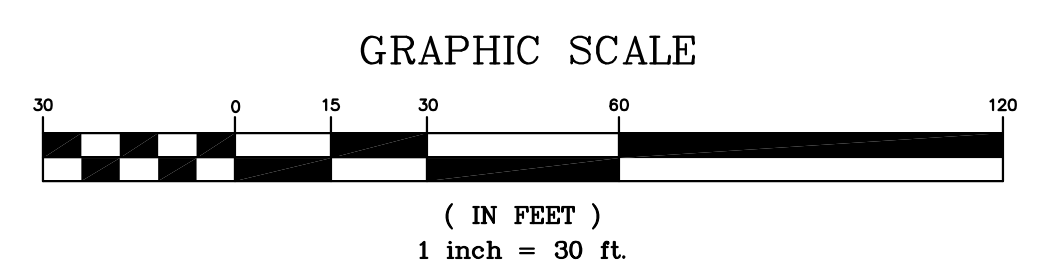


ZIRCONIA RETAIL STORE

THE BROADWAY GROUP, LLC -- HENDERSON COUNTY, NORTH CAROLINA

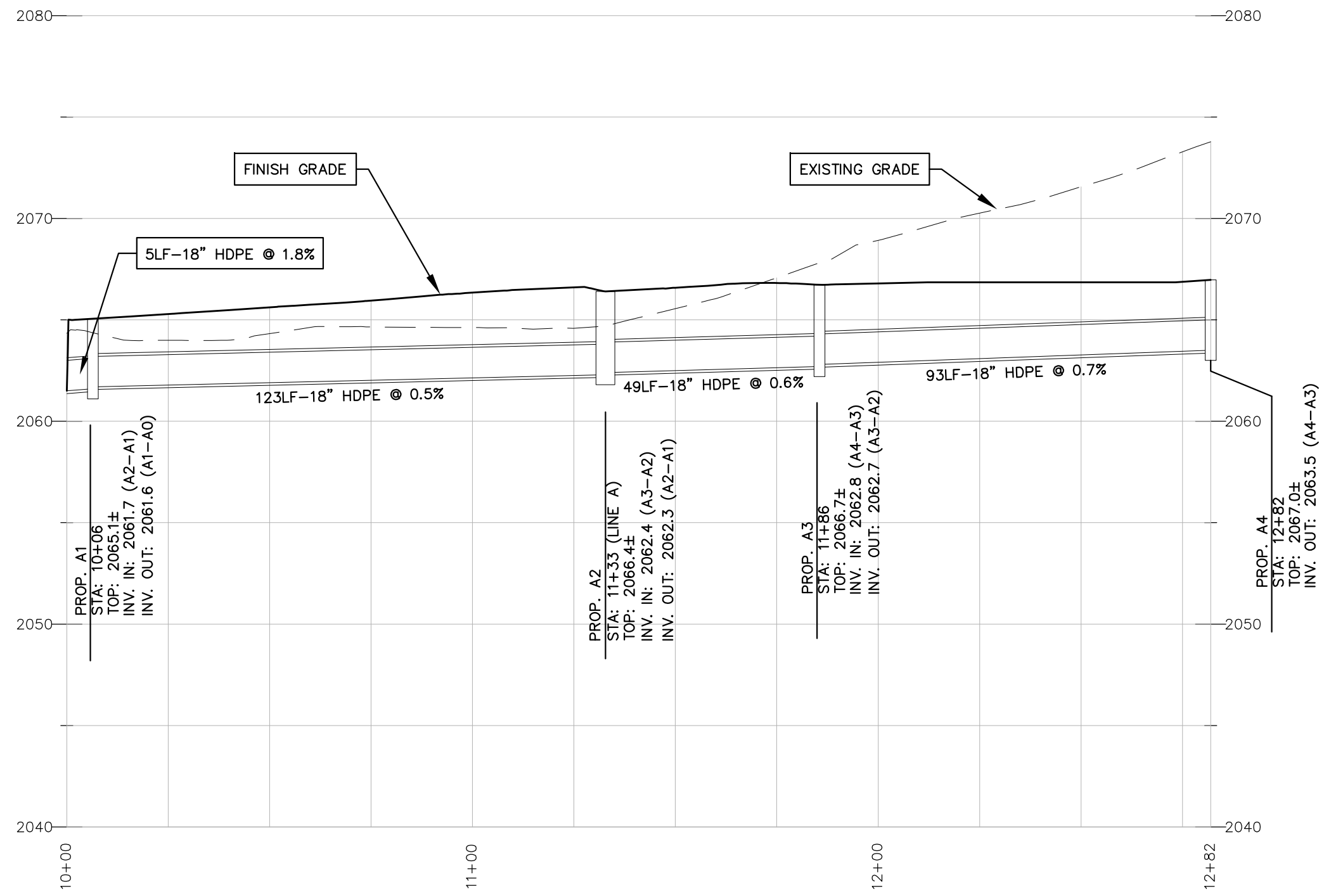


STORWATER PLAN

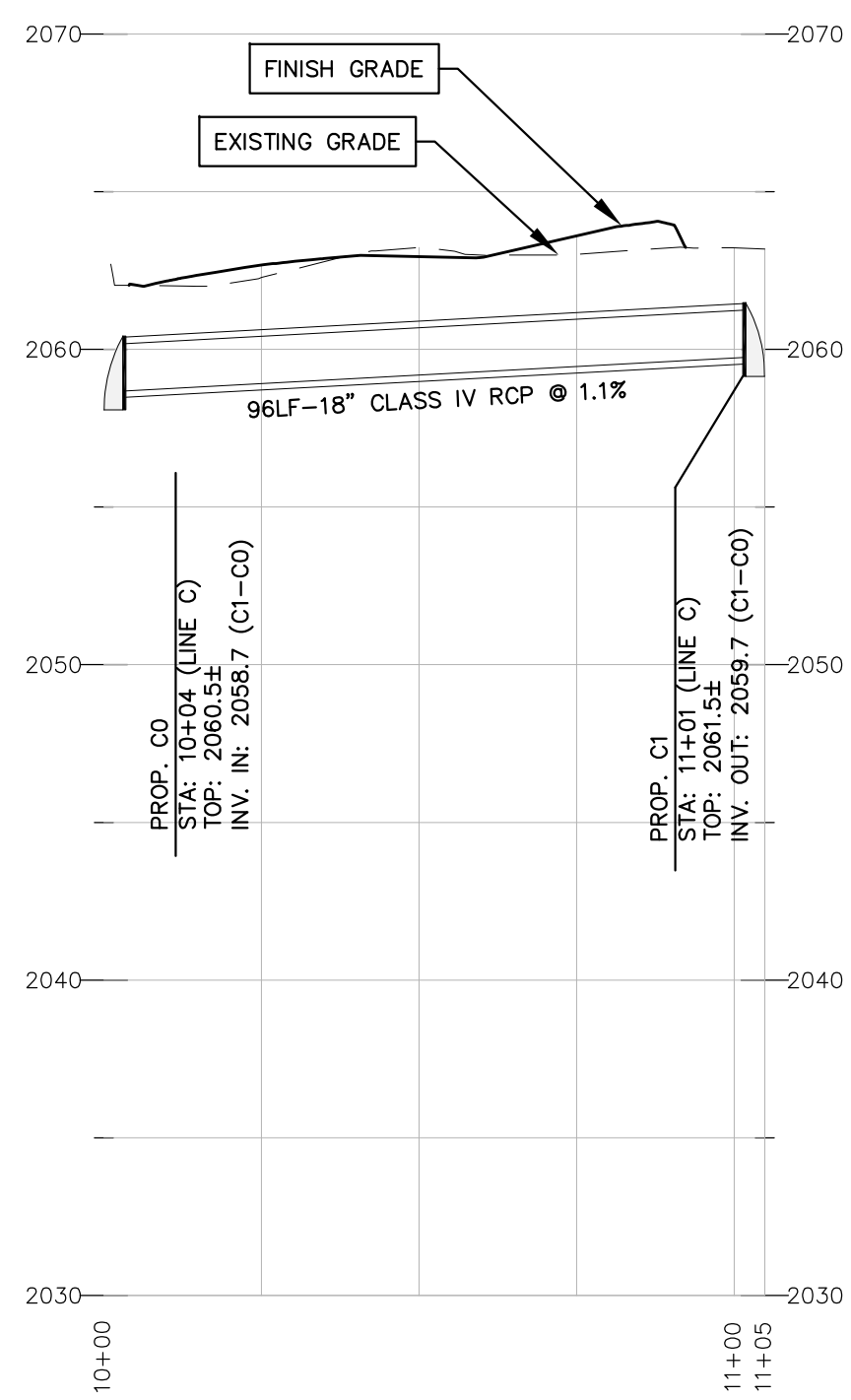


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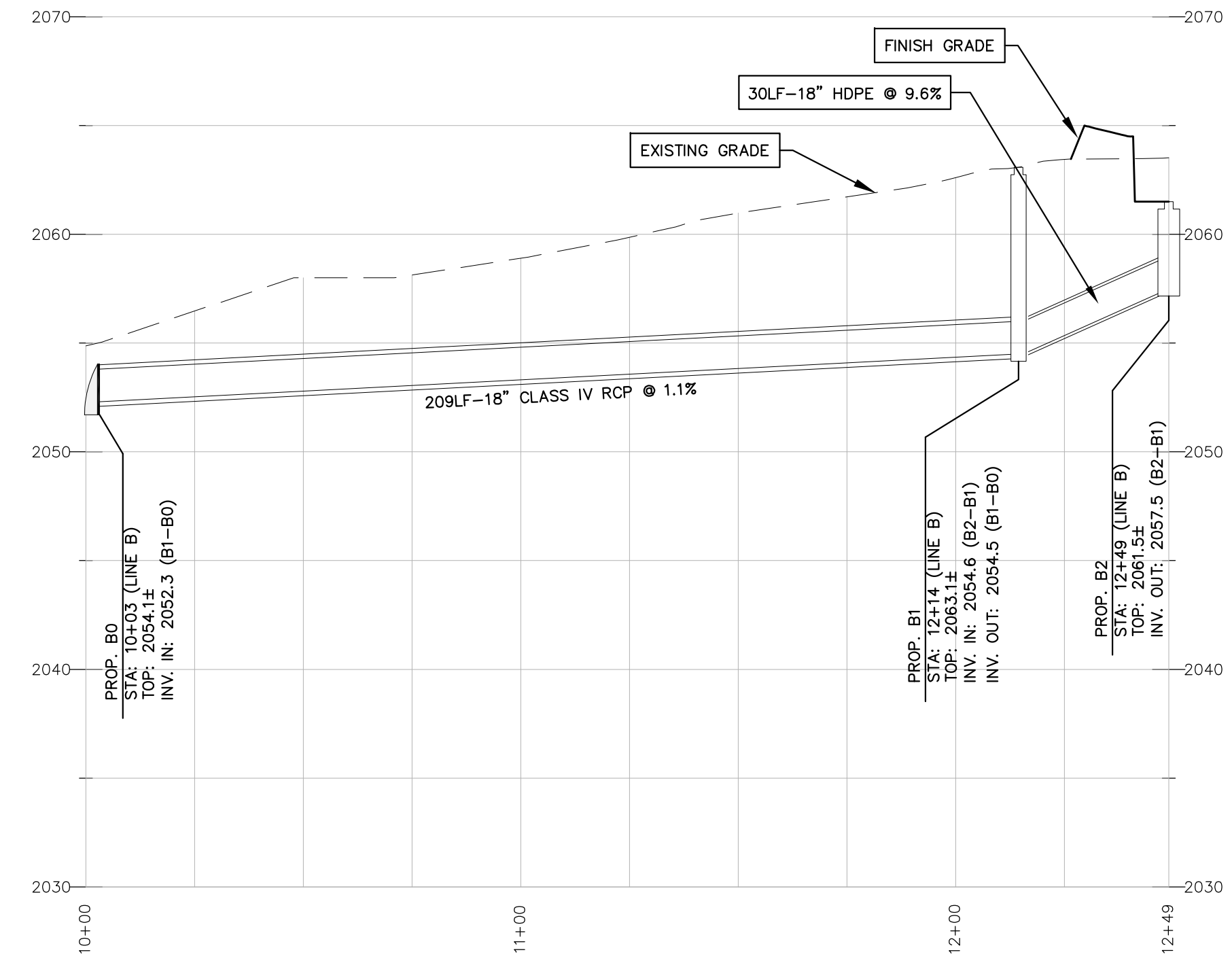
STORWATER PLAN FOR:
DRAWN BY: LWR
CDC PROJECT NO.: 21921
XXX PERMIT NO.: xxx



LINE A



LINE C

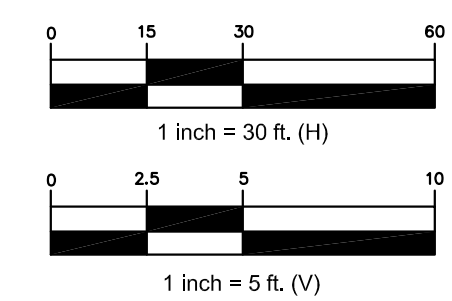


LINE B

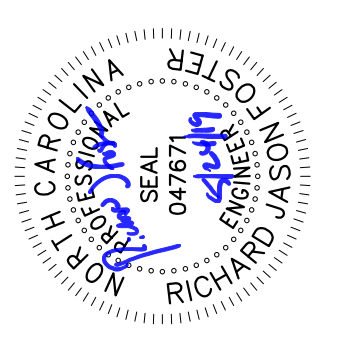
NOTE:
 THE PIPE LENGTHS, SLOPES, AND INVERTS SHOWN IN THE ABOVE PROFILES ARE BASED ON A 2D LENGTH AND MEASURED FROM INSIDE WALL TO INSIDE WALL OF STRUCTURES. CONTRACTOR SHALL VERIFY ALL INVERTS AND LINE LENGTHS PRIOR TO CONSTRUCTION.



STORM PROFILES



FOR REVIEW ONLY



STORM PROFILES FOR:
ZIRCONIA RETAIL STORE
 THE BROADWAY GROUP, LLC -- HENDERSON COUNTY, NORTH CAROLINA

DRAWN BY: LWR
 CDC PROJECT NO.: 21921
 XXX PERMIT NO. xxx

SHEET
C502

CDC Civil Design Concepts, PA
 www.civildesignconcepts.com
 160 DARTON AVENUE
 ASPENHILL, NC 28801
 PHONE (828) 252-5888
 FAX (828) 252-5885
 52 WALNUT STREET - SUITE 9
 WAYNESVILLE, NC 27884
 PHONE (828) 252-5888
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 NCELS LICENSE # C-2184

LANDSCAPING NOTES

- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH ALL HENDERSON COUNTY REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS. CONSULT ENGINEER TO FIELD ADJUST LANDSCAPING AS NECESSARY.
- THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY NC ONE CALL AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
- STREET TREE SPECIES WITHIN RIGHT-OF-WAY TO BE COORDINATED WITH HENDERSON COUNTY.
- ALL GROUND COVER TO BE MULCH PER HENDERSON COUNTY PERMANENT SEEDING REQUIREMENTS.
- TREES AND SHRUBS TO COMPLY WITH HENDERSON COUNTY LAND DEVELOPMENT CODE AS FOLLOWS:
LARGE-MATURING DECIDUOUS TREE:
 GREATER THAN 35' AT MATURITY. MINIMUM PLANTING SIZE SHALL BE TWO INCHES CALIPER AND 12' TO 14' HEIGHT.
SMALL-MATURING DECIDUOUS TREE:
 SMALLER THAN 35' AT MATURITY. MINIMUM PLANTING SIZE SHALL BE AT LEAST 1 1/2 INCH CALIPER OR 8' TO 10' HEIGHT.
EVERGREEN TREE:
 MINIMUM HEIGHT OF 6' AT TIME OF PLANTING.
LARGE SHRUB:
 MINIMUM 5 GALLON CONTAINER OR TEN-INCH ROOT BALL WITH A HEIGHT OF 24 INCHES AT PLANTING TIME.
SMALL SHRUB:
 MINIMUM 3 GALLON CONTAINER OR EIGHT-INCH ROOT BALL WITH A HEIGHT OF 18 INCHES AT PLANTING TIME.
- DUE TO EXISTING TREES WITHIN THE REQUIRED LANDSCAPE BUFFER AREAS AND THROUGHOUT THE SITE, THE FINAL NUMBER OF TREES AND SHRUBS REQUIRED AND PROVIDED WILL BE BY AGREEMENT WITH HENDERSON COUNTY PLANNING DEPARTMENT BASED UPON AN ON-SITE INVENTORY.
- LANDSCAPE CONTRACTOR MUST COORDINATE THE LOCATION OF THE TREES TO AVOID EXISTING AND PROPOSED SEWER/WATER LINES AND SEWER/WATER LINE EASEMENTS. NO TREES ARE ALLOWED TO BE PLANTED IN SUCH EASEMENTS.
- THE OWNER / CONTRACTOR SHALL SELECT ALL PROPOSED PLANTINGS FROM THE RECOMMENDED SPECIES LIST IN HENDERSON COUNTY LAND DEVELOPMENT CODE. IT IS RECOMMENDED THE OWNER / CONTRACTOR VERIFY SELECTIONS FOR SUITABILITY WITH A QUALIFIED LANDSCAPE ARCHITECT PRIOR TO PLANTING.

PLANTING SUMMARY:

STREET TREES (ST)

REQUIREMENT: 1 LARGE MATURING TREE/50 LF OF FRONTAGE

TUXEDO STREET: 161 LF
 OLD US HWY 25: 286 LF
 COMBINED TOTAL FRONTAGE: 447 LF

STREET TREES REQUIRED: 9 TREES

STREET TREES PROVIDED
 TUXEDO STREET: 3 TREES
 OLD US HWY 25: 6 TREES
 COMBINED TOTAL TREES PROVIDED: 9 TREES

VEHICULAR USAGE LANDSCAPE AREA (VUA)

REQUIREMENT: 1 LARGE OR SMALL DECIDUOUS TREE PER 5 PARKING SPACES VUA. PARKING SPACES 30 SPACES

TREES REQUIRED: 6 TREES
 TREES PROVIDED: 6 TREES

DUMPSTER SCREENING (DS)

REQUIREMENT: 1 EVERGREEN SHRUB/8 LF

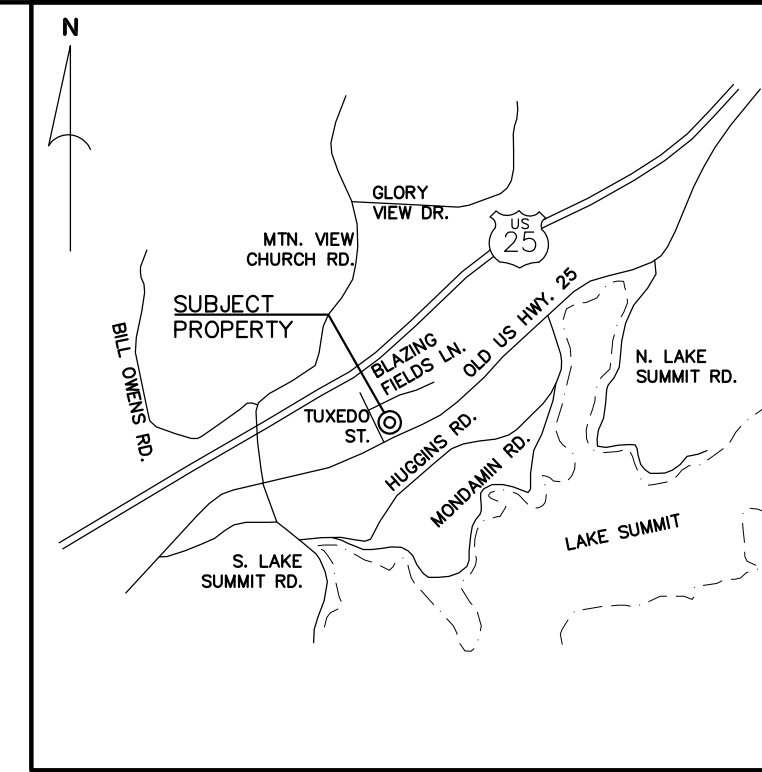
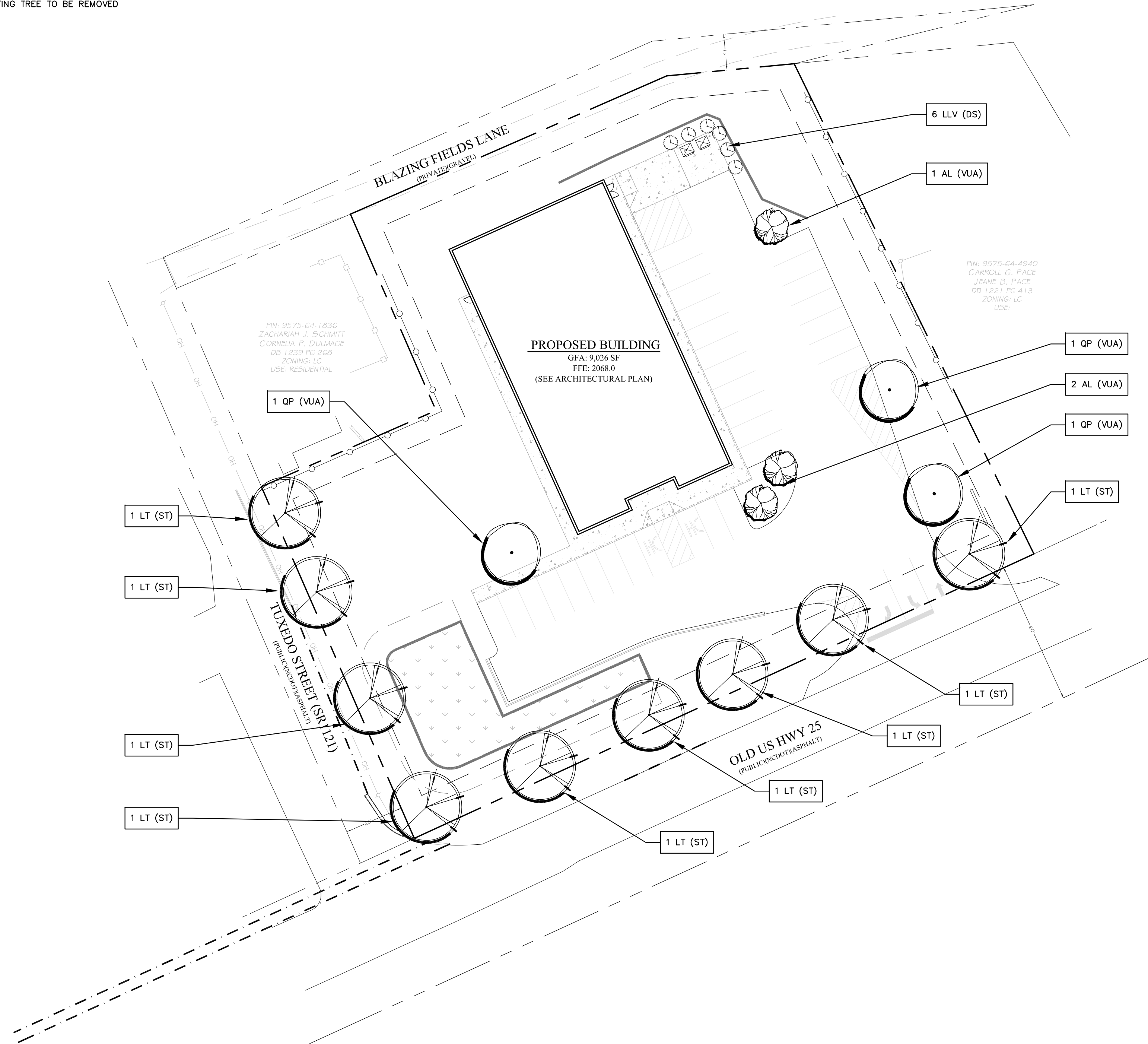
SCREENING LENGTH: 41 LF

SHRUBS REQUIRED: 6 SHRUBS
 SHRUBS PROVIDED: 6 SHRUBS

PROPOSED PLANT SCHEDULE *

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	CLASSIFICATION
TREES						
LT	9	LIRIODENDRON TULIPIFERA	TULIP TREE	2" CAL./12' HT.	B&B	LARGE DECIDUOUS TREE
QP	3	QUERCUS PALUSTRIS	PIN OAK	2" CAL./12' HT.	B&B	LARGE DECIDUOUS TREE
AL	3	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	1-1/2" CAL./8' HT.	B&B	SMALL DECIDUOUS TREE
SHRUBS						
LLV	6	LLEX VERTICILLATA	WINTER BERRY	3 GAL.	CONT.	LARGE EVERGREEN SHRUB

*SUBSTITUTION OF SPECIES TO BE APPROVED BY ENGINEER
 *A DIVERSE PLANT LIST IS RECOMMENDED SO THAT NO ONE SPECIES GETS OVER PLANTED AND TO ELIMINATE WIDE SPREAD DISEASE BETWEEN LIKE SPECIES.
 *EXISTING TREE TO BE REMOVED



VICINITY MAP
 (NOT TO SCALE)

DEVELOPMENT DATA

OWNER/DEVELOPER: THE BROADWAY GROUP, LLC
 P.O. BOX 18968
 HUNTSVILLE, ALABAMA
 ROBERT M. BROADWAY
 (256) 533-7287

CONTACT:

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
 158 PATTON AVENUE
 ASHEVILLE, NC 28801
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SURVEYOR: MCABEE & ASSOCIATES, P.A.
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 FAIRVIEW, NC 28730
 BARRY WEST, PLS
 (828) 628-1295

CONTACT:

PROJECT DATA

FIN: 9575-64-3848
 ADDRESS: US 25 HWY, ZIRCONIA, NC
 DEED BOOK/PAGE: 896/742
 SITE ACREAGE: 1.423 ACRES
 ZONING: LC

SETBACKS:
 FRONT: 15'
 SIDES: 10'
 REAR: 10'

DISTURBED AREA: 1.27 AC

PARKING CALCULATIONS:

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HANDICAPPED SPACES:
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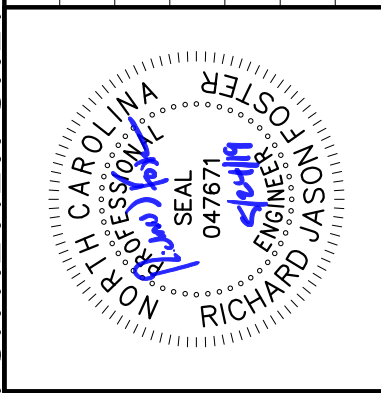
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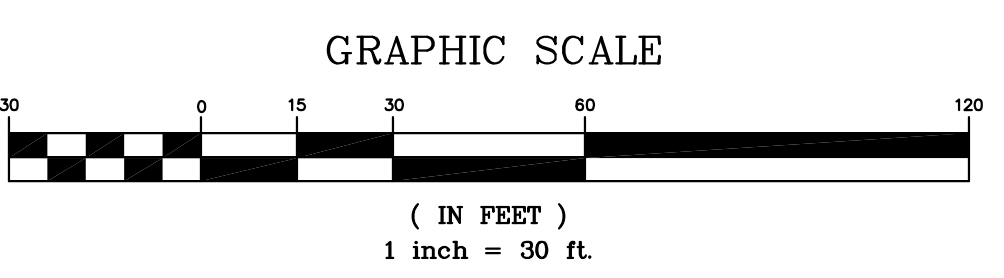
LWR	TRC SUBMITTAL	NO.	DATE	DESCRIPTION	BY
1	05/24/19				



FOR REVIEW ONLY



LANDSCAPE COMPLIANCE PLAN



LANDSCAPE COMPLIANCE PLAN FOR:
ZIRCONIA RETAIL STORE

THE BROADWAY GROUP, LLC - HENDERSON COUNTY, NORTH CAROLINA

DRAWN BY: LWR
 CDC PROJECT NO.: 21921
 XXX PERMIT NO.: xxx

SHEET
L101