#### **REQUEST FOR COMMITTEE ACTION**

#### **HENDERSON COUNTY**

#### **TECHNICAL REVIEW COMMITEE**

MEETING: February 5, 2013

SUBJECT: Major Site Plan Review Green River Volunteer Fire & Rescue Department, Inc.

PRESENTER: Toby Linville

**ATTACHMENTS: Staff Report** 

SUMMARY OF REQUEST: New substation for Green River Volunteer Fire & Rescue Department, Inc. off Bob's Creek Rd.

Suggested Motion: I move that the TRC approve the major site plan for Green River Volunteer Fire & Rescue Department, Inc.



## Henderson County, North Carolina Code Enforcement Services

#### 1.<u>Committee Request</u>

- 1.1. Applicant: Green River Volunteer Fire & Rescue Department, Inc.
- 1.2. Request: Major Site Plan Approval
- 1.3. **PIN:** 9554-61-0436
- 1.4. Size: 3.08 acres +/-
- 1.5. Location: The subject area is located on Bob's Creek Rd.

#### 1.6. Supplemental Requirements:

#### SR 5.10 Fire and Rescue Station

- (1) Site Plan. Major Site Plan required in accordance with §200A-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.
- (3) Accessibility. *Roads* shall be maintained for motor/emergency *vehicle* access.
- (4) Operations. No drills are to be held before 8:00 a.m. or after 10:00 p.m. on an existing *residential zoning district*. No fire trucks or other emergency *vehicles* are to be permanently stored outdoors.



#### Map A: Aerial Photo/Pictometry

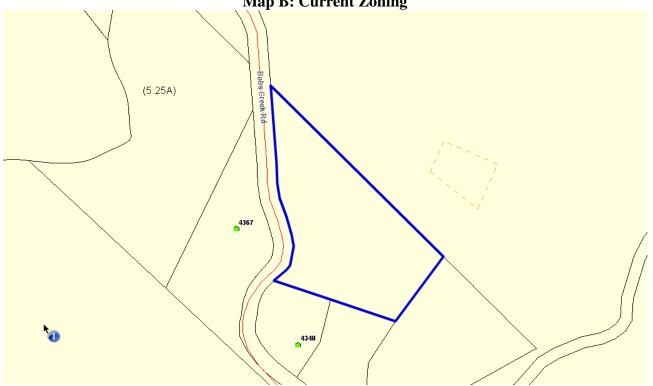


#### 2. <u>Current Conditions</u>

**2.1 Current Use:** This parcel is currently vacant.

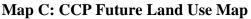
**2.2 Adjacent Area Uses:** The surrounding properties primarily consist of residential, agricultural, and undeveloped land.

**2.3 Zoning:** The surrounding property to the north, south, east and west is Residential 3.



Map B: Current Zoning

- **3.** <u>Floodplain /Watershed Protection</u> The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.
- 4. <u>Water and Sewer</u> Private well and septic system will serve this property.
  - 4.1. **Public Water**: Public water is not available.
  - 4.2. **Public Sewer**: Public sewer is not available.





#### 5. <u>Staff Comments</u>

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Urban Services Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

1. The RAA covers those portions of the county that are predominantly rural and are characterized by low-density residential development with substantial land areas devoted to agriculture and undeveloped lands. Land use policies will seek to retain that character.

2. Slopes are typically steep, often exceeding 10%, with significant areas greater than 20%.

3. Most sections of the RAA are so far from sewer services as to make their extension largely impossible. Land development regulations should recognize this by not permitting densities that would require sewer services or introduce traffic capacity problems and by encouraging densities that are consistent with steep slopes, poor septic capacities, and sensitive topography.

#### 6. <u>Staff Recommendations</u>

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

### 7. <u>Photographs</u>





Looking East into Property



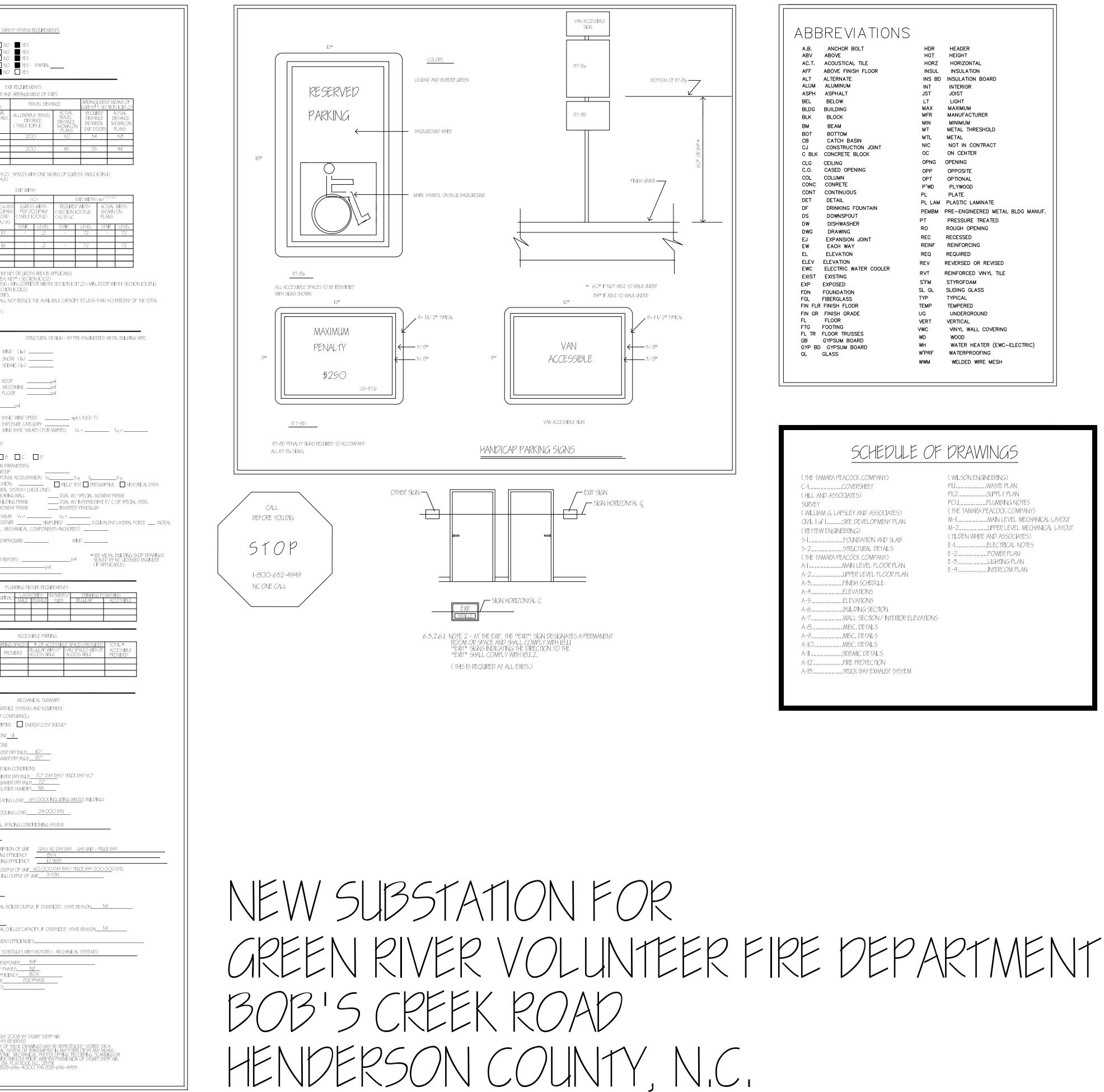
### Looking Southeast into Property



Looking Northeast along Bob's Creek Rd.



APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT I AND 2-FAMILY DWELLINGS AND TOWNHOUSE	PRIMARY OCCUPANCY: ASSEMBLY A-1 A-2 A-3 A-4 A-5  PRIMARY OCCUPANCY: ASSEMBLY A-1 A-2 A-3 A-4 A-5  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-1 A-5  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-1 A-2  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-2  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-4  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-4  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-4  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBLY A-4  PRIMARY OCCUPANCY: ASSEMBLY A-4  PRIMARY OCCUPANCY: ASSEMBLY ASSEMBL	EMERGENCY LIGHTING: NO YES EXIT SIGNS: NO YES
	HAZARDOUS    H-1 DETONATE    H-2 DEFLAGRATE    H-3 COMBUST    H-4 HEALTH    H-5 HPM INSTITUTIONAL    I-1    I-2    I-3    I-4 I-3 CONDITION    I    2    3    4    5	EXE     JULIOS     ILO     ILO       FIRE     ALARM:     INO     IVES       SMOKE DETECTION SYSTEMS:     INO     IVES       PANIC HARDWARE:     INO     IVES
CEXCEFT FAND Z-FAMILY DWELLINGDAND TOWNFIOUD	MERCANTLE RESIDENTIAL DEL DE2 DE3 DE4	EXIT REQUIREMEN
NAME OF PROJECT <u>NEW SUBSTATION FOR GREEN RIVER VOLUNTEER FIRE AND RESC</u> UE ADDRESS <u>BODS CREEK ROAD, TUXEDO, N.C.</u> PROPOSED USE <u>FIRE DEPARTMENT</u>	SECONDARY OCCLPANCY:	FLOOR, ROOM OR SPACE DESIGNATION REQUIRED ON PLANS (TABLE IOI)
WNER OR AUTHORIZED AGENT <u>DUSTIN NICHOLSON</u> PHONE#( <u>828)674-8415</u> E-MAIL WNED BY: CITY/ COUNTY PRIVATE STATE OPE ENFORCEMENT JURISPICTION: CITY COUNTY <u>HENDERSON</u> STATE	SPECIAL PROVISIONS: □ 509.2 □ 509.3 □ 509.4 □ 509.5 □ 509.6 □ 509.7 □ 509.8 MIXED OCCLPANCY: □ NO ■ YES SEPARATION: □ HR. EXCEPTION: □ INCIDENTAL LISE SEPARATION (508.2)	1RUCK BAYS         2         2         2000           DAY BAYS         2         2         2000
LEAD DESIGN PROPESSIONAL THE TAMARA PEACOCK COMPANY DESIGNER <u>FIRM NAME LICENSE #</u> TELEPHONE E-MAIL	THIS SEPARATION IS NOT EXEMPT AS A NON-SEPARATED USE (SEE EXCEPTIONS)  NON-SEPARATED USE (508,3,2)  THE REQUIRED TYPE OF CONSTRUCTION FOR THE BUILDING SHALL BE DETERMINED BY APPLYING THE HEIGHT AND AREA LIMITATIONS FOR EACH OF THE APPLICABLE OCCUPANCES TO THE ENTRE BUILDING. THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED. SHALL APPLY TO THE ENTRE BUILDING.	CORRIDOR DEAD ENDS SECTION (1017.3) 2 BUILDINGS WITH SINGLE EXITS (TABLE 1019.2), SPACES WITH 2 COMMON PATH OF TRAVEL (SECTION 1014.3)
ARCHITECTURAL THE TAMARA PEACOCK COMPANY 12289 (828)696-4000 TAMARA@TAMARAPEACOC CIVIL ELECTRICAL TILDEN WHITE AND ASSOC, 028953 (828)255-4327 TAMARA@TAMARAPEACOC	K.COM SEPARATED USE (508.3.3) - SEE BELOW FOR AREA CALCULATIONS FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL	EXIT WIDTH
FIRE ALARM PLUMBING WILSON ENG. TOM WILSON 13849 (828) 606-0034 TRW@10A.COM MECHANICAL THE TAMARA PEACOCK COMPANY 12289 (828) 696-4000 TAMARA@TAMARAPEACOC	ACTUAL AREA OF OCCUPANCY A + <u>ACTUAL AREA OF OCCUPANCY B</u> sI ALLOWABLE AREA OF OCCUPANCY A ALLOWABLE AREA OF OCCUPANCY B K.COM	DESCRIPTION 50 FT SO FT PER OCCUPANT OCCUPANT LOAD (TABLE IC IOO4.1.1) STAR
SPRINKLER-STANDPIPE STRUCTURAL RETTEWENG BILL RETTEW 11819 (864).877-9435 BILLR@RETTEW.BIZ ÆTANING WALLS>5' HCH	STORY NO.     DESCRIPTION AND USE     (A) BLDG, AREA PER STORY (ACTUAL)     (B) TABLE 503° AREA PER STORY (ACTUAL)     (C) AREA FOR FRONTAGE NCREASE     (D) (D) AREA FOR SPRINKLER NCREASE     (E) AREA FOR SPRINKLER NCREASE     (E) AREA OR NCREASE     (P) AREA FOR AREA OR NCREASE	TRUCK BAYS         3528         300         12         -           DAY BAYS         1620         100         16         -
YTHER 2009 EDITION OF NC CODE FOR: I NEW CONSTRUCTION ADDITION UPFIT EXISTING: RECONSTRUCTION ALTERATION REPAR		L L L L L L L L L L L L L L L L L L L
CONSTRUCTEDORIGINAL USERENOVATEDCURRENT USE BUILDING DATA	FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTED THUS A. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET MINIMUM WIDTH =(F) B. TOTAL BUILDING PERIMETER =(P) C. RATIO (F/P) =(F/P)	*SEE SECTION IOO-4,5 FOR CONVERSING EXITS. *THE LOSS OF ONE MEANS OF EQRESS SHALL NOT REPLICE 11 REQUIRED (SECTION IOO5,1) *ASSEMBLY OCCLIPANCIES (SECTION IO25)
CONSTRUCTION TYPE: II-A III-A III-A IV V-A I-B III-B III-B V-B MIXED CONSTRUCTION; NO VES TYPES	P. W = MINIMUM WIDTH OF PUBLIC WAY =(W) E. PERCENT OF FRONTAGE INCREASE I.= 100 EF/P - 0.253 x W/30 =(%) <sup>2</sup> THE SPRINKLER INCREASE PER SECTION 506.3 IS AS FOLLOWS; A. MULTI-STORY BUILDING I.= 200 PERCENT	STRUC
SPRINKLERS:       NO       PARTIAL       YES       NFPA 13       NFPA 13R       NFPA 13D         STANDPIPES:       NO       YES       CLASS       I       II       III       WET       DRY         PIRE DISTRICT:       NO       YES       FLOOD HAZARD AREA :       NO       YES         BUILDING HEIGHT:       FEET       IS**       NUMBER OF STORIES       2         MEZZANINE:       NO       YES	B. SINGLE STORY BUILDING I.= 300 PERCENT <sup>3</sup> UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF SECTIONS GROUP B.F.M.S.A-3,A-4 (507); GROUP A MOTION PICTURE (507,10); COVERED MALL BUDGS (402,6); AND H-2 ARCRAFT PAINT HANGERS (507,8) <sup>4</sup> MAXIMUM BUILDING AREA = 10TAL NUMBER OF STORIES IN THE BUILDING x E (506,4) <sup>5</sup> THE MAXIMUM AREA OF PARKING GARAGES MUST COMPLY WITH 406,3,5, THE MAXIMUM AREA OF AR TRAFFIC CONTROL	DESIGN LOADS; IMPORTANCE FACTORS; WIND (Iw) SNOW (Ib) SEIBMIC (Ib)
NO LINE     NO LINE	TOWERS MUST COMPLY WITH 412.1.2. 3 STORIES ALLOWED - ALLOWABLE HEIGHT - 2 STORIES OK	LIVE LOADS; ROOF MEZZANINE FLOOR
6th FLOOR 5h FLOOR 4th FLOOR	ALOWARDE     INCREASE FOR SPRINKLERS     SHOWN ON PLANS     CODE       TYPE OF CONSTRUCTION     TYPE     TYPE     TYPE       BUILDING HEIGHT IN FEET     FEET     FEET = H+ 20' =     STORIES       BUILDING HEIGHT IN STORIES     STORIES     STORIES + I =     STORIES	SNOW LOAD;psf WIND LOAD; BASIC WIND SPEEL EXPOSURE CATEGO
3rd FLOOR 2nd FLOOR MEZZANINE 1st FLOOR5148	FIRE PROTECTION REQUIREMENTS LIFE SAFETY PLAN SHEET #, IF PROVIDED FIRE RATING DETAIL #DESIGN# DESIGN# DESIGN#	WIND BASE SHEAK SEISMIC DESIGN CATEGORY A B C D 7
BASEMENT TOTAL 6628	BULLDING ELEMENT         SEPARATION DISTANCE (PEET)         REQ'TD REQ'TD REDUCTION         PAIL (W)*         PAIL FOR RATE FOR RATE SHEET # ASSEMBLY PENETRATION JOINTS           STRUCTURG         COUMNS, GROERS, & TRUSES         NC	2 SEISMIC PESIAN CATEGORY ☐ B ☐ C PROVIDE THE FOLLOWING SEISMIC DESIAN PARAMETERS; SEISMIC USE AROUP SPECTRAL RESPONSE ACCELERAT
<u>001N01E5</u> ANCHOR BOLT DESIGN BY PRE-ENGINEERED METAL BLDG, ENGINEER, ( IF APPLICABLE)	BEARING WALLS     NA       EXTERIOR     NA       NORTH     NA       EAST     NA	SITE CLASSIFICATION BASIC STRUCTURAL SYSTEM (CHEC 
. 1HIS BUILDING DESIGNED FOR NON-HAZARDOUS OCCUPANCY-NO HAZARDOUS MATERIAL INFORMATION SUPPLIED TO ARCHITECT BY OWNER. . VERIEY WITH FIRE MARSHALL HAVING	WEST     NA       SOUTH     NA       INTERIOR     NA       NONDEARING WALLS &     Interior	MOMENT FRAME SEISMIC BASE SHEAR VX = ANAL YSIS PROCEDURE ARCHTECTURAL, MECHANICAL, CC
JUREDICTION ANY FIRE ALARM REQUIREMENTS FOR THIS PROJECT. FOR SPRINKLERED BLDGS OWNER TO VERIFY WITH THEIR UNDERWRITER. SPRINKLER SYSTEM UNDERWRITER WILL REQUIRE BEFORE CONSTRUCTION. ONCE THIS IS DETERMINED VERIFY THERE IS ADEQUATE WATER TO THE SITE	PARTITIONS EXTERIOR WALLS NC NORTH NC EAST NC WEST NC	ARCHTELTURAL, MECHANICAL, CL LATERAL DESIGN CONTROL: EARTHQUAKE SOIL BEARING CAPACITIES;
FOR THIS SYSTEM. NC - NON-COMBUSTIBLE	SOLITH         NC           INTERIOR WALLS AND PARTITIONS         NC           FLOOR CONSTRUCTION         INCLUDING SUPPORTING	PIELD TEST (PROVIDE COPY OF TEST REPORT) PRESUMPTIVE BEARING CAPACITY PILE SIZE, TYPE, AND CAPACITY
NA - NOT APPLICABLE	BEAMS AND JOISTS         NC           ROOP CONSTRUCTION	PLUMBING FIXTU USE WATERCLOSETS MALE FEMALE URINALS LAVATO MALE FEMALE
SPECIAL REQUIREMENTS PECIAL APPROVAL: (LOCAL JURISDICTION, DEPARTMENT OF INSURANCE, OSC, DPI, DH15, ICC, ETC.	SHAFTS ENCLOSURES- OTHER     NA       CORRIDOR SEPARATION     NA       OCCUPANCY SEPARATION     NA       PRRVY THE WALL SEPARATION     2       SEE DETAILS     1	EXISTING NEW REQUIRED
PESCRIBE BELOW) HENDERSON COUNTY ZONING APPROVAL	SMOKE BARRIER SEPARATION NA TENANT SEPARATION NA INCIDENTAL LISE SEPARATION NA *INDICATED SECTION NUMBER PERMITTING REDUCTION	ACCESSID LOT OR PARKING <u>TOTAL # OF PARKING SPACES</u> AREA REQUIRED PROVIDED RCC
ENERGY SUMMARY ENERGY REQUIREMENTS: THE FOLLOWING DATA SHALL BE CONSIDERED MINIMUM AND ANY SPECIAL ATTRIBUTE REQUIRED TO MEET THE	ELECTRICAL SUMMARY - SEE SHEET E-1	TOTAL
ENERGY CODE SHALL ALSO BE PROVIDED. EACH DESIGNER SHALL FURNISH THE REQUIRED PORTIONS OF THE PROJECT INFORMATION FOR THE PLAN DATA SHEET. IF ENERGY COST BUDGET METHOD, STATE THE ANNUAL ENERGY COST BUDGET VS ALLOWABLE ANNUAL ENERGY COST BUDGET.	ELECTRICAL SYSTEM AND EQUIPMENT METHOD OF COMPLIANCE: PRESCRIPTIVE DERFORMANCE ENERGY COST BUDGET	MECHANICAL SYSTEMS, SERVICE SYSTEMS A
THERMAL ENVELOPE METHOD OF COMPLIANCE: PRESCRIPTIVE% GLAZED WALL AREA PERFORMANCE ENERGY COST BUDGET	LIGHTING SCHEDULE	METHOD OF COMPLIANCE PRESCRIPTIVE DENER
ROOP / CEILING ASSEMBLY (EACH ASSEMBLY) DESCRIPTION OF ASSEMBLYIO''' INSUL. U-VALUE OF TOTAL ASSEMBLY P-VALUE OF INSULATIONR-30	NUMPER OF LAMPS IN FIXTURE	CLIMATE ZONE <u>VI</u> THERMAL ZONE WINTER DRY BULB SUMMER DRY BULB
R-VALLE OF INSULATIONR-30 SKYLIGHTS IN EACH ASSEMBLY U-VALUE OF SKYLIGHT U-VALUE OF SKYLIGHTG OF SKYLIGHTS IN EACH ASSEMBLY TOTAL SQUARE FOOTAGE OF SKYLIGHTS IN EACH ASSEMBLY	TOTAL INTERIOR WATTAGE SPECIFIED VS ALLOWED TOTAL EXTERIOR WATTAGE SPECIFIED VS ALLOWED EQUIPMENT SCHEDULES WITH MOTORS, NOT USED FOR MECHANICAL SYSTEMS)	INTERIOR DESIGN CONDITIONS WINTER DRY BULB SUMMER DRY BULB
EXTERIOR WALLS (EACH ASEMBLY) DESCRIPTION OF ASSEMBLY6" INSUL. U-VALLE OF TOTAL ASSEMBLY526	MOTOR HORSEPOWER NUMBER OF PHASES	RELATIVE HUMIDITY BUILDING HEATING LOAD BUILDING COOL ING LOAD
R-VALLE OF INSILATIONR-19 OPENINGS ( WINDOWS OR DOORS WITH GLAZING) U-VALLE OF ASSEMBLYSI SHADING COEFFICIENTSS	MINMUM EFFICENCY MOTOR TYPE # OP POLES	BULDING COOLING LOAD MECHANICAL SPACING CONDIT
PROJECTION FACTOR LOW E REQUIRED, IF APPLICABLEN/A 200R R-VALUES2,44		UNITARY DESCRIPTION OF UNIT HEATING EFFICIENCY COOLING EFFICIENCY
WALLS ADJACENT TO LINCONDITIONED SPACE (EACH ASEMBLY) N/A DESCRIPTION OF ASSEMBLY U-VALLE OF TOTAL ASSEMBLY R-VALLE OF INSULATION		COOLING EFFICIENCY HEAT OUTPUT OF UNIT <u> </u>
REVIEWE OF INDIALION OPENINGS ( WINDOWS OR DOORS WITH ALAZING) IL-VALLE OF ASSEMBLY LOW E REQUIRED, IF APPLICABLE DOOR R-VALLES		BOILER
WALLS BELOW GRADE (EACH ASSEMBLY) N/ A  PESCRPTION OF ASSEMBLY		CHILLER TOTAL CHILLER CAPACI
U-VALLE OF TOTAL ASSEMBLY R-VALLE OF INSULATION PLOORS OVER UNCONDITIONED SPACE ( EACH ASSEMBLY) N/ A		LIST EQUIPMENT EFFICIENCIES. EQUIPMENT SCHEDILLES WITH / MOTOR HORSEPOWER
DESCRIPTION OF ASSEMBLY U-VALLE OF TOTAL ASSEMBLY R-VALLE OF INSILATION EL 0026 EL AB ON CRAPE		MOTOR HORSEPOMER <u>2111</u> NUMBER OF PHASES <u>30</u> MINIMUM EFFICIENCY <u>80</u> MOTOR TYPE <u>POLYP</u> # OF POLES
FLOORS SLAB ON GRADE DESCRIPTION OF ASSEMBLYPERIMETER GRADE BM INSILATION U-VALUE OF TOTAL ASSEMBLYIO R-VALUE OF INSILATIONIO		·· 01 1 0442
HORIZONTAL / VERTICAL REQUIREMENT24" SLAB HEATEDN/A		(COPYRIGHT 2008 BY 5114
		ALL RIGHTS RESERVED NO PART OF THESE DRAWN RETRIEVAL SYSTEM OR TRAN ELECTRONIC MECHANICA OTHERWISE-WITHOUT PRIO PO BOX 86 PLAT ROCK N PHONE 828-696-4000
		-ELECTRONIC MECH



1 D L	BREVIATIONS	)	
A.B.	ANCHOR BOLT	HDR	HEADER
ABV	ABOVE	HGT	HEIGHT
AC.T. AFF	ACOUSTICAL TILE	HORZ	
	ABOVE FINISH FLOOR	INSUL	
ALT ALUM	ALTERNATE ALUMINUM	INS BD	
ASPH	ASPHALT	INT JST	INTERIOR JOIST
BEL	BELOW	LT	LIGHT
BLDG	BUILDING	MAX	MAXIMUM
BLK	BLOCK	MFR	MANUFACTURER
		MIN	MINIMUM
BM	BEAM	МТ	METAL THRESHOLD
BOT CB	BOTTOM CATCH BASIN	MTL	METAL
CJ	CONSTRUCTION JOINT	NIC	NOT IN CONTRACT
	CONCRETE BLOCK	oc	ON CENTER
CLG	CEILING	OPNG	OPENING
C.O.	CASED OPENING	OPP	OPPOSITE
COL	COLUMN	OPT	OPTIONAL
CONC	CONRETE	P'WD	PLYWOOD
CONT	CONTINUOUS	PL	PLATE
DET	DETAIL		PLASTIC LAMINATE
DF	DRINKING FOUNTAIN	PEMBM	PRE-ENGINEERED METAL BLDG MANU
DS	DOWNSPOUT		
DW	DISHWASHER	PT	PRESSURE TREATED
DWG	DRAWING	RO	ROUGH OPENING
EJ	EXPANSION JOINT	REC	RECESSED
EW	EACH WAY	REINF	REINFORCING
EL	ELEVATION	REQ	REQUIRED
ELEV	ELEVATION	REV	REVERSED OR REVISED
EWC	ELECTRIC WATER COOLER	RVT	REINFORCED VINYL TILE
EXIST	EXISTING	S'FM	STYROFOAM
EXP	EXPOSED	SEM SLGL	SLIDING GLASS
FDN	FOUNDATION	SL GL TYP	SLIDING GLASS
FGL	FIBERGLASS FINISH FLOOR	TEMP	TEMPERED
		UG	
FIN GR	FINISH GRADE FLOOR	VERT	UNDERGROUND VERTICAL
FTG	FOOTING	VERT	VERTICAL VINYL WALL COVERING
	FLOOR TRUSSES		
GB	GYPSUM BOARD	WD	WOOD
	GYPSUM BOARD	WH	WATER HEATER (EWC-ELECTRIC)
GL	GLASS	W'PRF	WATERPROOFING
		WWM	WELDED WIRE MESH

# SCHEDULE OF DRAWINGS

(THE TAMARA PEACOCK COMPANY) C-1.....COVERSHEET (HILL AND ASSOCIATES) SURVEY (WILLIAM G. LAPSLEY AND ASSOCIATES) CIVIL | of |.....SITE DEVELOPMENT PLAN (RETTEW ENGINEERING) S-1,.....FOUNDATION AND SLAB 5-2.....STRUCTURAL DETAILS ( THE TAMARA PEACOCK COMPANY) A-1.....MAIN LEVEL FL*OO*R PLAN A-2.....UPPER LEVEL FLOOR PLAN A-3.....FINISH SCHEDULE A-4.....ELEVATIONS A-5....ELEVATIONS A-6.....BULDING SECTION A-7.....WALL SECTION/ INTERIOR ELEVATIONS A-8.....MISC. DETAILS A-9.....MISC. DETAILS A-10,,,,,,,MISC, DETAILS A-11.....SEISMIC DETAILS A-12.....FIRE PROTECTION

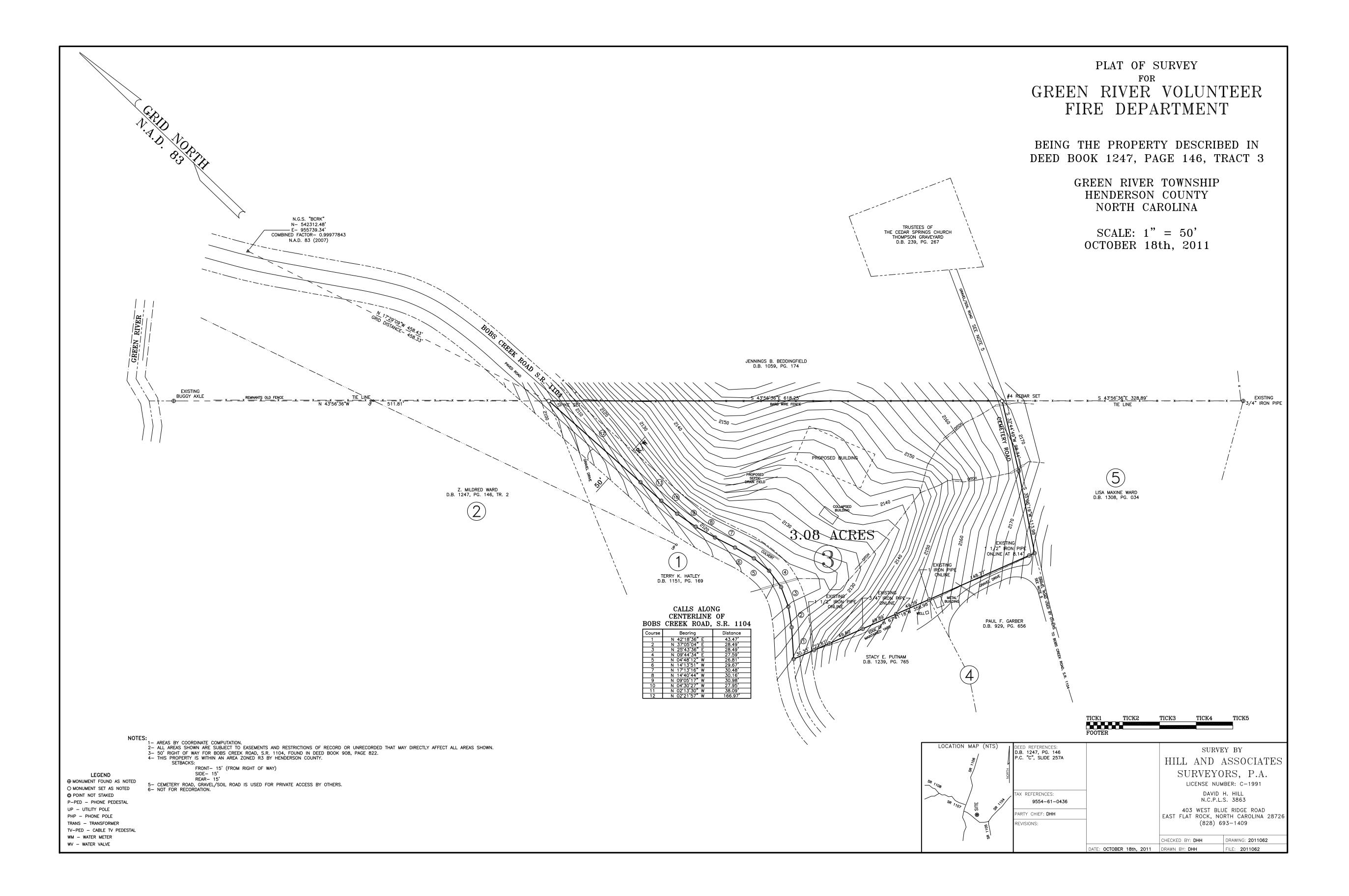
A-13.....TRUCK BAY EXHAUST SYSTEM

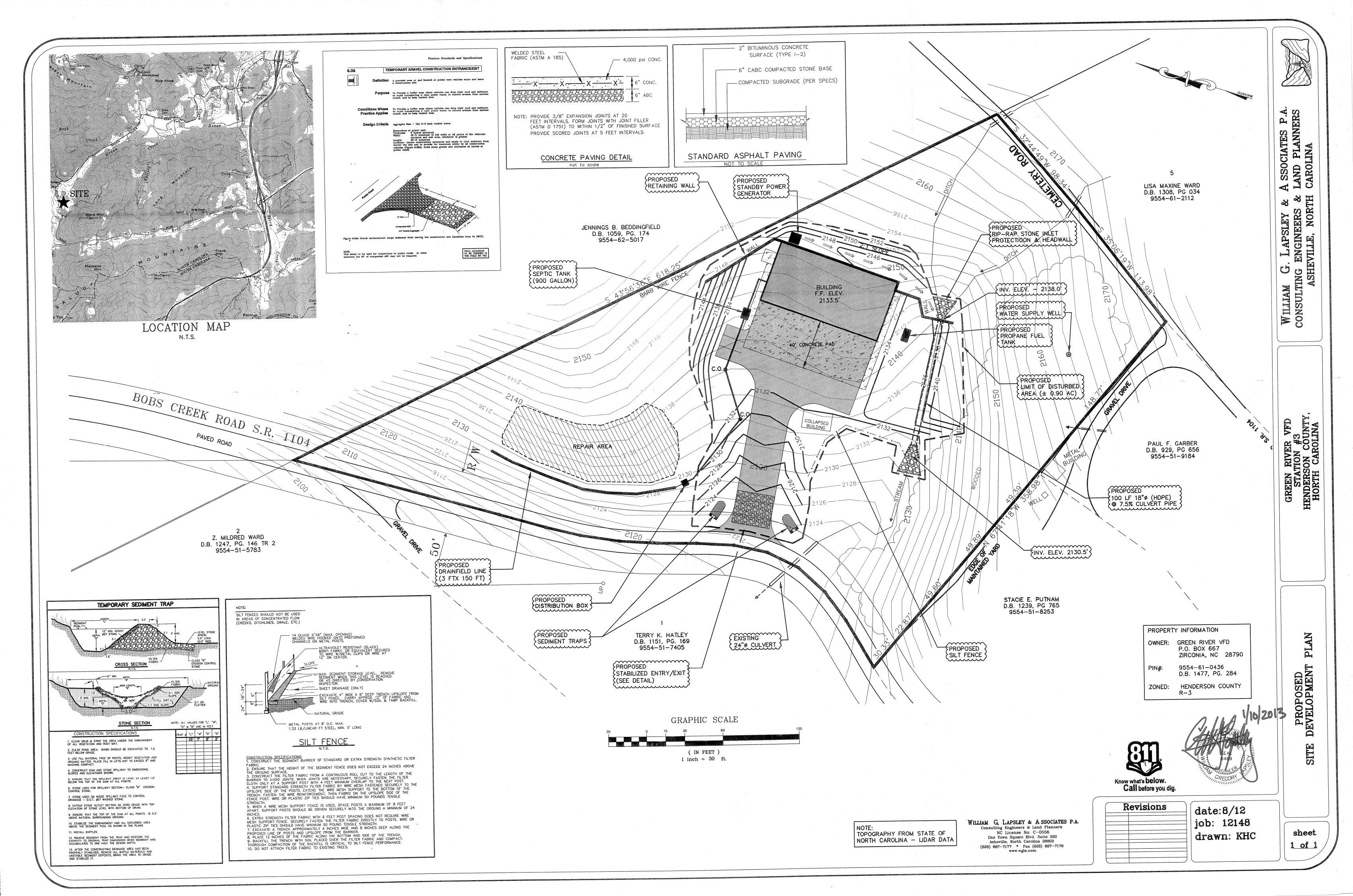
(WILSON ENGINEERING) PLI.....WASTE PLAN PI.2.....SUPPLY PLAN PO.I.....PLUMBING NOTES (THE TAMARA PEACOCK COMPANY) M-1.....MAIN LEVEL MECHANICAL LAYOUT M-2.....UPPER LEVEL MECHANICAL LAYOUT (TILDEN WHITE AND ASSOCIATES) E-I....ELECTRICAL NOTES E-2.....POWER PLAN E-3,....LIGHTING PLAN E-4.....INTERCOM PLAN



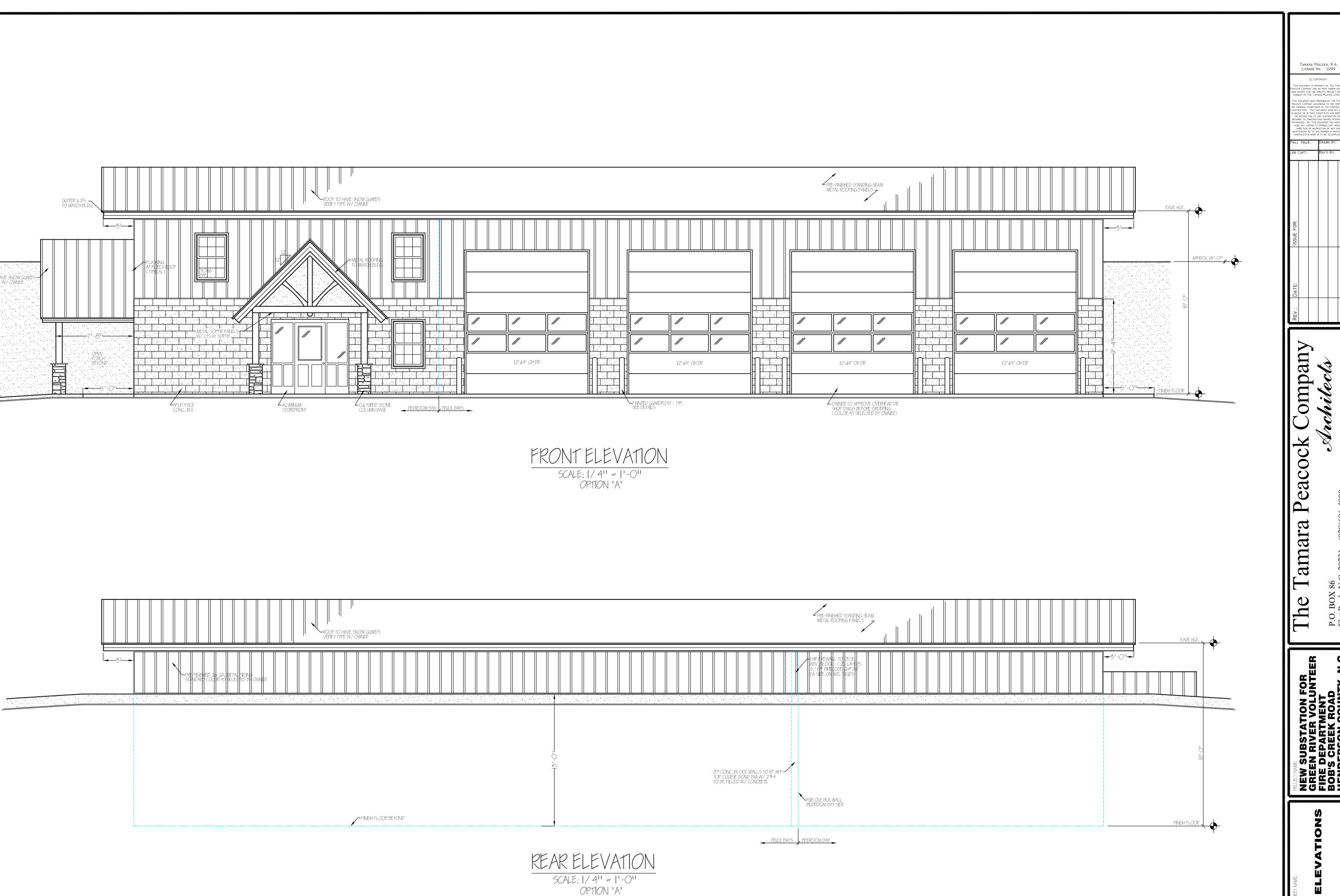
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DATE:					
REV.:					
	I he I amara Peacock Company		Azchitoch.		Flat Rock, N.C. 28731 (828)696-4000
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PRO.IECT NAME:		INTEER	FIRE DEPARTMENT	BOB'S CREEK ROAD	HENDERSON COUNTY, N.C.



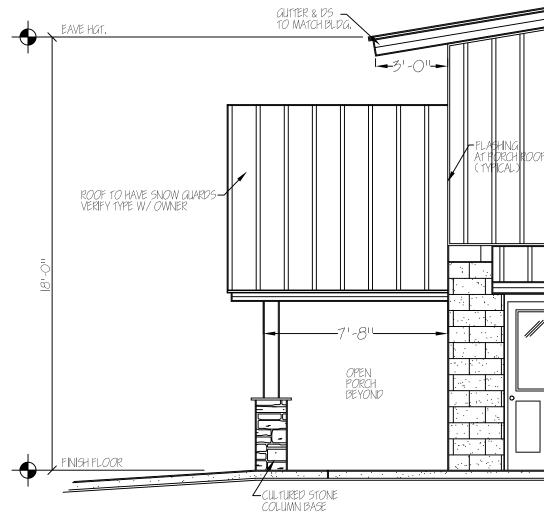


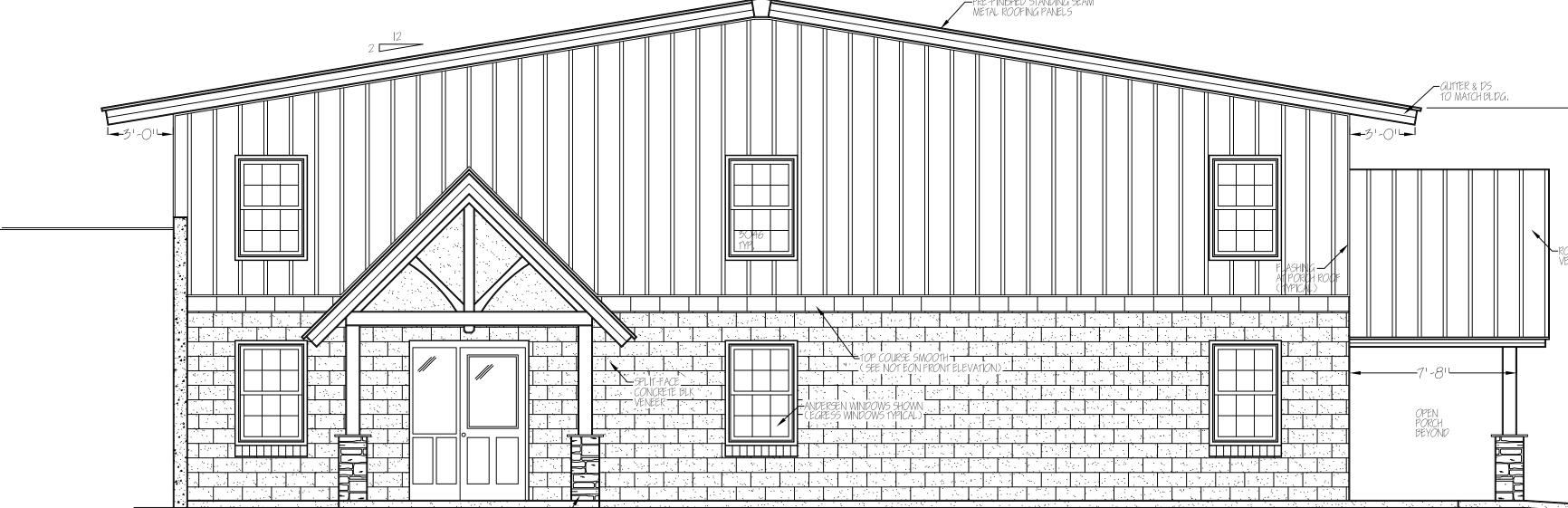




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EAST ELEVATION SCALE: 1/ 4" - 1-0" OPTION A CAMPE MALOR CAMPE MALO	The Tamara Peacock Comp P.O. BOX 86 Flat Rock, N.C. 28731 (828)696-4000
	<b>PROLECTIONE NEW SUBSTATION FOR GREEN RIVER VOLUNTEER FIRE DEPARTMENT BOB'S CREEK ROAD HENDERSON COUNTY, N.C.</b>
EAST ELEVATION SCALE: 1/4" = 1'-0" OPTION 'A'	IZOI DWG NO. AG-5