

Henderson County

Code Enforcement Services

240 2nd Avenue East Hendersonville, North Carolina 28792
Phone (828) 697-4857 Fax (828) 697-4658

MEMORANDUM

DATE: March, 19, 2008
TO: Technical Review Committee
TRC MEETING DATE: April 1, 2008
REGARDING: Major Site Plan Review
NAME OF APPLICANT: SBA Towers, Inc.
DEPARTMENT: Code Enforcement Services
STAFF CONTACT: Toby Linville
ATTACHMENTS: Site Plans

Please find attached plans for the following development proposal to be reviewed by the Henderson County Technical Review Committee on April 1, 2008.

Major Site Plan Review

SurveyOne, PLLC, Surveyor, on behalf of the owner, SBA Towers Inc., submitted the major site plan for this project. They wish to utilize the property for Communication Facilities use which requires major site plan review per S.R. 9.3.

SR 9.3. Communication Facilities

(1) General Standards.

- a. Site Plan. Communication Facility *Site Plan* in accordance with §200A-296 (Communication Facility Site Plan Review).
- b. Certification, Licensure and Permitting. Prior to erecting, installing or operating a communication facility, a structural engineering certification certifying the integrity of the communication facility, shall be signed and sealed by a professional engineer.
- c. Communication facilities proposed to be constructed in areas designated as *Protected Mountain Ridges* shall not exceed 100 feet in height.
- d. Lighting. No permanent strobe lights shall be permitted on the *communication tower* unless required by local, state or federal laws pertaining to the establishment and operation of a communications facility. Ground level security lighting may be permitted if designed to minimize impacts on adjacent properties.
- e. Noise. Unusual sound emissions, including but not limited to buzzers and alarms, shall not be permitted.
- f. Screening. Screen Class Four (4) shall be provided consistent with the requirements of §200A-150 (Screen Classification)).
- g. Sign Standards. A *sign* which includes the name of the communication facility owner(s)/operator(s), emergency telephone numbers and the assigned communication facility registration number shall be displayed in a visible location near the *structure*. A minimum of two (2) "warning/no trespassing" *signs* are required. The *Communication Facilities Administrator* may require additional signage (of the type described above) as needed. No other signage shall be permitted on the *communication tower site*.
- h. Option to County on Collocation Opportunity. For all new *communication towers*, the *applicant* shall give the County the option of collocating, for governmental use, an *antenna* on the new *communication tower* at fair *market value*, if technically feasible and if requested by the County in writing within 30 days of the submission of a permit application.

(2) Communication Facility Types. Communication facilities shall be broken into three (3) distinctive classes, as follows:

a. *Category One (1) Communication Facilities* include the following:

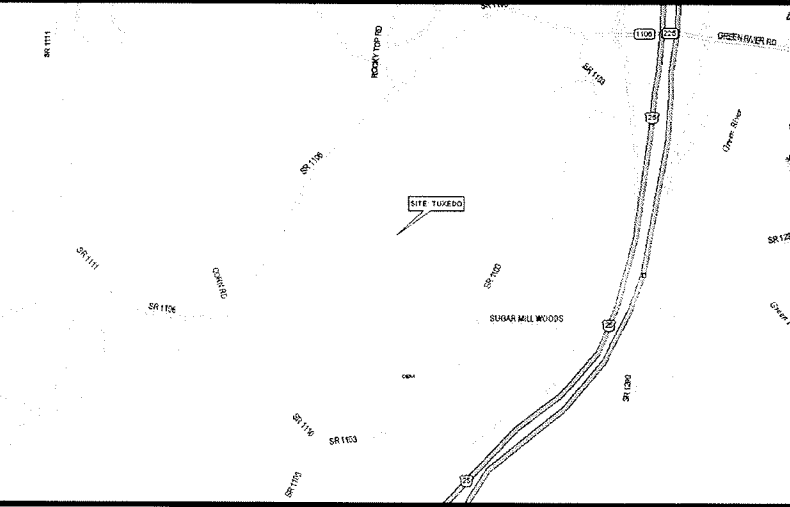
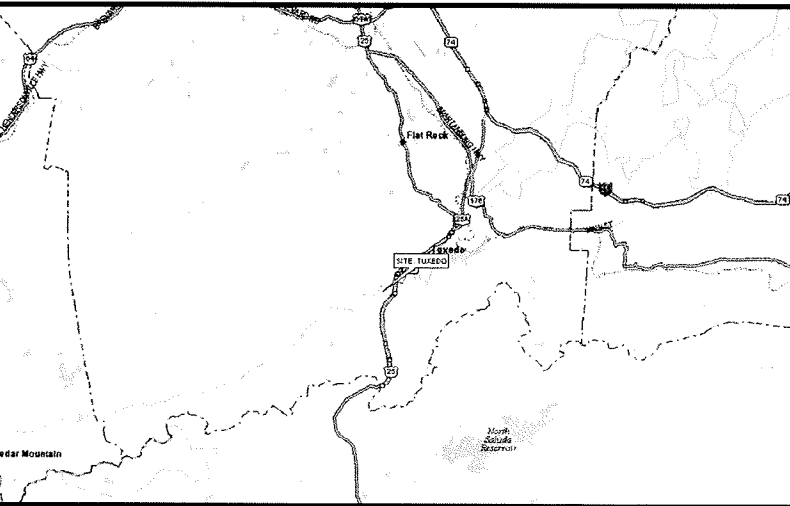
1. Towers and/or *antennas* constructed or permitted prior to the effective date of this Chapter; towers for residential, *amateur radio* or governmental *use* which are less than 90 feet in height; and towers less than 50 feet in height; and
2. *Collocation antennas* on existing communications towers.

Category Two (2) Communication Facilities include the following:

1. The location of *antennas* on *alternative structures*;
 2. Replacement towers; and
 3. Towers used for residential, *amateur radio* and/or governmental purposes 90 feet or greater in height; and all other towers 50 feet or greater in height.
- c. *Category Three (3) Communications Facilities* include any and all towers 200 feet or greater in height.
- (3) Communication Facility Specific Standards. The following standards shall apply to the three categories of communication facilities:
- a. *Category One (1) Communication Facilities*:
 1. A *category one (1) communication facility* is permitted by right in all zoning districts.
 2. Height. In no case will a *collocation* be permitted where the additional *antenna* height would cause category classification change of the proposed host *communication tower*.
 - b. *Category Two (2) Communication Facilities*:
 1. Height. In no event shall a replacement *communication tower* exceed the height of the existing *communication tower*. No tower shall exceed 200 feet in height. In addition, no communication facility (tower and/or *antenna*) affixed on an *alternative structure*, shall exceed 50 feet in height above the maximum height of the *alternative structure*. Final height of the *communication tower* and/or *antenna*, including *structure* height above highest grade level, must not exceed 200 feet.
 2. Replacement. Replacement *communication towers* must be placed as close to the existing *communication tower* as feasible, but in no case further than 100 feet from the existing *communication tower base*. The existing *communication tower* shall be removed within 90 days of completion of the replacement *communication tower*.
 3. Communication Tower Site. All *category two (2) communication facilities* must be located on a designated *communication tower site* or an approved *alternative structure*. At a minimum a *communication tower site* must:
 - (1) encompass all components of the proposed project;
 - (2) consist of a *lot of record* or deeded *easement*; and
 - (3) accommodate all-weather movement of construction, maintenance and emergency response equipment to and from the site.
 4. Separation from Existing Communication Facilities. *Category two (2) communication facilities* must be a minimum of one-half (½) mile from any existing *communication facility category two (2) or three (3)* unless constructed on the same *communication tower site* (a *lot of record* or deeded *easement*) or *alternative structure*. A proposed *category two (2) communication facility (antenna)* will only be permitted on the same *communication tower site* or *alternative structures* as an existing communication facility when it has been proven that the proposed site is the only feasible location for providing coverage to the anticipated service area and all existing communication facilities are incapable of accommodating the proposed *antenna*.
 5. Separation from Existing Occupied Buildings. *Communication towers* must be constructed a minimum distance equivalent to 110 percent of the height of the proposed *communication tower* from existing occupied *structures*. *Communication towers* unable to conform to *occupied building* separation requirements may submit affidavits of understanding from the owners of property and/or *structures* within the 110 percent height radius in place of conforming to the separation standards. Affidavits of understanding shall state that the property owners do not object to the construction of the *communication tower* as proposed in the application, and agree to hold the County harmless from any and all liability for the location and construction of the *communication tower* as proposed in the application. Such affidavits should also site the specific plan or drawing reviewed by the property owner.
 6. Stealth Designs. Communications towers and *antennas* on *alternative structures* in *residential zoning districts* must be constructed as stealth designs.
 7. Color. *Communication towers* not constructed as stealth designs must be a color that is consistent with *existing development* or natural conditions.
 8. Security. Adequate measures must be taken to ensure *antennas* on *alternative structures* are not potential sources of physical danger to the public.
 9. Design to Accommodate Additional User. All new *category two (2) communication towers* shall be designed to accommodate a minimum of three (3) communication *antenna* arrays.

The project site is located on 6.4300 acres of land (PIN 9564990991) located on Green River Road, Zirconia. The project is located in a Residential 2-MH zoning district. The project meets the requirements of the Land Development Code and all the applicable major site plan requirements are met.

If you would like to submit your changes early please use the comment sheet provided and sending it back via email to tlinville@hendersoncountync.org.

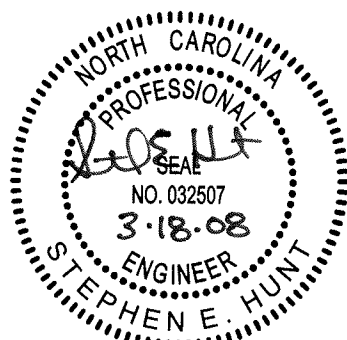


COMMUNICATION FACILITY PLAN

NTS

SITE DIRECTIONS

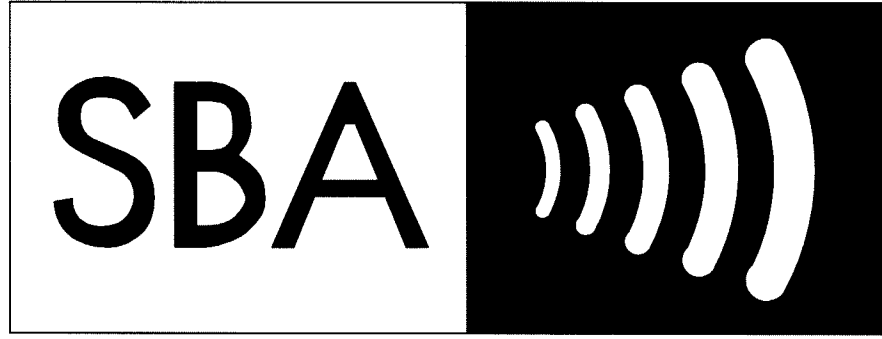
FROM ASHEVILLE TAKE I-26 EAST TO EXIT 54 US HWY 25 SOUTH TOWARDS GREENVILLE. GO TO EXIT 3 GREEN RIVER RD. TURN RIGHT OFF EXIT AND GO .06 MILES AND ACCESS IS ON LEFT. IF YOU GO PAST 798 GREEN RIVER ON THE LEFT, YOU HAVE GONE TOO FAR.



NOT VALID UNLESS SIGNED & DATED

RESOURCE TEAM

SITE ENGINEER: TELECAD WIRELESS SITE DESIGN
 SITE SURVEYOR: SURVEYONE, PLLC
 LATITUDE: 35° 12' 42.0" N
 LONGITUDE: 82° 27' 03.6" W
 POWER CO: DUKE POWER
 TELCO CO: AT&T
 PROPERTY OWNER: HAROLD S. & CLARA L. BAYNE
 196 HAMPTON COURT
 COLUMBUS, NC 28722
 540-967-972
 ZONING DEPT: HENDERSON COUNTY
 BUILDING DEPT: HENDERSON COUNTY
 SBA FIELD REP.: RICHARD ROSENFELD - 704-905-4585
 SBA PROPERTY SPECIALIST: JASON LASKEY - 561-226-9359



PROJECT TYPE
CATEGORY 2 COMMUNICATION FACILITY
190' MONOPOLE
OVERALL STRUCTURE HEIGHT - 194'

SBA SITE NAME:
TUXEDO

SBA SITE ID:
NC 10074-S

SITE ADDRESS:
HENDERSON COUNTY
GREEN RIVER ROAD
ZIRCONIA, NC 28790

2C COORDINATES:
LATITUDE: 35° 12' 42.0"N
LONGITUDE: 82° 27' 03.6"W
ELEVATION: 2291.0 (AMSL)

NOTES:

THE CONTRACTOR(S), OR ANYONE USING THESE DOCUMENTS IS ADVISED TO LAYOUT THEIR WORK AND VERIFY THE ACTUAL FIELD CONDITIONS RELATIVE TO THE DESIGNS SHOWN ON THE DRAWINGS. ANY DISCREPANCIES ENCOUNTERED THAT WOULD EFFECT THE PROPER INSTALLATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER IN ORDER TO ALLOW FOR NECESSARY ADJUSTMENTS IN THE PLANS.

THE CONTRACTOR SHALL LAYOUT IN THE FIELD ALL THE ELEMENTS OF THE IMPROVEMENTS, PRIOR TO AND WELL AHEAD OF CONSTRUCTION TO INSURE THAT NO CONFLICTS EXIST BETWEEN ANY UNDERGROUND SERVICE UTILITIES OR DRAIN LINES, INCLUDING THEIR MINIMUM DEPTHS BELOW FINISHED SURFACES. THE SURFACE ELEVATIONS OF ALL MANHOLES AND CATCH BASINS RELATIVE TO FINISHED GRADES. THE PLANNED DISCREPANCIES ENCOUNTERED SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER IN ORDER TO ALLOW FOR NECESSARY ADJUSTMENTS IN THE PLANS.

THE CONTRACTOR(S) SHALL MAINTAIN ACCURATE AND LEGIBLE REDLINED DRAWING RECORDS OF ALL INSTALLATIONS AND DELIVER THE SAME TO THE OWNER IN A FORM ADEQUATE TO READILY TRANSFER THE DATA DIRECTLY TO RECORD ("AS BUILT") DRAWINGS AS REQUIRED BY THE REVIEWING AGENCIES. THE FORM AND ADEQUACY OF THESE RECORDS ARE SUBJECT TO THE APPROVAL OF RECIPIENT.

PROJECT:
TUXEDO
GREEN RIVER ROAD
ZIRCONIA, NC 28790
D.B. 1177 PG. 515 PIN#: 9564990991

INDEX OF ZONING DRAWINGS

- Z-0 COVER SHEET
- Z-1 PROPERTY BOUNDARY
- Z-2 OVERALL LAYOUT PLAN
- Z-3 SITE LAYOUT & TOWER ELEVATION
- Z-4 SITE DETAILS
- Z-5 FENCE DETAILS

ISSUE DATE: MARCH 18, 2008

SHEET TITLE:
**COVER SHEET &
 RESOURCE TEAM**

DRAWING NUMBER: **Z0**

NO.	DATE	ISSUE DESCRIPTION	BY	CHK
1	03-18-08	ZONING ISSUE	CAE	CTD
0	02-22-08	ZONING ISSUE	CAE	CTD



7001 MIDDLE VALLEY ROAD SUITE 113 - HIXSON, TN 37343
 (PHONE) 423-843-9500 - (FAX) 423-843-9509

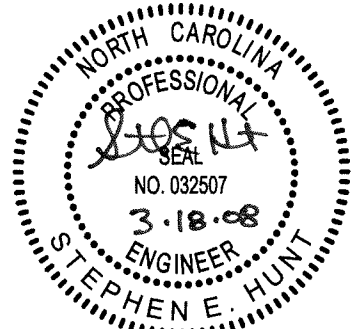


SBA TOWERS, INC.
 5900 BROKEN SOUND PKWY NW
 BOCA RATON, FL 33487
 PHONE: 1-800-487-SITE

PREPARED FOR:



SBA TOWERS, INC.
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-SITE



NOT VALID UNLESS SIGNED & DATED

PREPARED BY:



WIRELESS SITE DESIGN, INC
7001 MIDDLE VALLEY ROAD, SUITE 113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509

NO.	DATE	ISSUE DESCRIPTION	BY	CHK
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0	02-22-08	ZONING ISSUE	CAE	CTD

SITE NAME:

TUXEDO

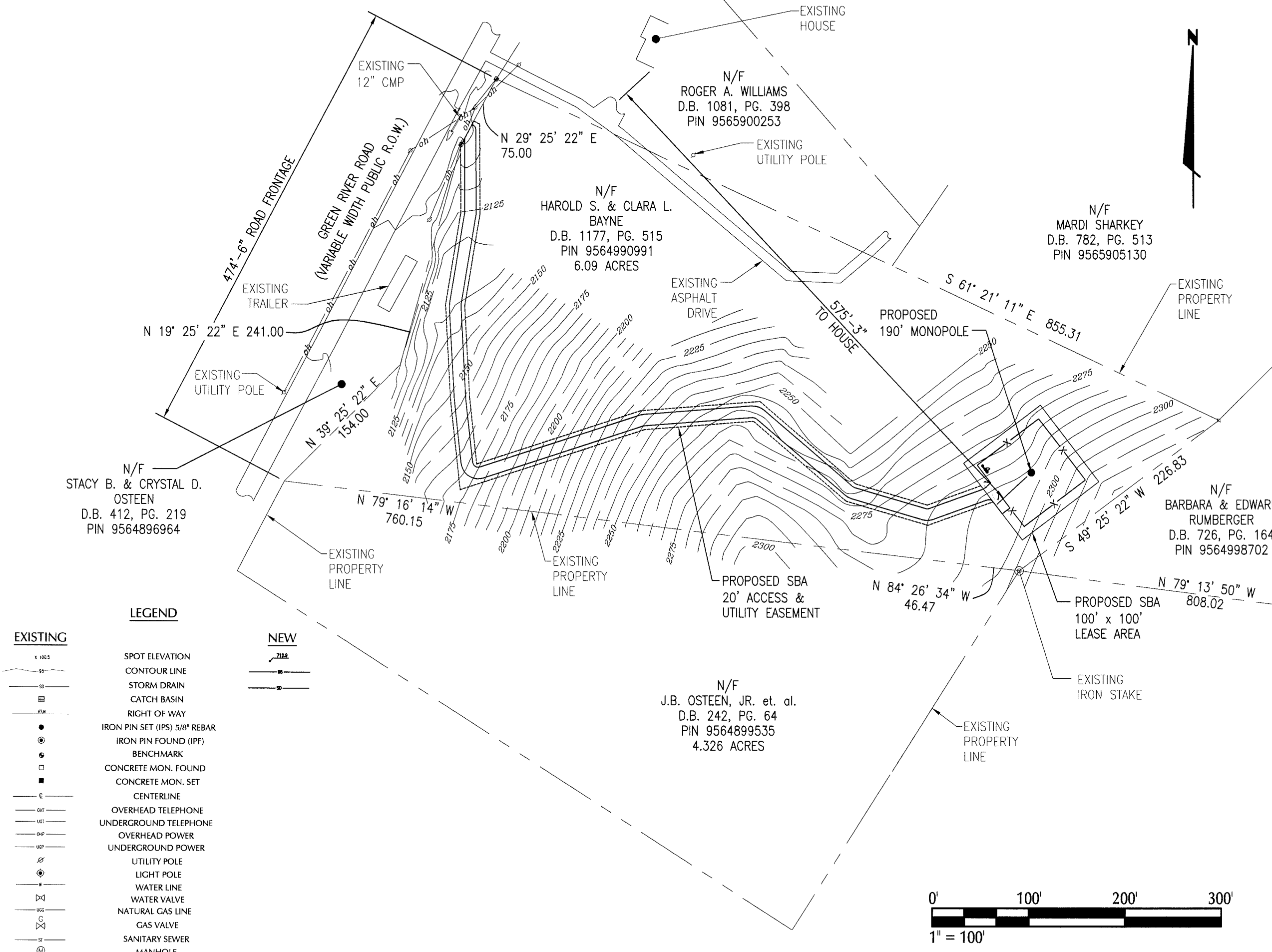
SITE NUMBER:

NC 10074-S

SHEET TITLE

PROPERTY BOUNDARY

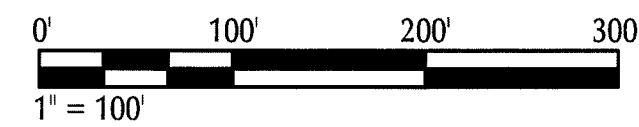
SHEET NUMBER: Z1



LEGEND

EXISTING		NEW
x 100.5	SPOT ELEVATION	722
— 95 —	CONTOUR LINE	— 50 —
— 50 —	STORM DRAIN	— 50 —
— 50 —	CATCH BASIN	
— 50 —	RIGHT OF WAY	
●	IRON PIN SET (IPS) 5/8" REBAR	
○	IRON PIN FOUND (IPF)	
⊙	BENCHMARK	
□	CONCRETE MON. FOUND	
■	CONCRETE MON. SET	
— C —	CENTERLINE	
— OH —	OVERHEAD TELEPHONE	
— U —	UNDERGROUND TELEPHONE	
— OP —	OVERHEAD POWER	
— UP —	UNDERGROUND POWER	
⊙	UTILITY POLE	
⊙	LIGHT POLE	
— W —	WATER LINE	
— V —	WATER VALVE	
— NG —	NATURAL GAS LINE	
— G —	GAS VALVE	
— S —	SANITARY SEWER	
⊙	MANHOLE	

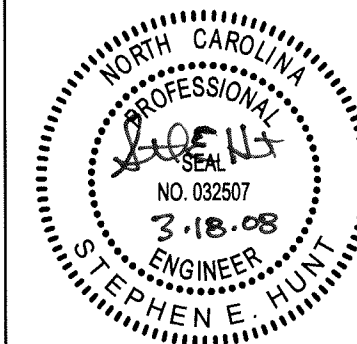
NOTE: THIS IS A GENERAL LEGEND. SOME ITEMS MAY NOT APPLY TO THIS SITE.



PREPARED FOR:



SBA TOWERS, INC.
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-SITE



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NO.	DATE	ISSUE DESCRIPTION	BY	CHK
1	03-18-08	ZONING ISSUE	CAE	CTD
0	02-22-08	ZONING ISSUE	CAE	CTD

SITE NAME:

TUXEDO

SITE NUMBER:

NC 10074-S

SHEET TITLE

OVERALL SITE LAYOUT PLAN

SHEET NUMBER: Z2

NO RESIDENTIAL STRUCTURES
WITHIN 200 FEET OF TOWER.

N/F
ROGER A. WILLIAMS
D.B. 1081, PG. 398
PIN 9565900253
ZONED: (R2MH)

N/F
MARDI SHARKEY
D.B. 782, PG. 513
PIN 9565905130
ZONED: (R2MH)

N/F
HAROLD S. & CLARA L.
BAYNE
D.B. 1177, PG. 515
PIN 9564990991
6.09 ACRES
ZONED: (R2MH)

N/F
STACY B. & CRYSTAL D.
OSTEEN
D.B. 412, PG. 219
PIN 9564896964
ZONED: (R2MH)

N/F
BARBARA & EDWARD
RUMBERGER
D.B. 726, PG. 164
PIN 9564998702
ZONED: (R2MH)

N/F
J.B. OSTEEEN, JR. et. al.
D.B. 242, PG. 64
PIN 9564899535
4.326 ACRES
ZONED: (R2MH)

EXISTING 12" CMP

EXISTING TRAILER

GREEN RIVER ROAD
(VARIABLE WIDTH PUBLIC R.O.W.)

EXISTING PROPERTY LINE

PROPOSED 12 FT
GRAVEL DRIVE
LENGTH = ±1,665 FT.

EXISTING PROPERTY LINE

PROPOSED SBA
20' ACCESS &
UTILITY EASEMENT

EXISTING
ASPHALT
DRIVE

663'-10"

5
Z2
PROPOSED 190'
MONOPOLE

132'-10"

EXISTING
PROPERTY
LINE

73'-11"

PROPOSED SBA
100' x 100'
LEASE AREA

102'-10"

214 FT. FALL
ZONE RADIUS
(110% TOWER HEIGHT)

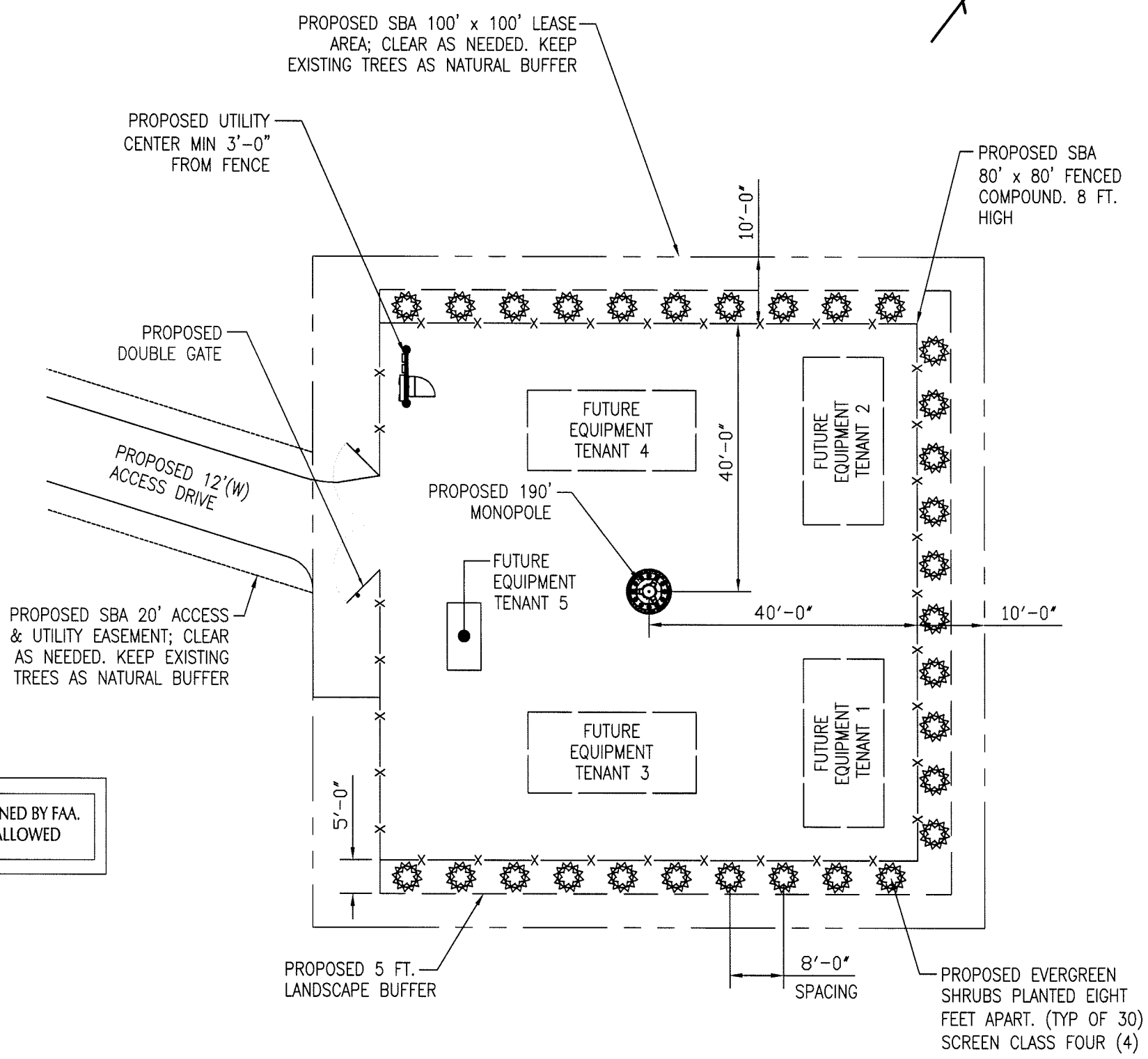
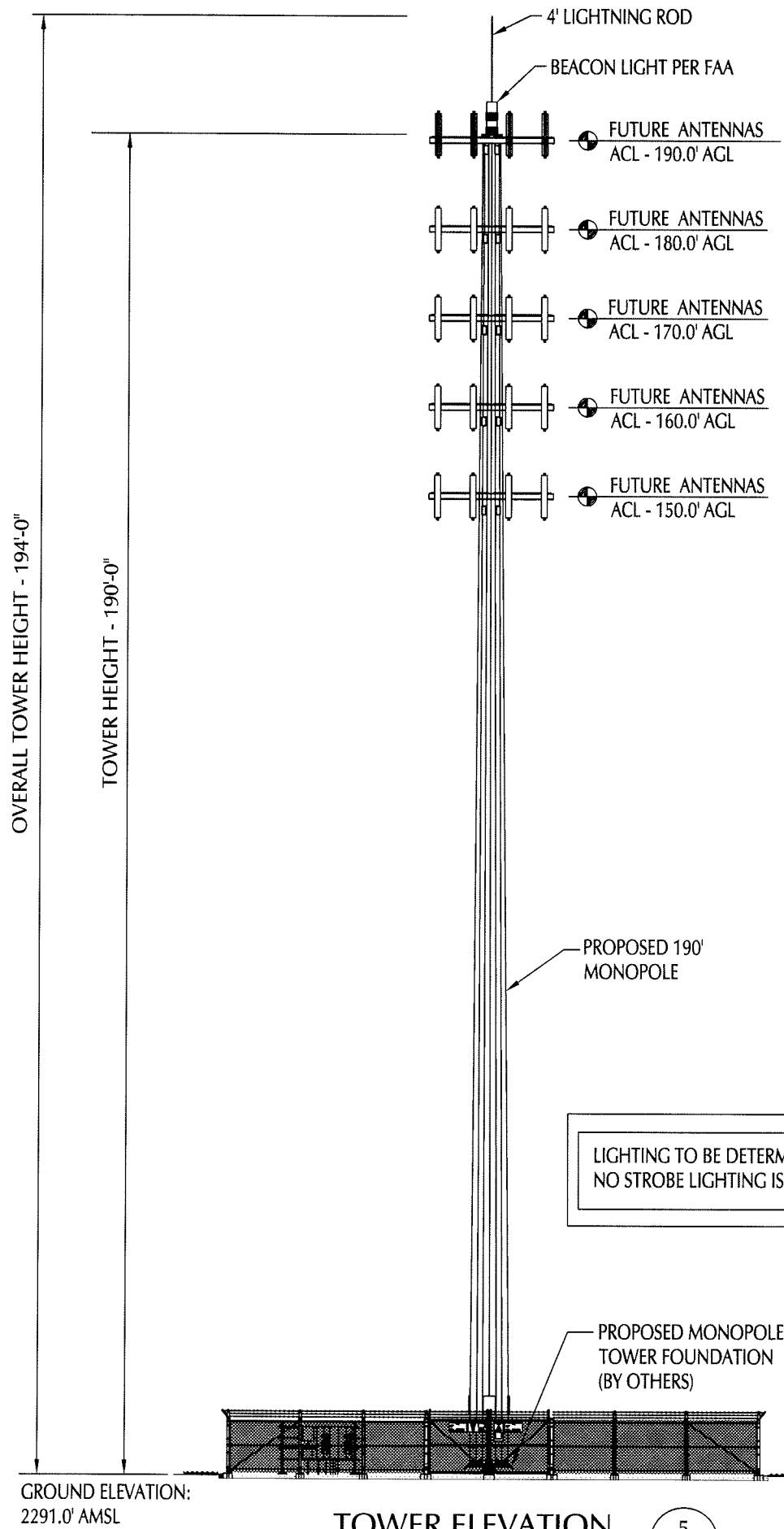
NOTES:

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS AND SBA SAFETY STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE FOR SITE LAYOUT AND CONSTRUCTION STAKING. LOCATION OF EXISTING STRUCTURES AND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR USING AN UNDERGROUND LOCATOR SERVICE.
4. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES.

REFERENCE NOTES:

5 - TOWER ELEVATION. SEE DETAIL SHEET Z2.



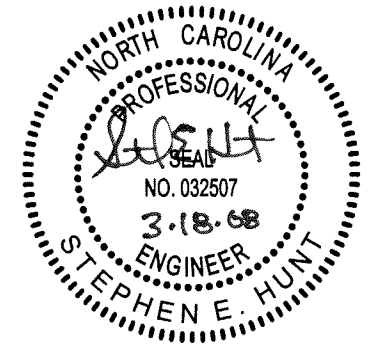


TOWER ELEVATION
 NTS
 5
 Z2

PREPARED FOR:



SBA TOWERS, INC.
 5900 BROKEN SOUND PKWY NW
 BOCA RATON, FL 33487
 PHONE: 1-800-487-SITE



PREPARED BY:

TeleCAD
 WIRELESS SITE DESIGN, INC
 7001 MIDDLE VALLEY ROAD, SUITE 113
 HIXSON, TN 37343
 PH: 423-843-9500 FAX: 423-843-9509

NO.	DATE	ISSUE DESCRIPTION	BY	CHK
1	03-18-08	ZONING ISSUE	CAE	CTD
0	02-22-08	ZONING ISSUE	CAE	CTD

SITE NAME:
 TUXEDO

SITE NUMBER:
 NC 10074-S

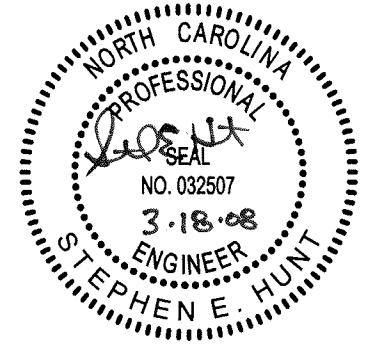
SHEET TITLE
 SITE LAYOUT &
 TOWER ELEVATION

SHEET NUMBER: Z3

PREPARED FOR:



SBA TOWERS, INC.
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-SITE



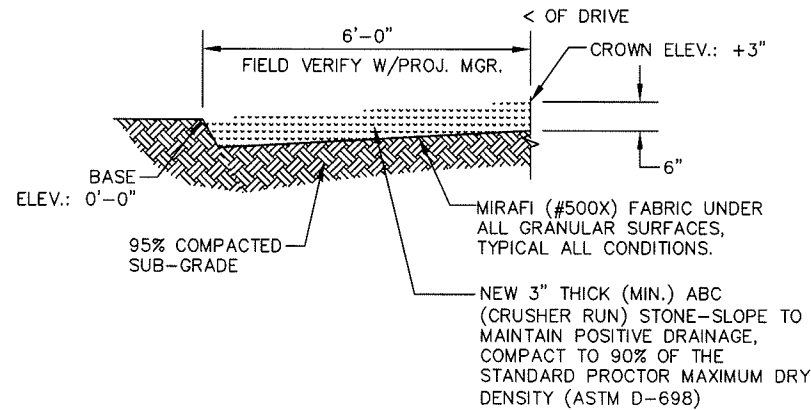
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PREPARED BY:



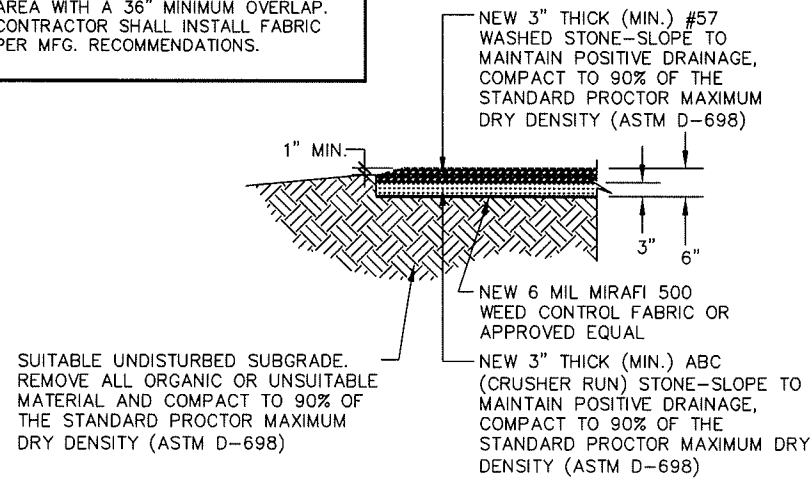
WIRELESS SITE DESIGN, INC
7001 MIDDLE VALLEY ROAD, SUITE 113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509

NOTE:
WEED CONTROL FABRIC SHALL BE USED UNDER ACCESS DRIVE WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

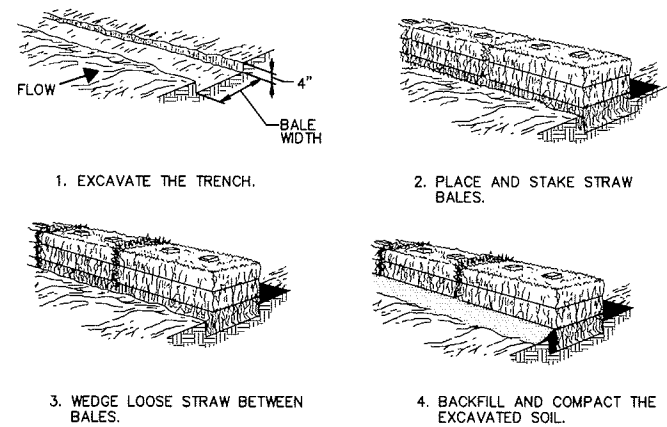


1 ACCESS DRIVE DETAIL SCALE: NTS

NOTE:
WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELED AREA WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.

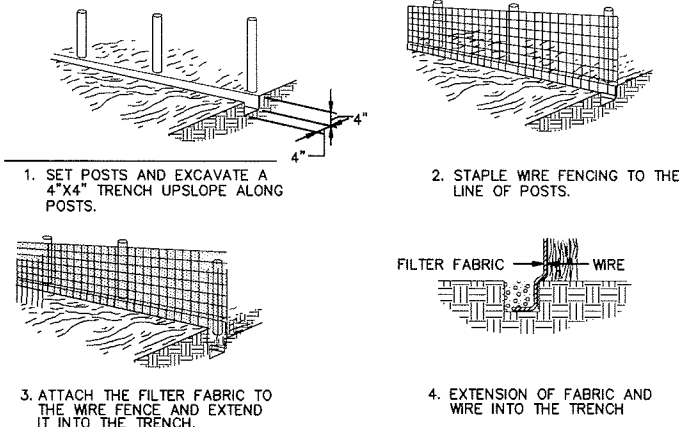


2 COMPOUND FINISH DETAIL SCALE: NTS



STRAW BALE BARRIER

3 EROSION CONTROL DETAILS SCALE: NTS



SILT FENCE

4 SILT FENCE DETAIL SCALE: NTS

1	03-18-08	ZONING ISSUE	CAE	CTD
0	02-22-08	ZONING ISSUE	CAE	CTD
NO.	DATE	ISSUE DESCRIPTION	BY	CHK

SITE NAME:

TUXEDO

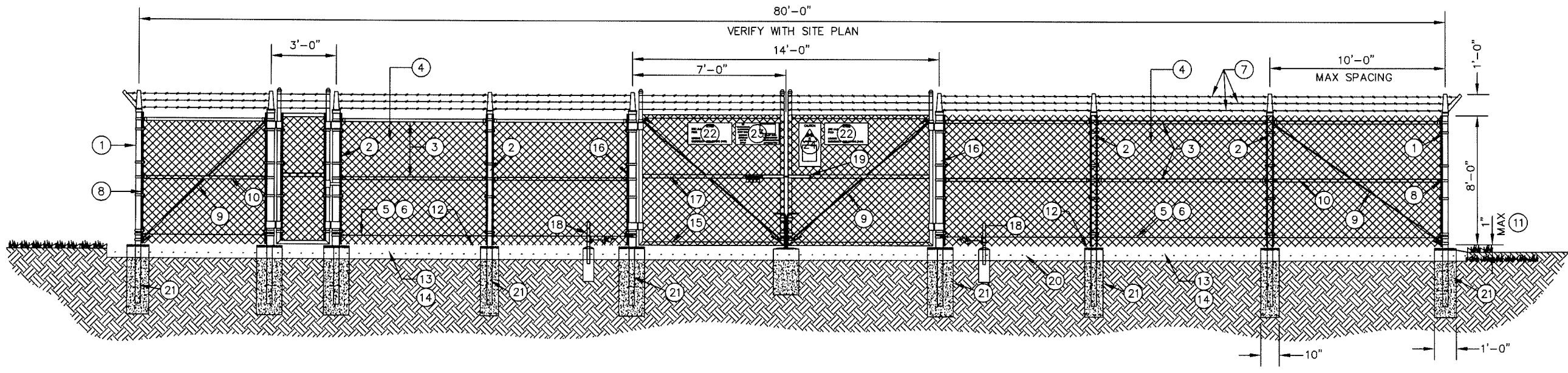
SITE NUMBER:

NC 10074-S

SHEET TITLE

SITE
DETAILS

SHEET NUMBER: Z4



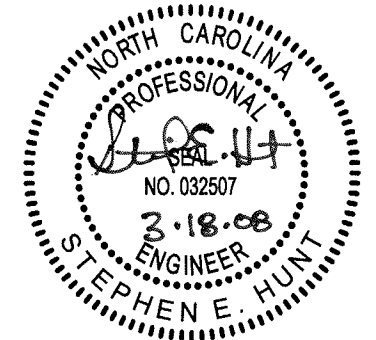
1 TYPICAL FENCING DETAIL

SCALE: N.T.S.

PREPARED FOR:



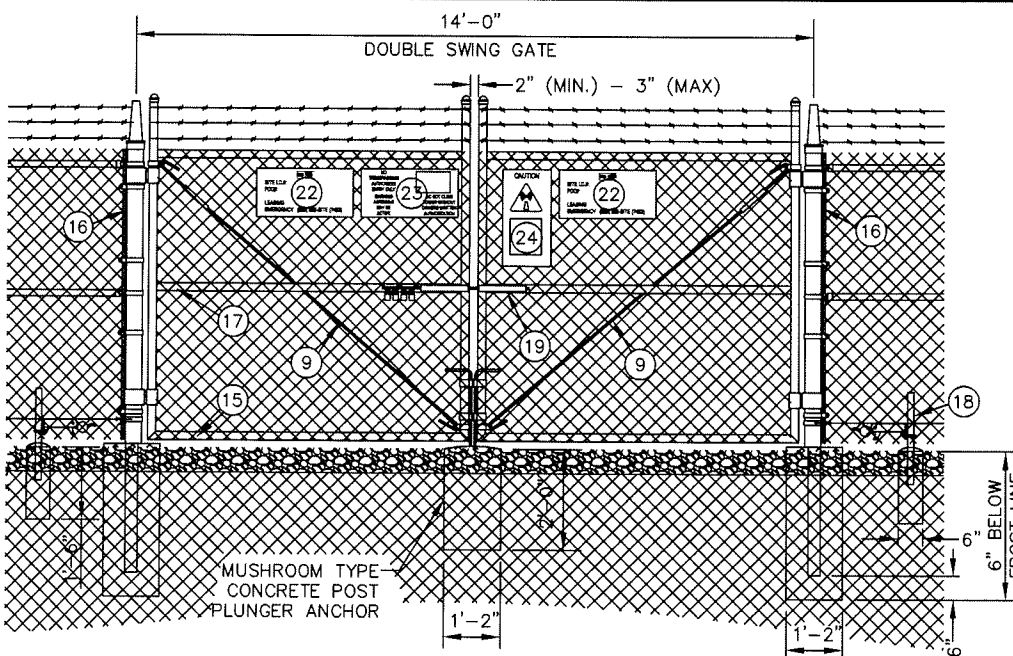
SBA TOWERS, INC.
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-SITE



NOT VALID UNLESS SIGNED & DATED

2 NOT USED

SCALE: N.T.S.



3 DOUBLE-SWING GATE DETAIL

SCALE: N.T.S.

BALLOON REFERENCE NOTES:

- ① CORNER, END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE.
- ② LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- ③ TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM-F1083.
- ④ FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- ⑤ TIE WIRE: 9 GA ALUMINUM. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND 24" RAILS/WIRE.
- ⑥ TENSION WIRE: 9 GA ALUMINUM
- ⑦ BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC. 14 GA, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- ⑧ 3/16" X 3/4" (MIN) FULL HEIGHT STRETCHER BAR.
- ⑨ 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- ⑩ FENCE CORNER POST BRACE: 1 5/8" NOMINAL PIPE.
- ⑪ 1" MAXIMUM CLEARANCE FROM FINISH GRADE.
- ⑫ FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE
- ⑬ 6" COMPACTED BASE MATERIAL
- ⑭ FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- ⑮ WELDED GATE FRAME: 2" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- ⑯ GATE POST 4" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- ⑰ GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM-F1083.
- ⑱ DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- ⑲ STYMIE LOCK MULTI-TENANT LOCKING DEVICE
- ⑳ GEOTEXTILE FABRIC
- ㉑ CONCRETE FOUNDATION (MIN 3000 PSI). MINIMUM DEPTH: 6" BELOW FROST LINE
- ㉒ 12" x 24" SBA SITE INFORMATION SIGN.
- ㉓ 12" x 24" NO TRESPASSING SIGN.
- ㉔ 12" x 24" RF CAUTION SIGN.
- ㉕ DAISY CHAIN

4 FENCING NOTES

GENERAL NOTES:

- 1. INSTALL FENCING PER ASTM F-567
- 2. INSTALL SWING GATES PER ASTM F- 900
- 3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- 4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- 5. ALL OPEN POSTS SHALL HAVE END-CAPS.
- 6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- 7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
- 8. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE.
- 9. A SIGN WHICH INCLUDES THE NAME OF THE COMMUNICATION FACILITY OWNER(S)/OPERATOR(S), EMERGENCY TELEPHONE NUMBERS AND THE ASSIGNED COMMUNICATION FACILITY REGISTRATION NUMBER SHALL BE DISPLAYED IN A VISIBLE LOCATION NEAR THE STRUCTURE.
- 10. A MINIMUM OF TWO (2) "WARNING/NO TRESPASSING" SIGNS ARE REQUIRED.

PREPARED BY:



WIRELESS SITE DESIGN, INC
7001 MIDDLE VALLEY ROAD, SUITE 113
HIXSON, TN 37343
PH: 423-843-9500 FAX: 423-843-9509

NO.	DATE	ISSUE DESCRIPTION	BY	CHK
1	03-18-08	ZONING ISSUE	CAE	CTD
0	02-22-08	ZONING ISSUE	CAE	CTD

SITE NAME:

TUXEDO

SITE NUMBER:

NC 10074-S

SHEET TITLE

FENCE
DETAILS

SHEET NUMBER: Z5

SCALE: N.T.S.