

Staff Report: TRC 2/5/13  
Green River Volunteer Fire & Rescue Department, Inc.

**REQUEST FOR COMMITTEE ACTION**

**HENDERSON COUNTY**

**TECHNICAL REVIEW COMMITTEE**

**MEETING: February 5, 2013**

**SUBJECT: Major Site Plan Review Green River Volunteer Fire & Rescue Department, Inc.**

**PRESENTER: Toby Linville**

**ATTACHMENTS: Staff Report**

**SUMMARY OF REQUEST: New substation for Green River Volunteer Fire & Rescue Department, Inc. off Bob's Creek Rd.**

**Suggested Motion: I move that the TRC approve the major site plan for Green River Volunteer Fire & Rescue Department, Inc.**



## Henderson County, North Carolina Code Enforcement Services

### 1. Committee Request

- 1.1. **Applicant:** Green River Volunteer Fire & Rescue Department, Inc.
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9554-61-0436
- 1.4. **Size:** 3.08 acres +/-
- 1.5. **Location:** The subject area is located on Bob's Creek Rd.
- 1.6. **Supplemental Requirements:**

#### **SR 5.10 Fire and Rescue Station**

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Accessibility. *Roads* shall be maintained for motor/emergency *vehicle* access.
- (4) Operations. No drills are to be held before 8:00 a.m. or after 10:00 p.m. on an existing *residential zoning district*. No fire trucks or other emergency *vehicles* are to be permanently stored outdoors.

**Map A: Aerial Photo/Pictometry**





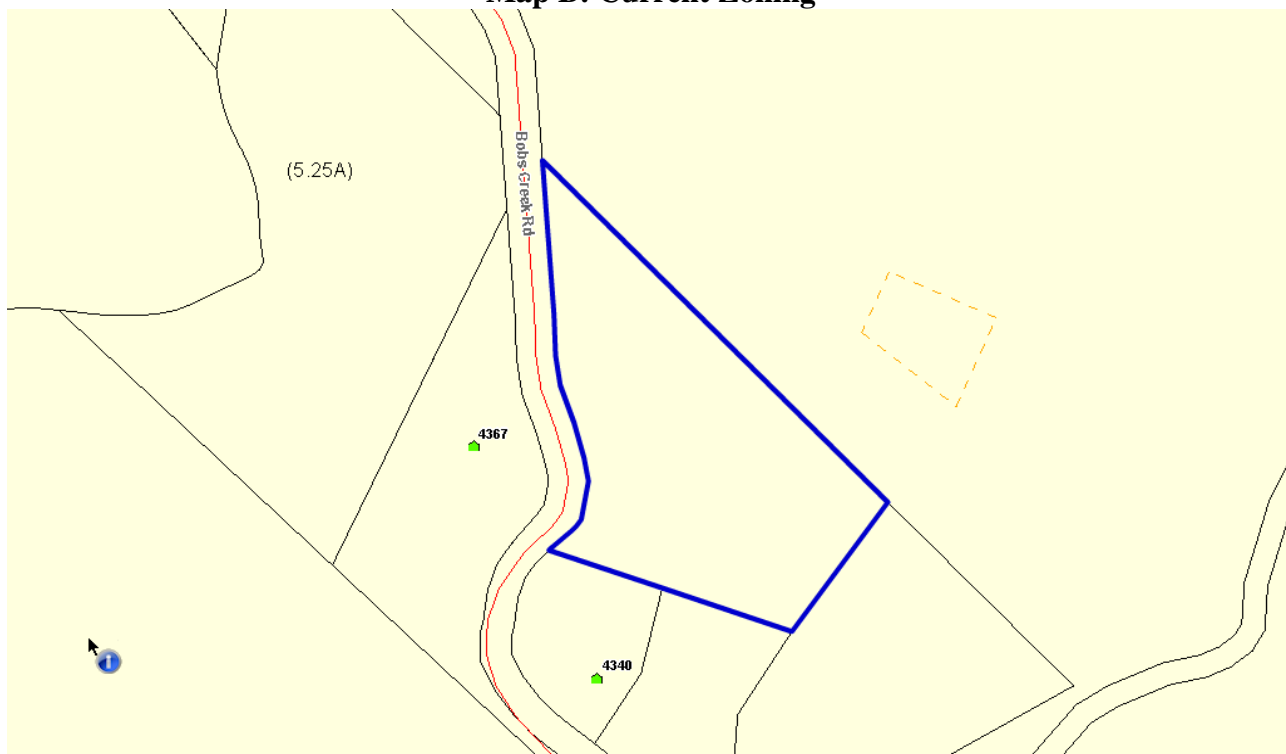
**2. Current Conditions**

**2.1 Current Use:** This parcel is currently vacant.

**2.2 Adjacent Area Uses:** The surrounding properties primarily consist of residential, agricultural, and undeveloped land.

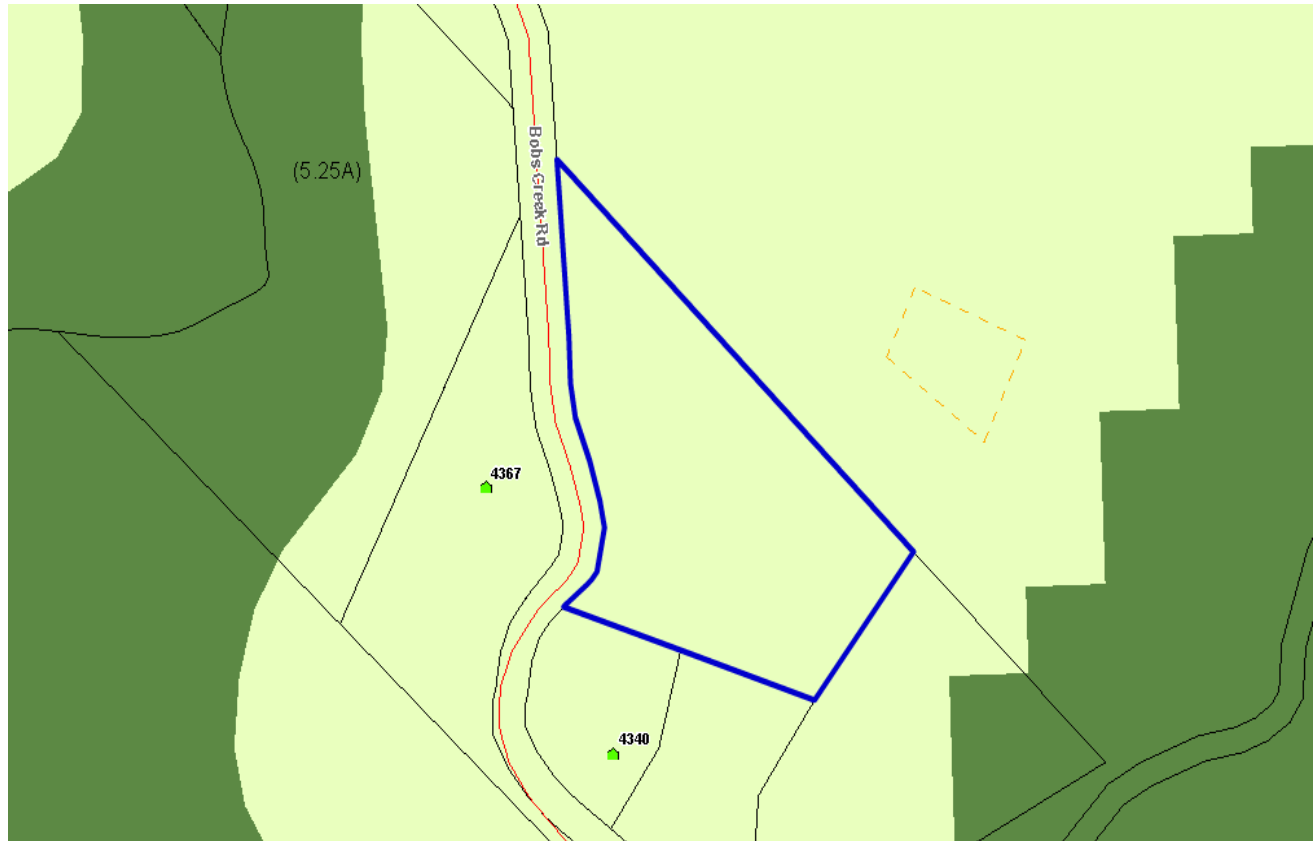
**2.3 Zoning:** The surrounding property to the north, south, east and west is Residential 3.

**Map B: Current Zoning**



3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.
4. **Water and Sewer** Private well and septic system will serve this property.
  - 4.1. **Public Water:** Public water is not available.
  - 4.2. **Public Sewer:** Public sewer is not available.

**Map C: CCP Future Land Use Map**



5. **Staff Comments**

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Urban Services Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

1. The RAA covers those portions of the county that are predominantly rural and are characterized by low-density residential development with substantial land areas devoted to agriculture and undeveloped lands. Land use policies will seek to retain that character.
2. Slopes are typically steep, often exceeding 10%, with significant areas greater than 20%.
3. Most sections of the RAA are so far from sewer services as to make their extension largely impossible. Land development regulations should recognize this by not permitting densities that would require sewer services or introduce traffic capacity problems and by encouraging densities that are consistent with steep slopes, poor septic capacities, and sensitive topography.

6. **Staff Recommendations**

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

**7. Photographs**

**Looking West onto Bob's Creek Rd.**



**Looking East into Property**



**Looking Southeast into Property**



**Looking Northeast along Bob's Creek Rd.**



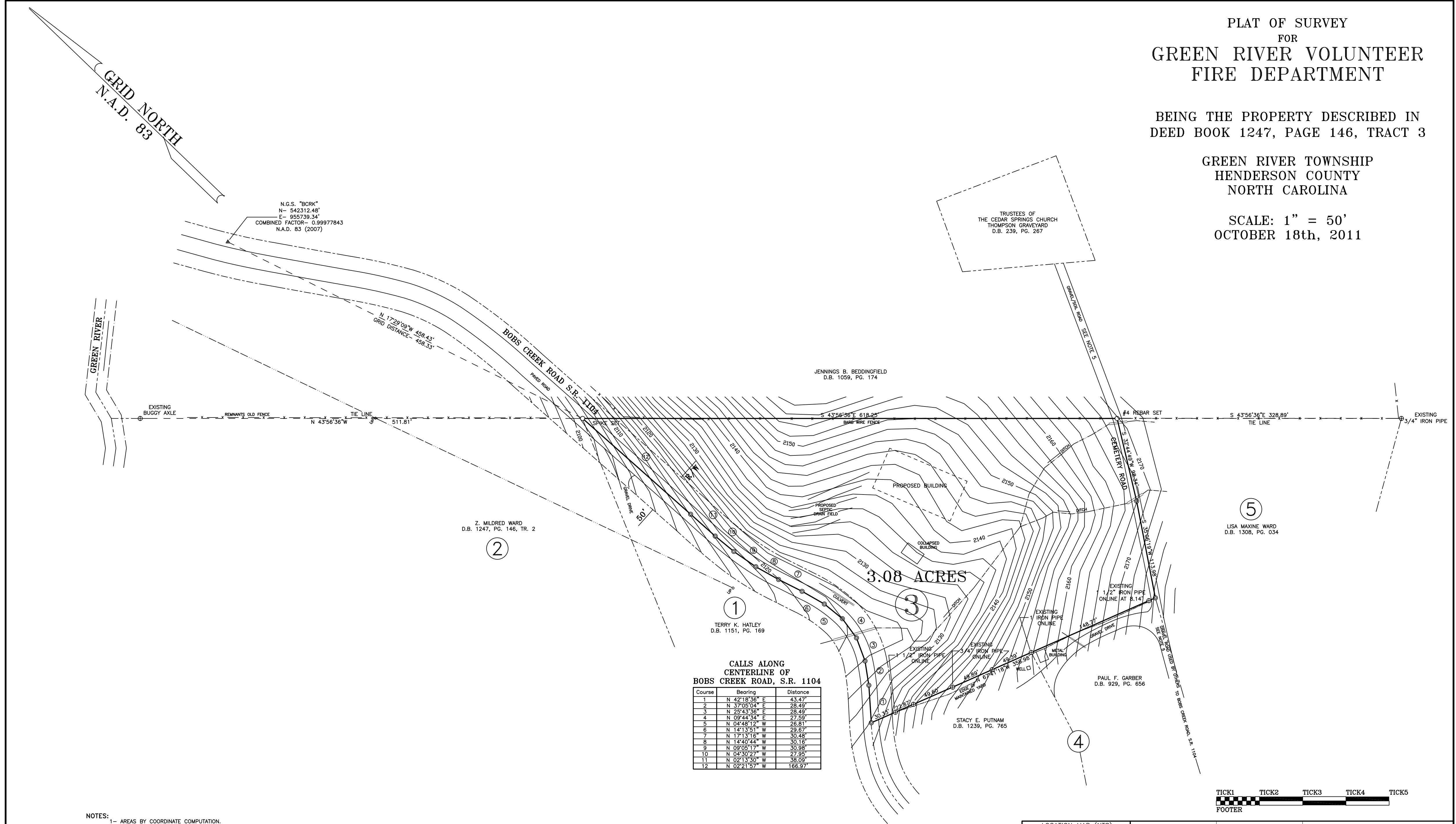


PLAT OF SURVEY  
FOR  
**GREEN RIVER VOLUNTEER  
FIRE DEPARTMENT**

BEING THE PROPERTY DESCRIBED IN  
DEED BOOK 1247, PAGE 146, TRACT 3

GREEN RIVER TOWNSHIP  
HENDERSON COUNTY  
NORTH CAROLINA

SCALE: 1" = 50'  
OCTOBER 18th, 2011

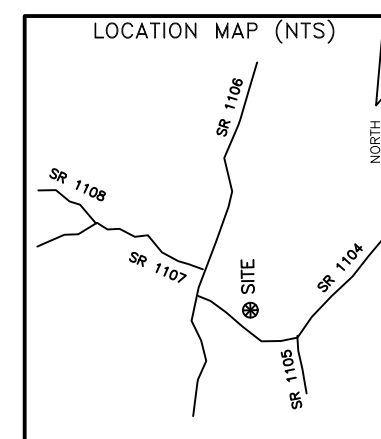


**CALLS ALONG CENTERLINE OF BOBS CREEK ROAD, S.R. 1104**

Course	Bearing	Distance
1	N 42°19'30" E	43.47'
2	N 37°25'04" E	28.59'
3	N 25°23'30" E	28.49'
4	N 09°24'54" E	27.59'
5	N 04°48'12" W	26.81'
6	N 14°13'21" W	29.67'
7	N 17°13'10" W	30.48'
8	N 14°40'44" W	30.14'
9	N 09°25'17" W	30.88'
10	N 04°30'23" W	27.95'
11	N 02°13'30" W	38.08'
12	N 02°21'47" W	68.97'

- NOTES:**
- 1- AREAS BY COORDINATE COMPUTATION.
  - 2- ALL AREAS SHOWN ARE SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD OR UNRECORDED THAT MAY DIRECTLY AFFECT ALL AREAS SHOWN.
  - 3- 50' RIGHT OF WAY FOR BOBS CREEK ROAD, S.R. 1104, FOUND IN DEED BOOK 908, PAGE 822.
  - 4- THIS PROPERTY IS WITHIN AN AREA ZONED R3 BY HENDERSON COUNTY.

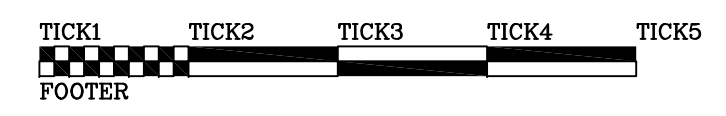
- LEGEND**
- ⊙ MONUMENT FOUND AS NOTED
  - MONUMENT SET AS NOTED
  - POINT NOT STAKED
  - P-PED - PHONE PEDESTAL
  - UP - UTILITY POLE
  - PH-P - PHONE POLE
  - TRANS - TRANSFORMER
  - TY-PED - CABLE TV PEDESTAL
  - WM - WATER METER
  - WV - WATER VALVE
- FRONT- 15' (FROM RIGHT OF WAY)  
SIDE- 15'  
REAR- 15'
- 5- CEMETERY ROAD, GRAVEL/SOIL ROAD IS USED FOR PRIVATE ACCESS BY OTHERS.
  - 6- NOT FOR RECORDATION.



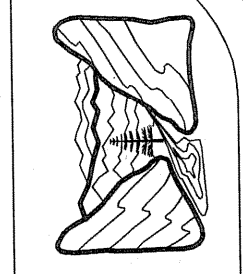
DEED REFERENCES: D.B. 1247, PG. 146 P.C. 1, SLIDE 257A	TAX REFERENCES: 9554-61-0436
PARTY CHIEF: DHM	
REVISIONS:	

SURVEY BY  
**HILL AND ASSOCIATES  
SURVEYORS, P.A.**  
LICENSE NUMBER: C-1991  
DAVID H. HILL  
N.C.P.L.S. 3863  
403 WEST BLUE RIDGE ROAD  
EAST FLAT ROCK, NORTH CAROLINA 28726  
(828) 693-1409

CHECKED BY: DHM      DRAWING: 2011062  
DATE: OCTOBER 18th, 2011      DRAWN BY: DHM      FILE: 2011062





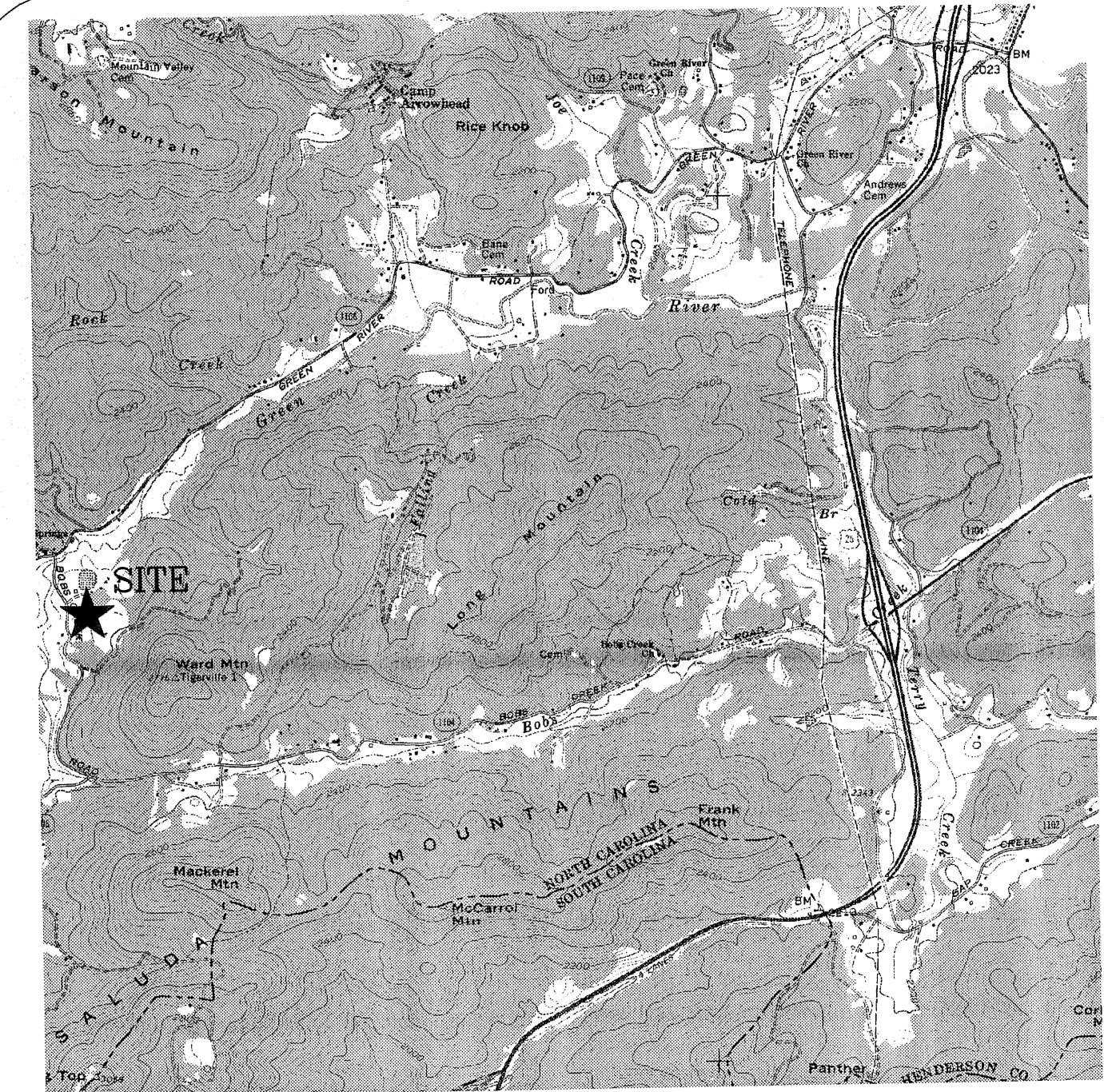


WILLIAM G. LAPSLEY & ASSOCIATES P.A.  
CONSULTING ENGINEERS & LAND PLANNERS  
ASHEVILLE, NORTH CAROLINA

GREEN RIVER VFD  
STATION #3  
HENDERSON COUNTY,  
NORTH CAROLINA

PROPOSED  
DEVELOPMENT PLAN  
SITE

sheet  
1 of 1



LOCATION MAP  
N.T.S.

**6.06 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT**

**Definition:** A gravel area at and located at grade where vehicles enter and leave a construction site.

**Purpose:** To provide a buffer area where vehicles can drop their load and collect it back on-site in a gravel area, to control erosion from surface runoff and to stabilize the gravel.

**Conditions Where Practice Applies:** To provide a buffer area where vehicles can drop their load and collect it back on-site in a gravel area, to control erosion from surface runoff and to stabilize the gravel.

**Design Criteria:** Aggregate Size - Use 2-4 inch washed stone.

**Dimensions of gravel entrance/exit:** 50' minimum width and width at all points of the vehicular travel. 10' minimum depth. 10' minimum length. 10' minimum depth. 10' minimum length. 10' minimum depth. 10' minimum length.

**NOTE:** This detail is to be used for construction of gravel roads. It is not intended to be used for construction of other types of roads.

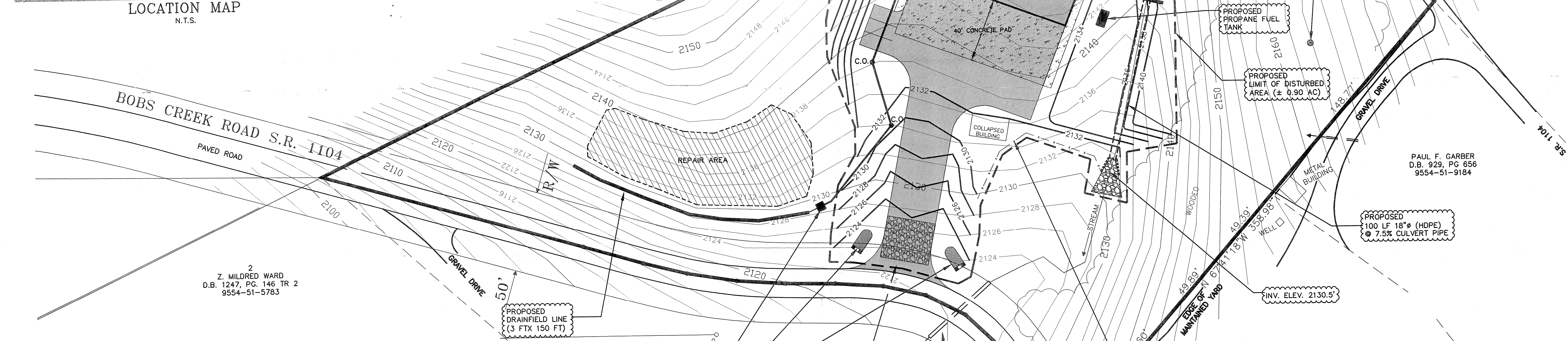
**CONCRETE PAVING DETAIL**  
not to scale

WELDED STEEL FABRIC (ASTM A 185)  
4,000 psi CONC.  
6" CONC.  
6" ABC

**STANDARD ASPHALT PAVING**  
NOT TO SCALE

2" BITUMINOUS CONCRETE SURFACE (TYPE 1-2)  
6" ABC COMPACTED STONE BASE  
COMPACTED SUBGRADE (PER SPECS)

**NOTE:** PROVIDE 3/8" EXPANSION JOINTS AT 20 FEET INTERVALS. FORM JOINTS WITH JOINT FILLER (ASTM D 1751) TO WITHIN 1/2" OF FINISHED SURFACE. PROVIDE SCORED JOINTS AT 5 FEET INTERVALS.



**TEMPORARY SEDIMENT TRAP**

**CROSS SECTION**

**CONSTRUCTION SPECIFICATIONS:**

1. CLEAR AREA & STOP THE AREA UNDER THE EMBANKMENT OF ALL EROSION AND ROOT MAT.
2. CLEAR ROAD AREA. BAIN SHOULD BE EXCAVATED TO 1.5 FEET BELOW GRADE.
3. USE FULL MATERIAL FREE OF ROOTS, WOODY VEGETATION AND DRIVING WATER. PLACE FILL IN LIFTS NOT TO EXCEED 6" AND MACHINE COMPACT.
4. CONSTRUCT DAM AND STONE SPILLWAY TO DIMENSIONS. STONE AND LAYERS SHOULD BE 18" MIN.
5. ENSURE THAT THE SPILLWAY CREST IS LEVEL AT LEAST 1' BELOW THE TOP OF THE DAM AT ALL POINTS.
6. STONE USED FOR SPILLWAY SECTION - CLASS "B" EROSION CONTROL STONE.
7. STONE USED ON INSIDE SPILLWAY FACE TO CONTROL DRAINAGE - S.O.T. #7 WASHED STONE.
8. WITHIN STONE BUTTER SECTION ON ZERO GRADE WITH TOP ELEVATION OF STONE LEVEL WITH BOTTOM OF DAM.
9. ENSURE THAT THE TOP OF THE DAM AT ALL POINTS IS 0.5' ABOVE NEAREST SURROUNDING GROUND.
10. STABILIZE THE EMBANKMENT AND ALL DISTURBED AREA ABOVE THE SEDIMENT POND. AS SHOWN IN THE PLANS.
11. INSTALL BENTLES.
12. REMOVE SEDIMENT FROM THE TRAP AND RESTORE THE CAPACITY TO ORIGINAL TRAP DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH.
13. AFTER THE CONSTRUCTING DRAINAGE AREA HAS BEEN PROPERLY ESTABLISHED, REMOVE ALL EXCESS MATERIALS AND UNDESIRABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE AND STABILIZE IT.

**SILT FENCE**  
N.T.S.

**NOTE:** SILT FENCES SHOULD NOT BE USED IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHES, SWALES, ETC.).

14. CLAUDE 6"x6" (MAX. OPENING) WELDED WIRE HOOKED END, PREFORMED CHANNELS ON METAL POSTS.

15. ULTRAVIOLET RESISTANT (BLACK) NON-WOVEN FABRIC OR EQUIVALENT SECURED TO WIRE METAL CLIPS OR WIRE AT 12" ON CENTER.

16. MAX. SEDIMENT STORAGE LEVEL - REMOVE SEDIMENT WHEN THIS LEVEL IS REACHED OR AS DIRECTED BY CONSERVATION INSPECTOR.

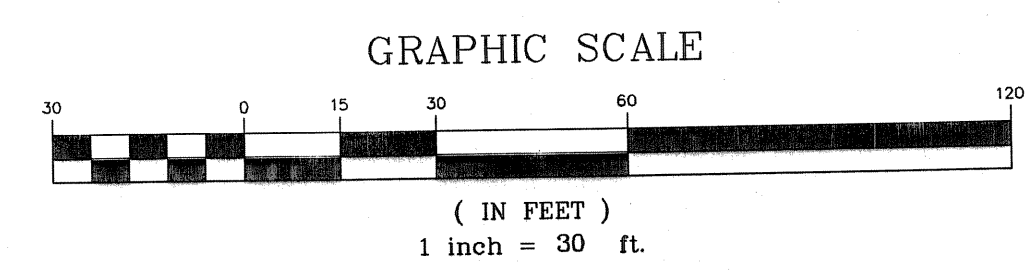
17. SHEET DRAINAGE (ONLY).

18. EXCAVATE 4" WIDE X 8" DEEP TRENCH UPSLOPE FROM SILT FENCE - 10' TRENCH, COVER W/SOIL & TAMP BACKFILL.

19. METAL POSTS AT 8' O.C. MAX. 1.33 LB./LINEAR FT STEEL, MIN. 5' LONG.

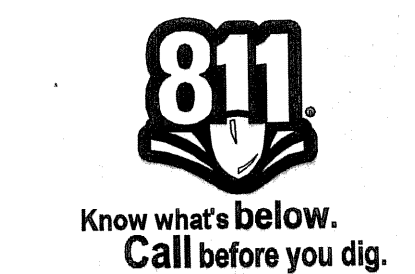
**CONSTRUCTION SPECIFICATIONS:**

1. CONSTRUCT THE SEDIMENT BARRIER OF STANDARD OR EXTRA STRENGTH SYNTHETIC FILTER FABRIC.
2. ENSURE THAT THE HEIGHT OF THE SEDIMENT FENCE DOES NOT EXCEED 24 INCHES ABOVE THE GROUND SURFACE.
3. CONSTRUCT THE FILTER FABRIC FROM A CONTINUOUS ROLL OUT TO THE LENGTH OF THE BARRIER TO AVOID JOINTS. WHEN JOINTS ARE NECESSARY, SECURELY FASTEN THE FILTER FABRIC TO THE NEXT POST WITH A 4" FEET MINIMUM OVERLAP TO THE NEXT POST.
4. SUPPORT STANDARD STRENGTH FILTER FABRIC BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE. THE WIRE MESH SHOULD EXTEND THE WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH. FASTEN THE WIRE REINFORCEMENT, THEN FABRIC ON THE UPSLOPE SIDE OF THE FENCE POST. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUNDS TENSILE STRENGTH.
5. WHEN A WIRE MESH SUPPORT FENCE IS USED, SPACE POSTS A MAXIMUM OF 8 FEET APART. SUPPORT POSTS SHOULD BE DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.
6. EXTRA STRENGTH FILTER FABRIC WITH 6 FEET POST SPACING DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. SECURELY FASTEN THE FILTER FABRIC DIRECTLY TO POSTS. WIRE OR PLASTIC ZIP TIES SHOULD HAVE MINIMUM 50 POUNDS TENSILE STRENGTH.
7. EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
8. PLACE 12 INCHES OF THE FABRIC ALONG THE BOTTOM AND SIDE OF THE TRENCH.
9. BACKFILL THE TRENCH WITH SOIL PLACED OVER THE FILTER FABRIC AND COMPACT. THOROUGH COMPACTION OF THE BACKFILL IS CRITICAL TO SILT FENCE PERFORMANCE.
10. DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.



**NOTE:** TOPOGRAPHY FROM STATE OF NORTH CAROLINA - LIDAR DATA

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**Revisions**

No.	Description

date: 8/12  
job: 12148  
drawn: KHC

LISA MAXINE WARD  
D.B. 1308, PG 034  
9554-61-2112

PAUL F. GARBER  
D.B. 929, PG 656  
9554-51-9184

STACIE E. PUTNAM  
D.B. 1239, PG 765  
9554-51-8253

JENNINGS B. BEDDINGFIELD  
D.B. 1059, PG. 174  
9554-62-5017

TERRY K. HATLEY  
D.B. 1151, PG. 169  
9554-51-7405

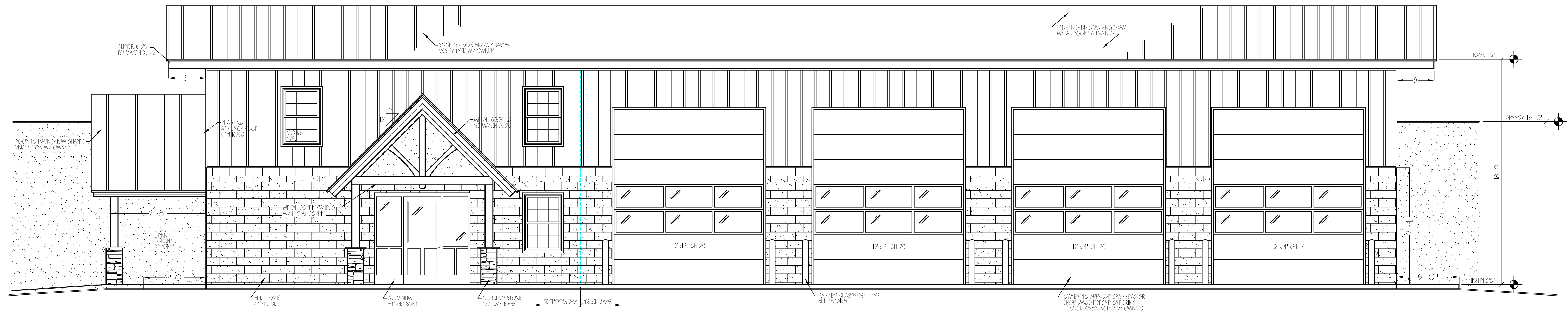
**PROPERTY INFORMATION**

OWNER: GREEN RIVER VFD  
P.O. BOX 667  
ZIRCONIA, NC 28790

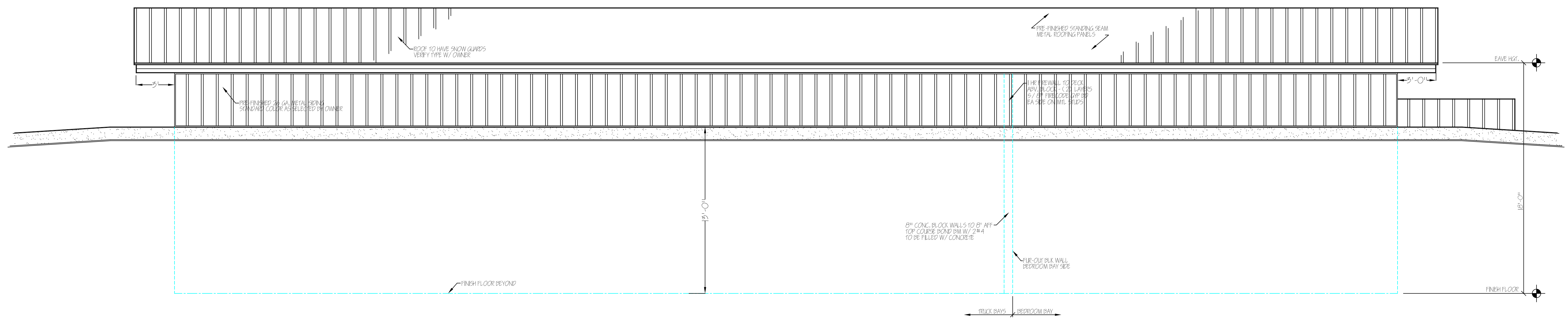
PIN#: 9554-61-0436  
D.B. 1477, PG. 284

ZONED: HENDERSON COUNTY  
R-3

1/10/2013  
*[Signature]*  
WILLIAM G. LAPSLEY  
CONSULTING ENGINEERS & LAND PLANNERS  
ASHEVILLE, NORTH CAROLINA



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"  
OPTION 'A'



REAR ELEVATION  
SCALE: 1/4" = 1'-0"  
OPTION 'A'

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NO.	DATE	ISSUE FOR

The Tamara Peacock Company  
*Architects*

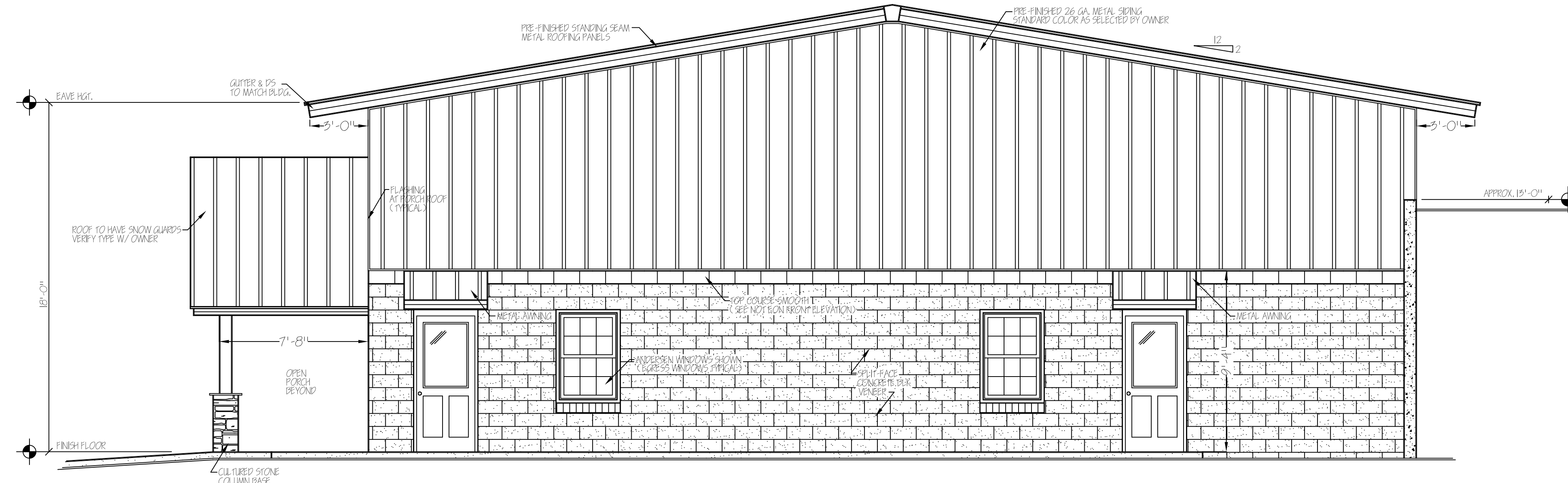
P.O. BOX 86  
Flat Rock, N.C. 28731 (828)696-4000

PROJECT NAME:  
**NEW SUBSTATION FOR  
GREEN RIVER VOLUNTEER  
FIRE DEPARTMENT  
BOB'S CREEK ROAD  
HENDERSON COUNTY, N.C.**

ELEVATIONS

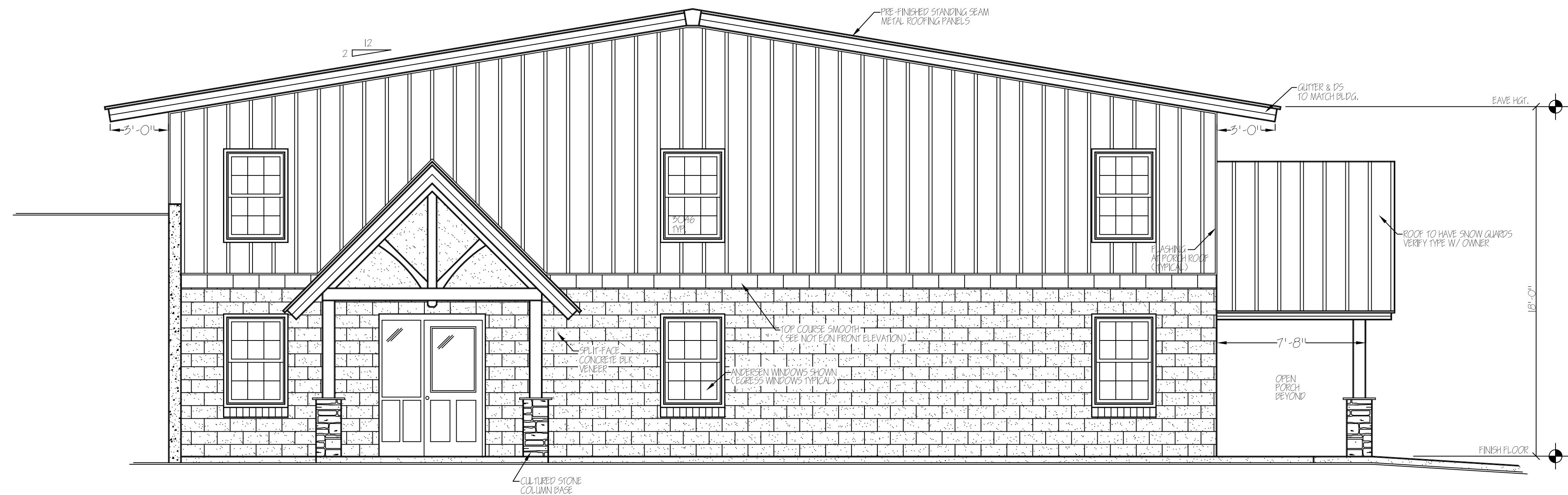
SHEET NO. 1201	DATE:
DATE:	DATE:
DATE:	DATE:

PAGE NO.  
A-4



EAST ELEVATION

SCALE: 1/4" = 1'-0"  
OPTION 'A'



EAST ELEVATION

SCALE: 1/4" = 1'-0"  
OPTION 'A'

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NO. FROM: DRAWN BY:

JOB CAPT.: REV'D BY:

REV.	DATE	ISSUE FOR

The Tamara Peacock Company  
*Architects*  
P.O. BOX 86  
Flat Rock, N.C. 28731 (828)696-4000

PROJECT NAME:  
**NEW SUBSTATION FOR  
GREEN RIVER VOLUNTEER  
FIRE DEPARTMENT  
BOB'S CREEK ROAD  
HENDERSON COUNTY, N.C.**

SHEET NAME:  
**ELEVATIONS**

JOB NO.: 1201 DATE:  
PAGE NO.:

A-5