

REQUEST FOR BOARD ACTION

HENDERSON COUNTY PLANNING BOARD

MEETING DATE: Thursday, December 20, 2007

ATTACHMENTS:

1. Staff Report
2. Vicinity Map
3. Review Agency Response Form – Fire Marshal
4. Minutes of the Technical Review Committee
5. Subdivision Application with Attachments
6. Combined Master Plan and Development Plan

SUBJECT: Combined Master Plan and Development Plan for Cummings Cove Sports Complex Major Subdivision (2007-M38)

SUMMARY OF REQUEST:

Mr. Jesse Gardner with Civil Design Concepts submitted a Master Plan and Development Plan for three (3) new lots being created within the Cummings Cove subdivision. The Plans show that a five (5) acre parcel of land is being divided out of a 13.9 acre parcel for a sports complex which will be used to serve the Cummings Cove subdivision. The applicant also intends on creating an out-parcel. The property is currently owned by Cummings Cove Company, LLC. The property is currently zoned R2-MH under the Land Development Code. On November 6, 2007 the Henderson County Technical Review Committee sent forward a favorable recommendation of approval for this subdivision. The Planning Board is the final approval authority.

PLANNING BOARD ACTION REQUESTED:

Staff has found that the proposed Combined Master and Development Plan appears to meet the technical standards of the subdivision regulations of Chapter 200A, Henderson County Land Development Code (LDC) except for the comments listed in the Staff Report (See Attachment 1). Staff recommends approval of the Combined Master and Development Plan subject to the developer addressing any issues raised by the Planning Board and addressing the comments listed in the Staff Report, including those comments and conditions recommended by the Technical Review Committee.

Suggested Motion:

I move that the Planning Board find and conclude that the Combined Master and Development Plan appears to comply with the subdivision provisions of Chapter 200A, Henderson County Land Development Code;

And

I further move that the Combined Master and Development Plan be approved subject to the following conditions: the applicant satisfies any conditions that may result from the comments listed in the Staff Report (Attachment 1), conditions recommended by the Technical Review Committee, and any conditions or other comments that result from discussion at the Planning Board meeting.

Henderson County Planning Department Staff Report**Combined Master Plan and Development Plan for Cummings Cove Sports Complex Major Subdivision (File #2007-M38)****Cummings Cove Company, LLC, Applicant and Owner
Civil Design Concepts, Agent**

Project Overview:

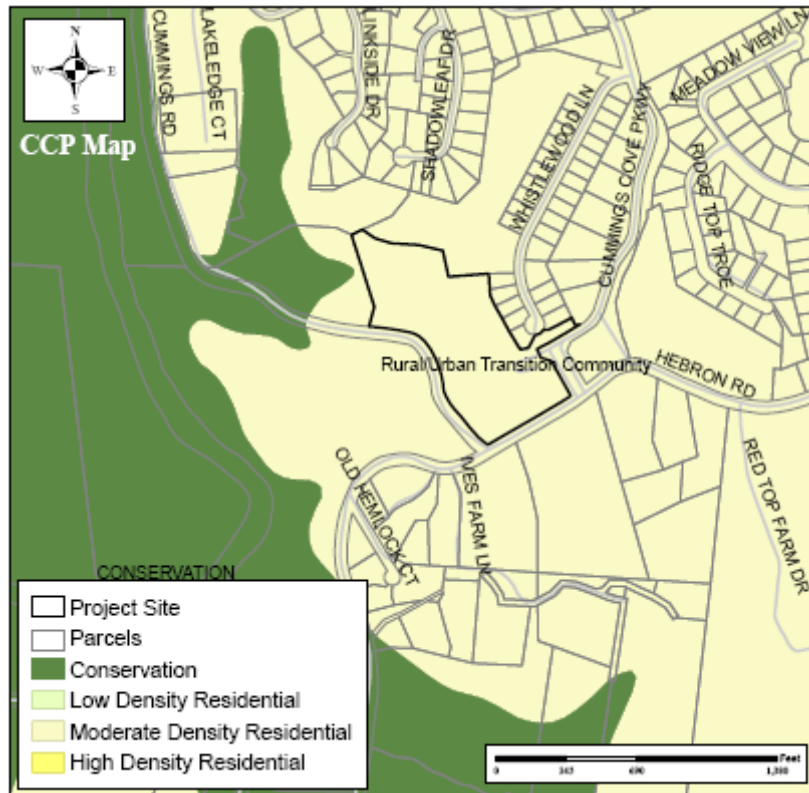
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On November 6, 2007 the Henderson County Technical Review Committee reviewed and sent forward a favorable recommendation for approving this subdivision. The applicant has proposed a private road to serve these parcels which appear to meet the private road standards of the LDC. The applicant has also proposed a temporary alternate turnaround that also meets the minimum standards for turnarounds. The Planning Board is the final approval authority for the subdivision.

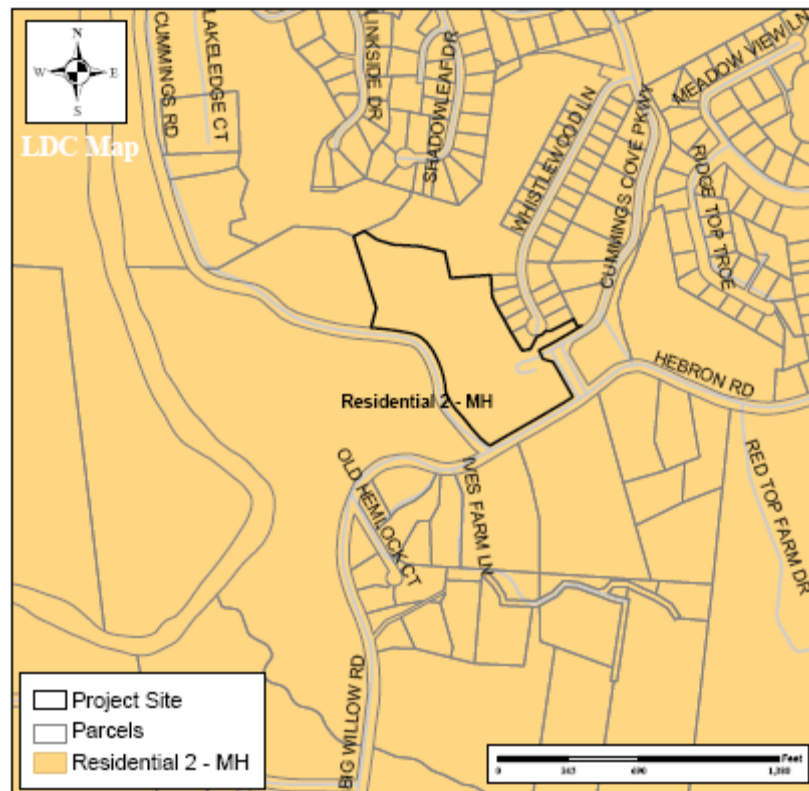
Master Plan Comments:

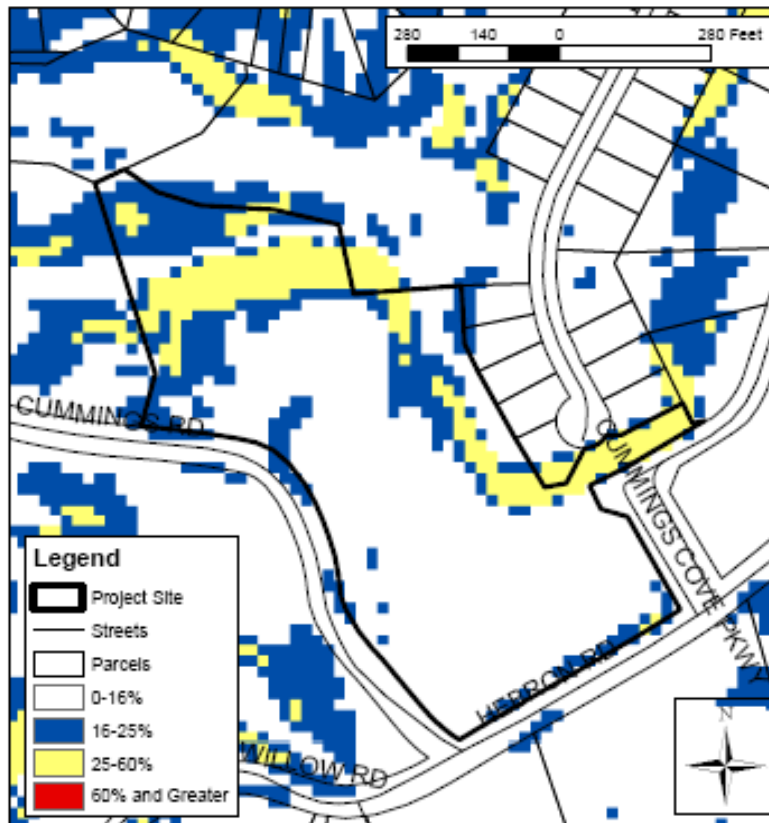
1. **County Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the project site as being located within the Rural/Urban Transition Area (RTA) (See Map A: CCP Future Land Use Map). The Rural/Urban Transition designation of the Growth Management Strategy is applied to the project site. The RTA is intended to remain predominantly rural with a general density of five (5) or fewer acres per residential dwelling unit (average lot sizes of 5 or fewer acres per unit). The density of the project is in keeping with the CCP.
2. **Land Development Code (LDC).** According to the Land Development Code Zoning Map the proposed project site for this development is located entirely in the Residential Zoning District 2MH (R-2MH) (See Map B: LDC Map). R-2MH under the Land Development Code (LDC) allows for a density of one (1) unit per acre for single-family residential development. The applicant has proposed a density of approximately .21 units per acre or 4.66 acres per unit. There are no slopes in excess of 60% on this parcel (see Map C: Slope Map).

Map A: CCP Future Land Use Map



Map B: LDC Map

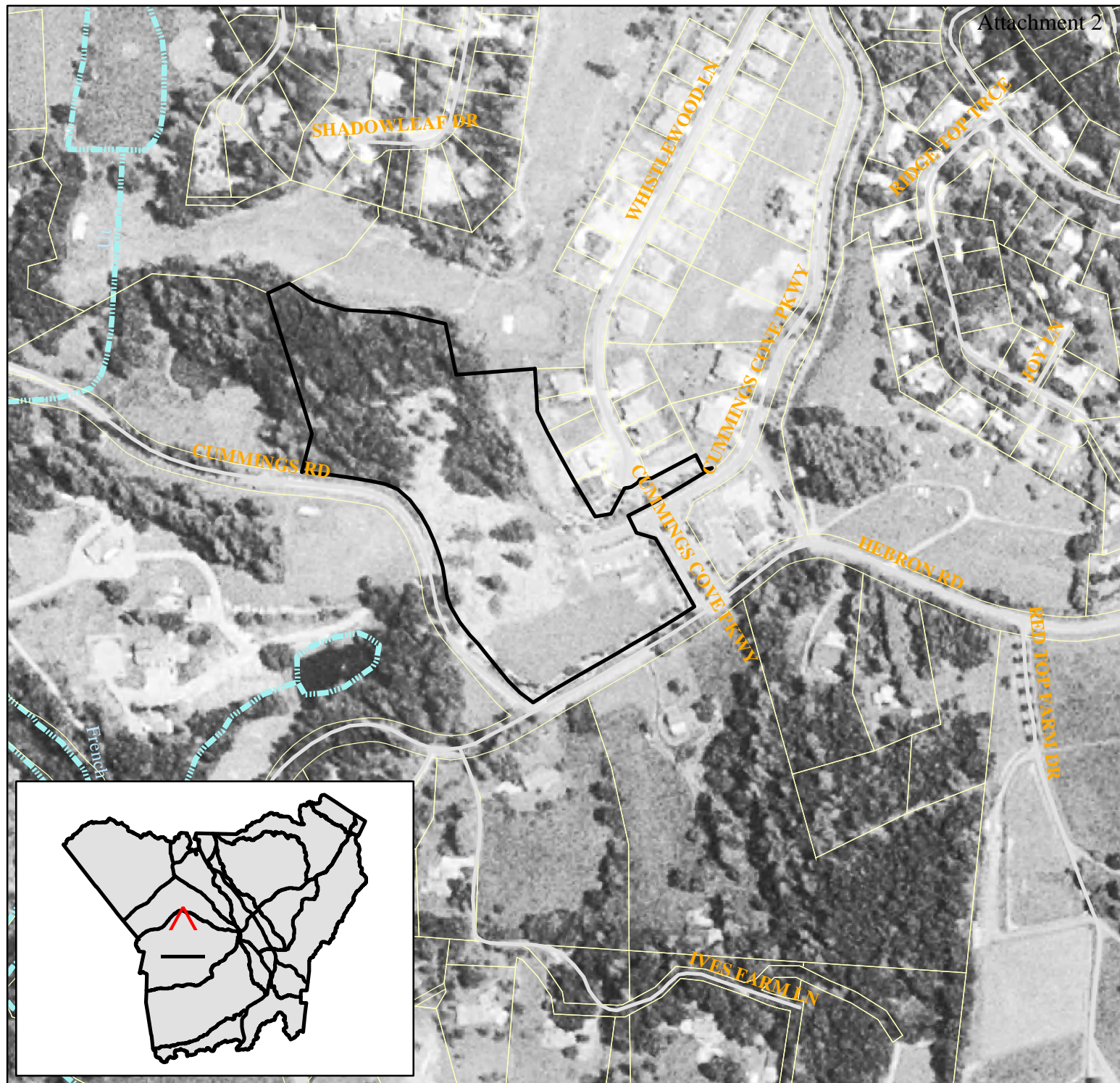


Map C: Slope Map**Development Plan Comments**

1. **Technical Review Committee.** The applicant has proposed street trees that do not meet the minimum separation requirements in Section 200A-145 of the LDC, due to some unusual circumstances with the proposed sight triangles. At its meeting on November 6, 2007 the TRC specifically approved the design and layout of the street trees. The TRC is given the authority to approve this under Section 200A-155 of the LDC. The TRC made no other comments about the development proposal (see attached minutes). The TRC also approved the major site plan for the use of the property at its November 6th meeting.

Review Agency Comments:

1. **Comments from Fire Marshal's Office.** See the attached comments regarding commercial development.



Cummings Cove Sports Complex

OWNER: Cummings Cove Company, LLC

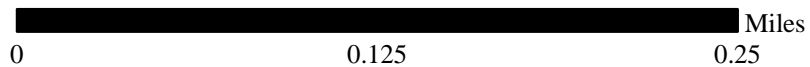
AGENT: Civil Design Concepts

ZONING: R2-MH

WATER SYSTEM: Public Water

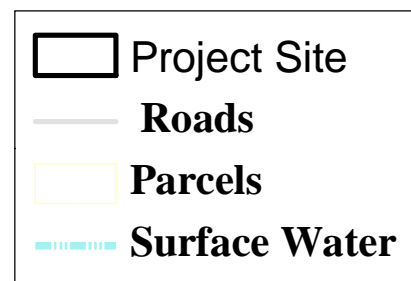
SEWER SYSTEM: Private Sewer

ROAD SYSTEM: Private



HCPD 12.5.07

See Master Plan for exact location of project and additional information.



Matthew Card

From: Wally Hollis
Sent: Friday, November 09, 2007 11:18 AM
To: Matt Card
Subject: cummings cove sports complex

Hi Matt,
Since this is a commercial development the fire code applies, so roadways must be 20' in width, 13'6" vertical clearance, and all portions of buildings must be within 400' of a hydrant if un-sprinklered, 600' if sprinklered, measured in travel distance around buildings.

W. H. Hollis
Deputy Fire Marshal
Henderson County, NC
828-697-4728
828-698-6164 (fax)

Major Site Plan and Revised Master and Development Plan for Cummings Cove Sports Complex – Located off Cummings Cove Road in the Cummings Cove Subdivision – Code Enforcement and Planning Department. This is a combined major site plan and a revised master plan and associated development for the project. Mr. Linville indicated that the site plan meets all major site plan requirements pertaining to this sports complex use. Mr. Card had indicated that a new lot is being created for the sports complex. A 5 acre parcel of land is being divided off of a 13.9 acre parcel of land. He indicated that all applicable required items are on the plan except that it does not meet the requirements for street trees, according to the landscaping requirements of the Land Development Code, which would need to be met. Seth Swift made a motion to recommend approval of this project to the Planning Board with the understanding that the spacing requirements for the street trees be modified for site distance. Toby Linville seconded the motion and all members voted in favor.

HENDERSON COUNTY
SUBDIVISION APPLICATION FORM
(Please fill out all applicable items)

RECEIVED
OCT 24 2007

SUBDIVISION INFORMATION

Subdivision Name: CUMMINGS COVE - SPORTS COMPLEX
Subdivision Type (Circle One): Major Minor Non-Standard BY: _____
Proposed Use of Property (Circle One): Residential Commercial Industrial
Conservation Subdivision: Yes No Gated entrance to property: Yes No
Existing Number of Lots: 1 Total Number of Proposed Lots: 3
Total Number Proposed Units: N/A Proposed Density (units per acre): N/A
Road System: () Public (✓) Private () Combination Public and Private
Water System: () Individual () Community (✓) Municipal
Sewer System: () Individual (✓) Community () Municipal

PARCEL INFORMATION

PIN: 9538-74-8603 Total Acreage: 13.99 Deed Book/Page: 1211/0158 Township _____
Location of property to be divided: OFF OF CUMMINGS COVE PARKWAY NEAR THE EAST ENTRANCE OF CUMMINGS COVE
Zoning District: R2MH Fire District: ETOWAH - HORSESHOE
Water Supply Watershed: N/A School District: WEST HENDERSON HIGH/RUGBY MIDDLE

Any portion of property within or containing the following:

Floodplain or floodway: Yes No Perennial streams: Yes No
Protected mountain ridges: Yes No Cemetery: Yes No
Within ½ mile of a Farmland Preservation District: Yes No
Adjacent to a Farmland Preservation District: Yes No

CONTACT INFORMATION**Property Owner:**

Name: CUMMINGS COVE COMPANY, LLC Phone: 828-891-1512
Address: 8409 N. MILITARY TRAIL - SUITE 123 City, State, Zip: PALM BEACH GARDENS, FL 33410

Applicant:

Name: CUMMINGS COVE COMPANY, LLC Phone: 828-891-1512
Address: 8409 N. MILITARY TRAIL - SUITE 123 City, State, Zip: PALM BEACH GARDENS, FL 33410

Agent: Agent Form (Circle One): Yes No

Name: CIVIL DESIGN CONCEPTS Phone: 828-252-5388
Address: 200 SWANNANOA RIVER RD City, State, Zip: ASHEVILLE, NC 28805

Plan Preparer:

Name: MARK D. CATHEY Phone: 828-252-5388
Address: 200 SWANNANOA RIVER RD City, State, Zip: ASHEVILLE, NC 28805

I certify that the information shown above is true and accurate and is in conformance with the Subdivision regulations of Henderson County.

Jesse Gardner
Print Applicant (Owner or Agent)

[Signature]
Signature Applicant (Owner or Agent)

10/23/07
Date

County Use Only

Fee: \$ _____ Paid: _____ Method: _____ Final Plat Approved On: _____

SUBDIVISION OF LAND

170 Attachment 2

Appendix 2
Henderson County
Appointment of Agent Form
(Optional)

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OCT. 24 2007

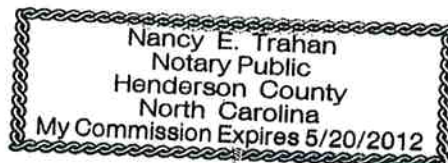
BY:

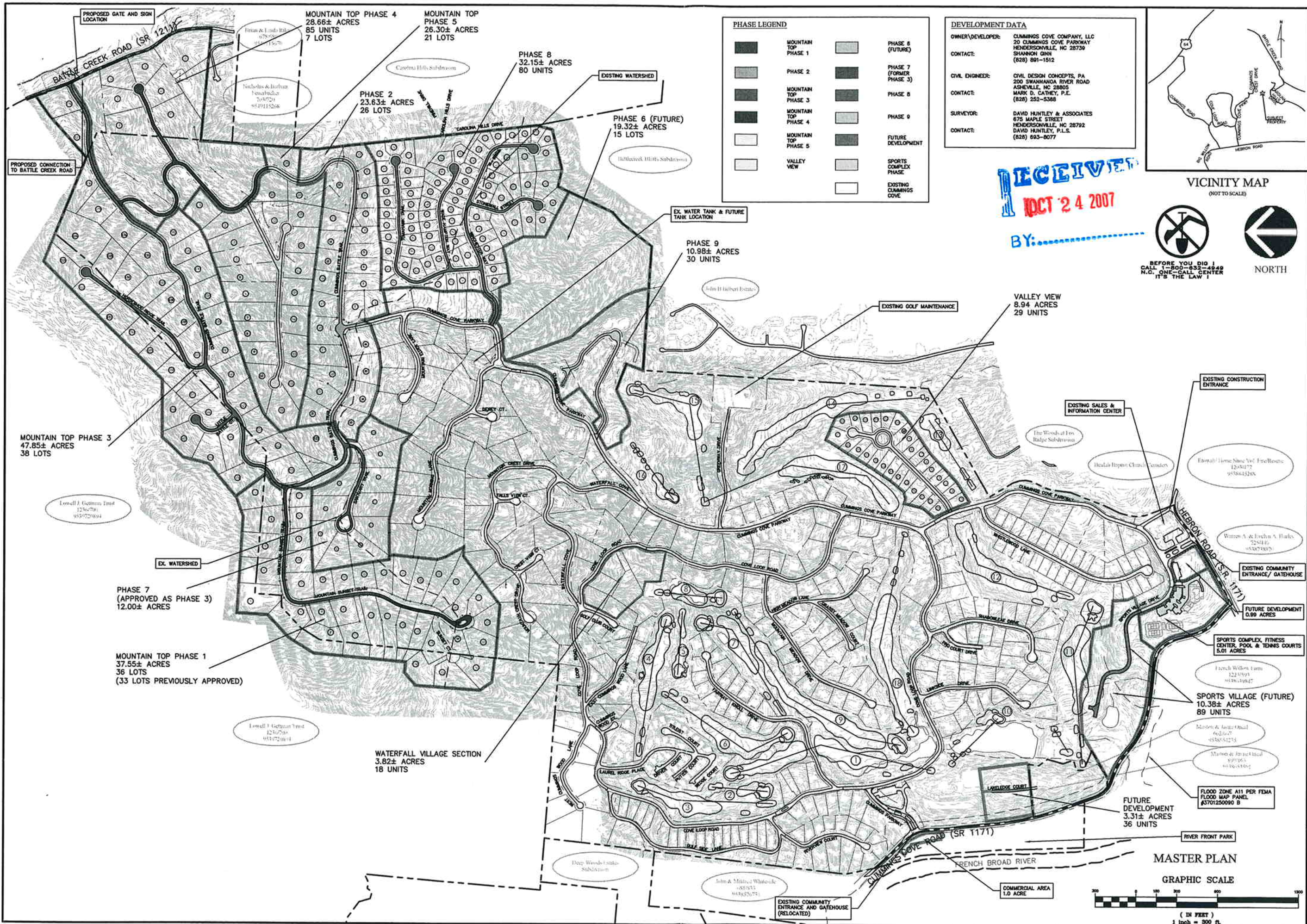
CUMMINGS COLE INVESTMENTS LLC -
I SHANNON GINN owner of property located on CUMMINGS CREST DR.
(name) (street name)
recorded in 1211 / 173 and having a parcel identification number (PIN) of 9549-00-8101
(deed book / page)
located in Henderson County, North Carolina, do hereby appoint CIVIL DESIGN CONCEPTS
(agent's name)
to represent me in an application for subdivision of land and authorize him/her to act as my
agent in all matters, formal and informal, except as stated herein, and authorize him/her to
receive all official correspondence. I however understand that as the listed property owner, I
must sign all affidavits and statements required by this Ordinance.

[Signature]
Property Owner

7/26/07
Date

State of NC, County of Henderson
Signed before me on this 26 day
of July, 2007 by Shannon R. Ginn
Notary Public Nancy E. Trahan





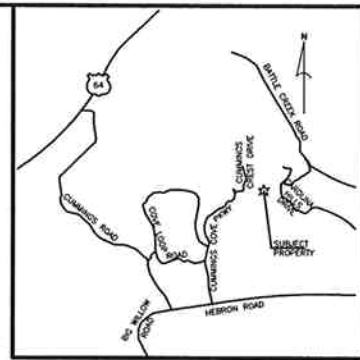
PHASE LEGEND			
	MOUNTAIN TOP PHASE 1		PHASE 8 (FUTURE)
	PHASE 2		PHASE 7 (FORMER PHASE 3)
	MOUNTAIN TOP PHASE 3		PHASE 6
	MOUNTAIN TOP PHASE 4		PHASE 9
	MOUNTAIN TOP PHASE 5		FUTURE DEVELOPMENT
	VALLEY VIEW		SPORTS COMPLEX PHASE
			EXISTING CUMMINGS COVE

DEVELOPMENT DATA

OWNER/DEVELOPER: CUMMINGS COVE COMPANY, LLC
200 SWANNANOVA RIVER ROAD
HENDERSONVILLE, NC 28730
CONTACT: SHANNON GINN (828) 891-1512

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, PA
200 SWANNANOVA RIVER ROAD
ASHEVILLE, NC 28805
CONTACT: MARK D. CATHEY, P.E. (828) 252-5388

SURVEYOR: DAVID HUNTLEY & ASSOCIATES
675 MAPLE STREET
HENDERSONVILLE, NC 28792
CONTACT: DAVID HUNTLEY, P.L.S. (828) 693-8077



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OCT 24 2007
BY:



200 SWANNANOVA RIVER ROAD
ASHEVILLE, NC 28805
PHONE (828) 252-5388
FAX (828) 252-5385

CDC
CIVIL DESIGN CONCEPTS, PA

www.civildesignconcepts.com

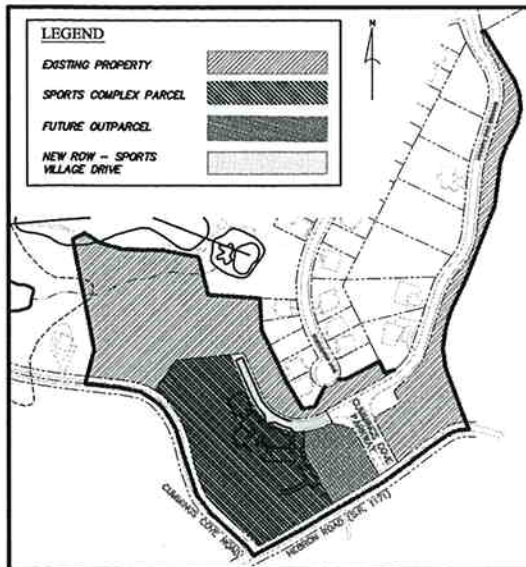
NO.	DATE	DESCRIPTION	BY
1	7-18-07	PLAT SUBMITTAL	
1	10-18-07	TRC & EROSION CONTROL SUBMITTAL	

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FOR
CONSTRUCTION**

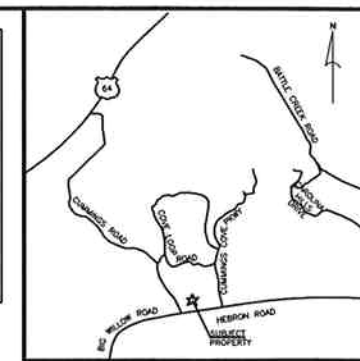
MASTER PLAN FOR
**CUMMINGS COVE
GOLF AND COUNTRY CLUB**

DATE: MAY 9, 2007
DRAWN BY: AMP
CDC PROJECT NO.: 10728

SHEET
S0



PROPERTY MAP
OF PIN #9538-74-8603
(SCALE 1"=300')



DEVELOPMENT DATA

OWNER/DEVELOPER:	CUMMINGS COVE COMPANY, LLC 20 SPORTS VILLAGE DRIVE HENDERSOVSVILLE, NC 28739 (828) 891-1512
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 200 SWANNANOA RIVER ROAD ASHEVILLE, NORTH CAROLINA 28805 (828) 252-5368
SURVEYOR:	DAVID HUNTLEY & ASSOCIATES 675 MAPLE STREET HENDERSOVSVILLE, NORTH CAROLINA 28792 (828) 693-8077

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OCT. 24 2007

BY:

PROPOSED 10' X 70' SIGHT
TRIANGLE (TYP)

PROPOSED 30" CURB AND GUTTER
ALONG SPORTS VILLAGE DRIVE
(TYP) (SEE DETAIL)

PROPOSED CONNECTION TO
EXISTING SPORTS VILLAGE DRIVE
STA 10+00
NOTE:
CONTRACTOR TO CONNECT 30" CURB
AND GUTTER WITH EXISTING CURB
AND GUTTER.

PROPOSED SUGAR MAPLE
LANDSCAPING TREE (TYP)

PROPOSED TRANSITION FROM 30" CURB AND GUTTER TO 18" CURB AND GUTTER (TYP) (SEE DETAILS)

PROPOSED 6' SIDEWALK (TYP)

EXISTING TEMPORARY FITNESS CENTER
(APPROX. 1144 SQ. FT.)

PROPOSED 30" CURB AND GUTTER
ALONG EAST DRIVEWAY (TYP)(SEE DETAIL)

SITE DATA

SITE LOCATION:	CUMMINGS COVE HENDERSONVILLE, NC 28739	
PN:	9538-74-8603	
DEED BOOK/PAGE:	1211/173	
SITE ACREAGE:	ACREAGE	SQ. FT.
TOTAL:	13.99±	609,404±
SPORTS COMPLEX PARCEL	5.01±	218,250±
FUTURE OUTPARCEL	0.99±	43,234±
ZONING:	R24H - RESIDENTIAL DISTRICT 2: MANUFACTURED HOUSING	
SETBACKS:	FRONT: 20' SIDE: 10' REAR: 10'	
WATER SYSTEM:	PUBLIC - CITY OF HENDERSONVILLE	
SEWER SYSTEM:	PRIVATE	
TOTAL STRUCTURES:	6 (3 BUILDINGS, 1 POOL, 2 FENCED COURTS)	
PROPOSED PUBLIC ROADS:	0± LF	
PROPOSED PRIVATE ROADS:	525± LF	
ROAD FRONTAGE:	525± LF	
DISTURBED AREA:	6.3± ACRES	

NOTES

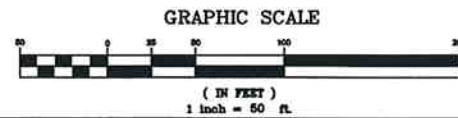
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HENDERSON COUNTY GUIDELINES AND SPECIFICATIONS.
2. SINGLE-PHASE CONSTRUCTION.
3. ALL WORK SHALL BE PERFORMED BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
4. CONTRACTOR TO COORDINATE EXACT LOCATION OF PROPOSED AND EXISTING UTILITIES.
5. PROPOSED ROADS TO BE PRIVATE. HENDERSON COUNTY IS NOT RESPONSIBLE FOR ANY ROAD MAINTENANCE.
6. ALL PROPOSED AND EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. CONTRACTOR TO NOTIFY ENGINEER OF DISCREPANCIES PRIOR TO BEGINNING WORK.
7. CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING, AND REMOVING ALL NECESSARY EROSION AND SEDIMENTATION CONTROL MEASURES.
8. CONTRACTOR TO FIELD VERIFY ALL PIPES AND DEPTHS PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
9. NO PORTION OF THIS PHASE OF THIS PROJECT LIES WITHIN THE 100-YR FLOOD FLOODPLAIN.
10. SITE TRIANGLES CONFORM TO SECTION 220A-B1C.
11. ALL SIGNAGE AND PAVEMENT MARKINGS TO CONFORM TO THE MOST RECENT NCDOT AND MUTCD STANDARDS

LEGEND

EXISTING PROPERTY LINE
EXISTING RIGHT-OF-WAY
PROPOSED RIGHT-OF-WAY
PROPOSED ROAD CENTER LINE
PROPOSED LOT LINE
PROPOSED SETBACKS



DEVELOPMENT PLAN



LINE TABLE		
SPORTS VEHICLE	LENGTH	BEARING
L1	18.19	S 56°23'11" W
L2	16.52	S 66°30'43" E
L3	18.46	S 74°10'10" W
L4	21.76	S 78°22'28" E
L5	16.64	S 83°22'38" E
L6	13.00	N 88°45'38" W
L7	13.49	N 83°17'10" W
L8	138.91	N 23°58'4" E
L9	12.00	N 23°58'4" E
L10	47.32	S 84°17'10" W
L11	26.84	S 23°58'4" E
L12	138.91	S 23°58'4" E
L13	17.44	S 83°17'10" E
L14	18.08	S 88°34'38" E
L15	21.34	N 28°22'28" E
L16	25.80	N 87°22'28" E
L17	23.42	N 74°10'10" E
L18	20.01	N 66°30'43" E
L19	20.00	N 70°48'37" E
SPORTS VEHICLE DRIVE CENTERLINE		
L20	7.07	N 75°51'34" W
L21	138.91	N 23°58'4" E
L22	19.32	N 23°58'4" E

CURVE TABLE		
CURVE	LENGTH	RADIUS
SPORTS VILLAGE DRIVE ROW		
C1	140.43	147.50
C2	185.41	192.50
SPORTS VILLAGE DRIVE C/L		
C3	154.02	170.00

CDC
CIVIL DESIGN CONCEPTS, PA

200 SWANNANOA RIVER ROAD
ASHEVILLE, NC 28805
PHONE (828) 252-5388
FAX (828) 252-5385
www.civildesignconcepts.com

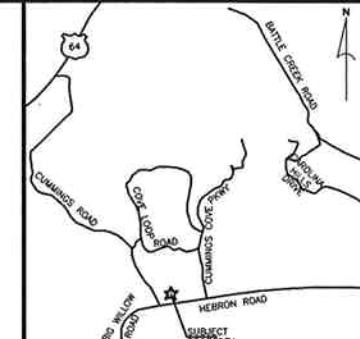
1	10-18-07	TRC SUBMITTAL	MAO
NO.	DATE	DESCRIPTION	BY

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FOR
CONSTRUCTION

**CUMMINGS COVE -
SPORTS COMPLEX**

DATE: JUNE 20, 2007
DRAWN BY: AMP
CDC PROJECT NO.: 10728

S1



VICINITY MAP
(NOT TO SCALE)

PROJECT DATA

PRN:	9538-74-8803
DEED BOOK AND PAGE:	1211/0158
SITE ACREAGE:	13.99± ACRES
PARCEL ACREAGE:	5.01± ACRES
SOIL TYPE:	BRADSON GRAVELLY LOAM
RECEIVING WATER COURSE:	UNNAMED TRIBUTARY TO THE FRENCH BROAD RIVER
TOTAL PRIVATE ROADS:	525± LF

- NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH HENDERSON COUNTY ORDINANCES AND SPECIFICATIONS.
 - SINGLE-PHASE CONSTRUCTION.
 - ALL WORK SHALL BE PERFORMED BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
 - CONTRACTOR TO COORDINATE EXACT LOCATION OF PROPOSED AND EXISTING UTILITIES.
 - PROPOSED ROADS TO BE PRIVATE. HENDERSON COUNTY IS NOT RESPONSIBLE FOR ANY ROAD MAINTENANCE.
 - EROSION CONTROL IS A FIELD PERFORMANCE BASED ACTIVITY; ADDITIONAL SILT FENCES, TEMPORARY SEDIMENT BASINS, AND ALL OTHER MEASURES MAY NEED TO BE ADDED IN ADDITION TO THE APPROVED PLAN AS NECESSARY. MEASURES SHOWN CAN AND SHOULD BE ADJUSTED TO ASSURE MAXIMUM PROTECTION ON SITE.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING, AND REMOVING ALL NECESSARY EROSION AND SEDIMENTATION CONTROL MEASURES.
 - CONTRACTOR TO FIELD VERIFY ALL PIPES AND DEPTHS PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
 - ADD MEASURES AS NEEDED IN ENVIRONMENTALLY SENSITIVE AREAS.
 - NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.
 - CONTRACTOR RESPONSIBLE FOR KEEPING ACCURATE LOG OF SITE CONDITIONS IN ACCORDANCE WITH NPDES PERMIT.
 - RETAINING WALLS:
CONTRACTOR TO COORDINATE & OBTAIN WALL DESIGN FROM LICENSED ENGINEER AND SUBMIT TO OWNER & ENGINEER FOR REVIEW PRIOR TO ORDERING MATERIALS. CONTRACTOR TO COORDINATE WALL STYLE & COLOR WITH ARCHITECT & OWNER.
WALL DESIGN TO INCLUDE FOOTING DRAIN & MINIMUM WIDTH OF 12" OF #5 WASH STONE BEHIND WALL FROM BOTTOM TO TOP OF WALL. (COORDINATE W/STRUCTURAL ENGINEER FOR DETAILS)
HAND RAILING/GUARD RAILING TO BE INSTALLED PER NC & COA BUILDING CODES. COORDINATE STYLE & COLOR W/ARCHITECT & OWNER.
CONTRACTOR RESPONSIBLE FOR PROVIDING APPROVED THIRD PARTY INSPECTION & FINAL CERTIFICATION FOR WALL CONSTRUCTION.
CONTRACTOR RESPONSIBLE FOR OBTAINING BUILDING PERMIT FOR RETAINING WALL PRIOR TO ORDERING MATERIALS OR CONSTRUCTION.
ALL RETAINING WALL ELEVATIONS SHOWN ARE FROM TOP OF WALL TO FINISH GRADE ELEVATION. CONTRACTOR TO ACCOUNT FOR FOOTER/COVER OVER FOOTER. REFER TO WALL DESIGN FOR FOOTER DESIGN.

CUMMINGS COVE COMPANY, LLC
200 SWANNANOA RIVER ROAD
ASHEVILLE, NC 28805
PHONE (828) 252-5588
FAX (828) 252-5585
www.civildesignconcepts.com

CDC
CIVIL DESIGN CONCEPTS, PA

NO.	DATE	DESCRIPTION	BY
1.	10-18-07	TRC & EROSION CONTROL SUBMITTAL	MAD



GRADING, EROSION CONTROL & STORM DRAINAGE PLAN FOR
CUMMINGS COVE - SPORTS COMPLEX
CUMMINGS COVE COMPANY, LLC - HENDERSON COUNTY, NORTH CAROLINA

DATE: JUNE 20, 2007
DRAWN BY: AMP
CDC PROJECT NO.: 10728

SHEET
C1

DEVELOPMENT DATA

OWNER/DEVELOPER: CUMMINGS COVE COMPANY, LLC
20 SPORTS VILLAGE DRIVE
HENDERSONVILLE, NORTH CAROLINA 28739
CONTACT: (828) 891-1512

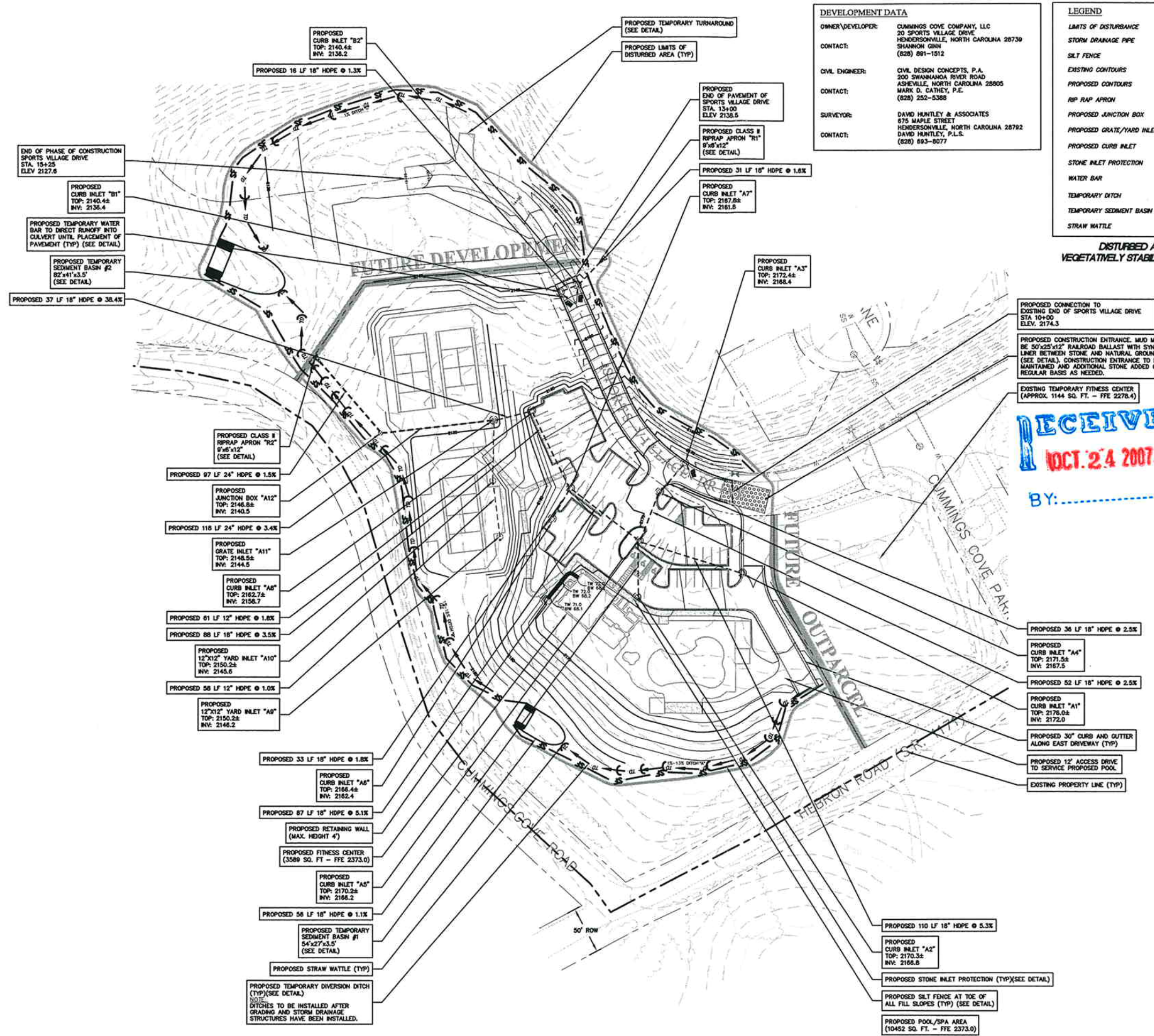
CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.
200 SWANNANOA RIVER ROAD
ASHEVILLE, NORTH CAROLINA 28805
MARK D. CATHEY, P.E.
(828) 252-5388

SURVEYOR: DAVID HUNTLEY & ASSOCIATES
875 MAPLE STREET
HENDERSONVILLE, NORTH CAROLINA 28792
DAVID HUNTLEY, P.L.S.
(828) 893-8077

- LEGEND
- LIMITS OF DISTURBANCE
STORM DRAINAGE PIPE
SILT FENCE
EXISTING CONTOURS
PROPOSED CONTOURS
RIP RAP APRON
PROPOSED JUNCTION BOX
PROPOSED GRATE/YARD INLET
PROPOSED CURB INLET
STONE INLET PROTECTION
WATER BAR
TEMPORARY DITCH
TEMPORARY SEDIMENT BASIN
STRAW WATTLE

DISTURBED AREA 6.3 AC
VEGETATIVELY STABILIZED AREA 4.2 AC

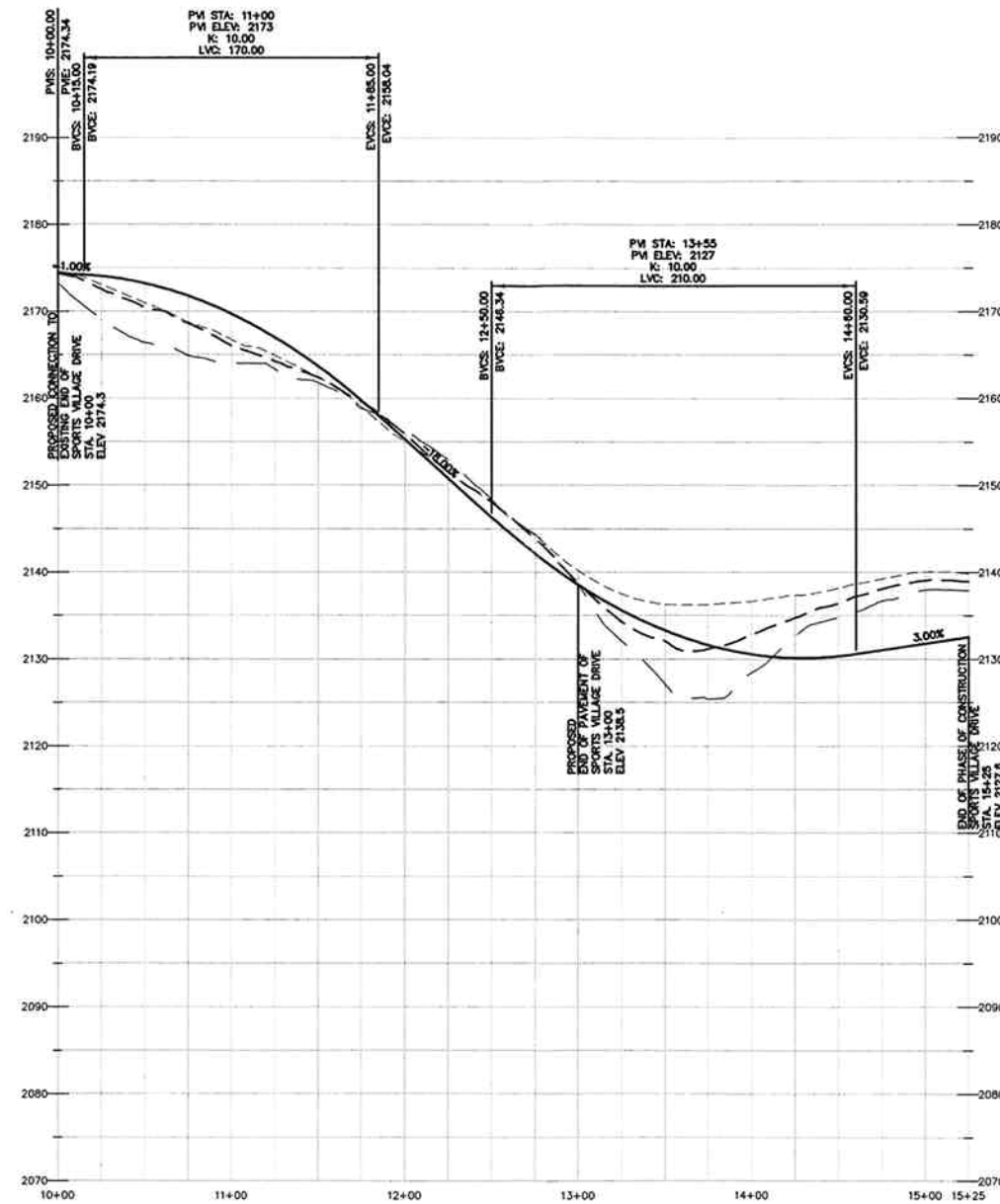
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OCT. 24 2007
BY:



BEFORE YOU DIG I
CALL 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW

**GRADING, EROSION CONTROL
& STORM DRAINAGE PLAN**

GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.



SPORTS VILLAGE
DRIVE



SCALE
1"=50' HORIZONTAL
1"=10' VERTICAL

ROAD PROFILE -
SPORTS VILLAGE DRIVE

RECEIVED
OCT. 24 2007
BY:.....

200 SWANNANOA RIVER ROAD
ASHEVILLE, NC 28805
PHONE (828) 252-5388
FAX (828) 252-5365
www.civildesignconcepts.com



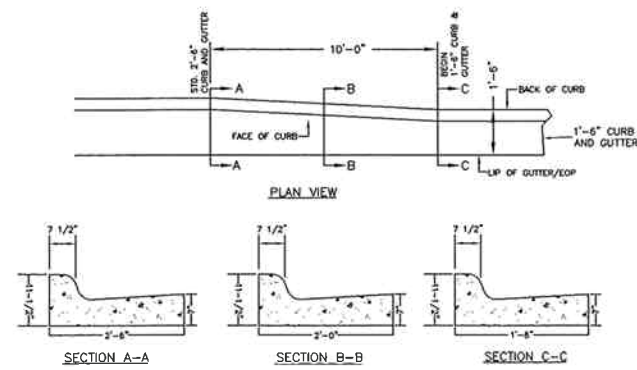
NO.	DATE	DESCRIPTION	BY
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FOR
CONSTRUCTION

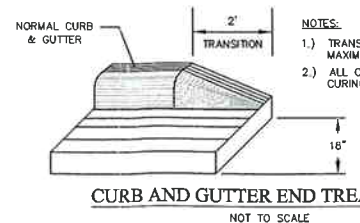
ROAD PROFILE - SPORTS VILLAGE DRIVE FOR
**CUMMINGS COVE -
SPORTS COMPLEX**
CUMMINGS COVE COMPANY, LLC - HENDERSON COUNTY, NORTH CAROLINA

DATE: SEPTEMBER 10, 2007
DRAWN BY: AMP
CDC PROJECT NO: 10728
SHEET

C2

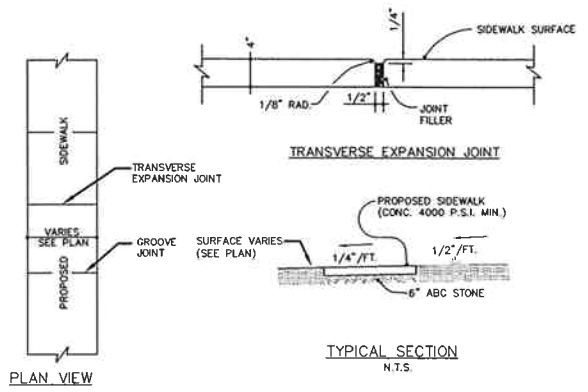
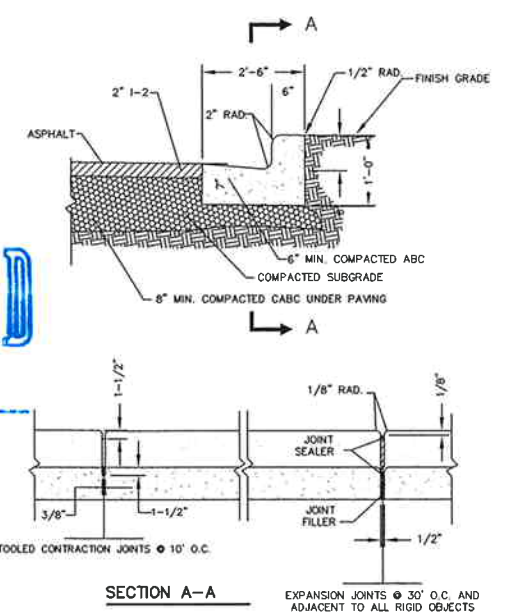


CURB TRANSITION 2'-6" CURB AND GUTTER TO 1'-6" CURB AND GUTTER
NOT TO SCALE



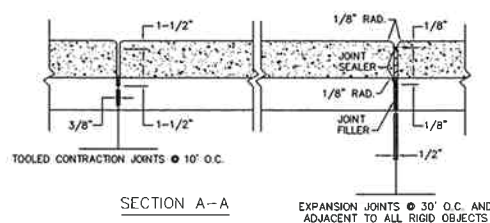
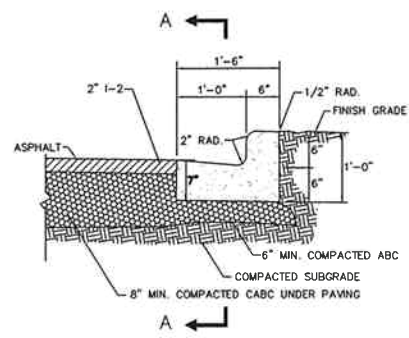
CURB AND GUTTER END TREATMENT
NOT TO SCALE

RECEIVED
OCT 24 2007

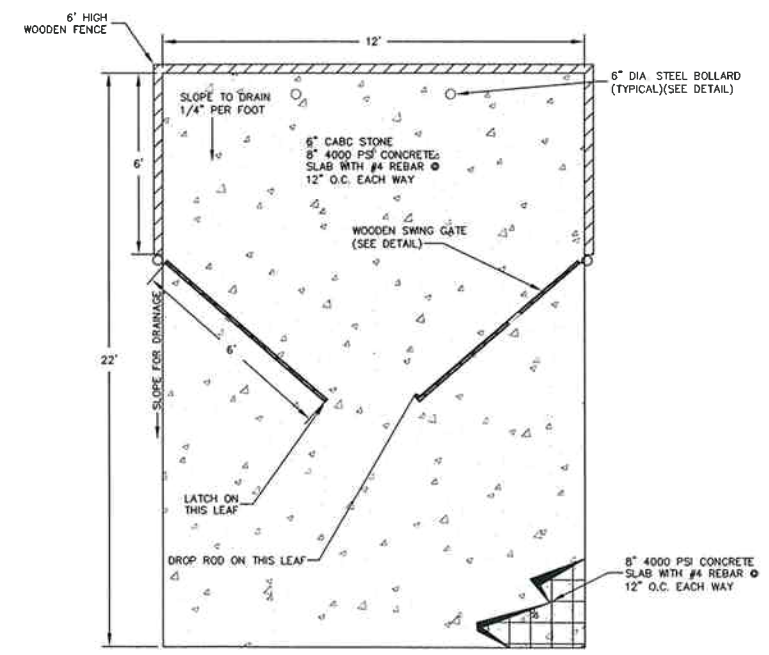


SIDEWALK DETAIL
NOT TO SCALE

- NOTES:
- 1.) TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
 - 2.) ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.
 - 3.) A GROOVE JOINT 1" DEEP WITH 1/3" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 40' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.



SIGN SHALL HAVE A MIN. DIMENSION OF 12" WIDE x 18" HIGH HAVING RED LETTERS ON A WHITE REFLECTIVE BACKGROUND.



SITE PLAN DETAILS

200 SWANNANOA RIVER ROAD
ASHEVILLE, NC 28805
PHONE (828) 252-5388
FAX (828) 252-5385

CDC
CIVIL DESIGN CONCEPTS, PA

www.civildesignconcepts.com

NO.	DATE	DESCRIPTION	BY
1	10-18-07	TRC SUBMITTAL	MAD

PRELIMINARY
NOT RELEASED
FOR
CONSTRUCTION

SITE PLAN DETAILS FOR:

CUMMINGS COVE - SPORTS COMPLEX

CUMMINGS COVE COMPANY, LLC - HENDERSON COUNTY, NORTH CAROLINA

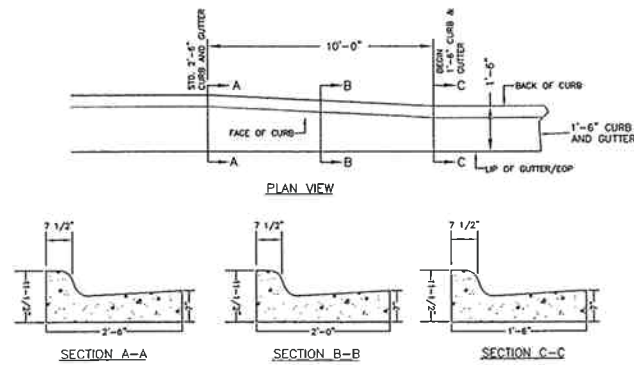
DATE: OCTOBER 10, 2007

DRAWN BY: AMP

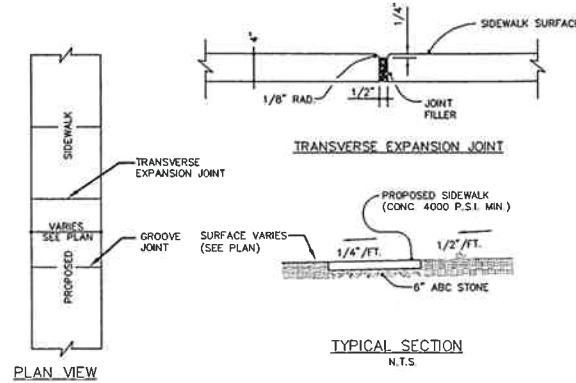
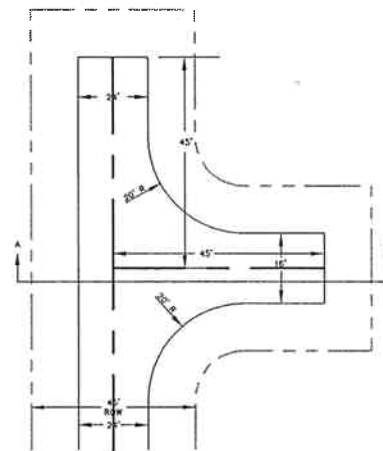
CDC PROJECT NO.: 10728

SHEET

D1

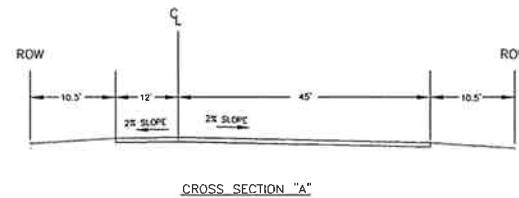


CURB TRANSITION 2'-6" CURB AND GUTTER TO 1'-6" CURB AND GUTTER
NOT TO SCALE

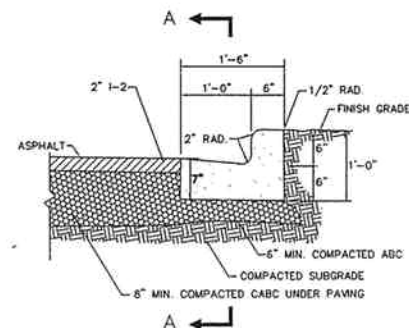


SIDEWALK DETAIL
NOT TO SCALE

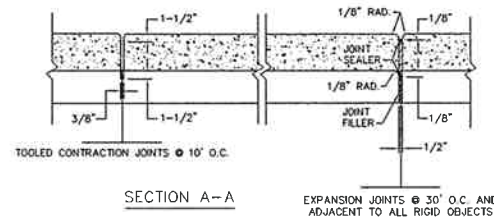
- NOTES:
- 1.) TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
 - 2.) ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.
 - 3.) A GROOVE JOINT 1" DEEP WITH 1/3" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 40' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.



TEMPORARY HAMMERHEAD "BRANCH" TURNAROUND CROSS SECTION
NOT TO SCALE



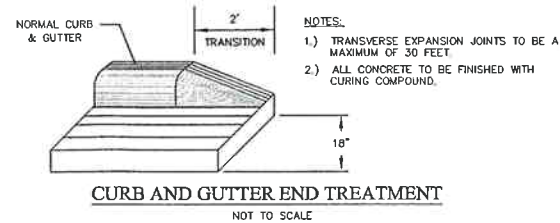
CONCRETE CURB & GUTTER (18") DETAIL
NOT TO SCALE



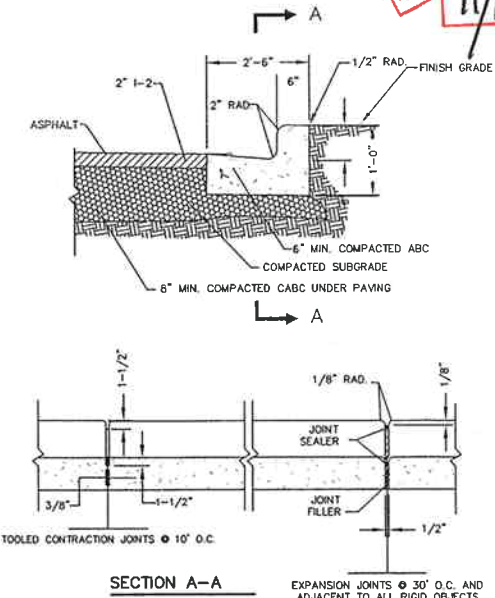
- CONSTRUCTION NOTES:
1. CURB SHALL BE CONSTRUCTED WITH CLASS B 4000 PSI CONCRETE
 2. SURFACE SHALL BE GIVEN A LIGHT BROOM FINISH WITH THE BRUSH MARKS PARALLEL TO THE CURB
 3. SUBGRADE SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR TEST
 4. CABG SHALL BE COMPACTED TO 100% OF MODIFIED PROCTOR TEST



SIGN SHALL HAVE A MIN. DIMENSION OF 12" WIDE x 10" HIGH HAVING RED LETTERS ON A WHITE REFLECTIVE BACKGROUND.

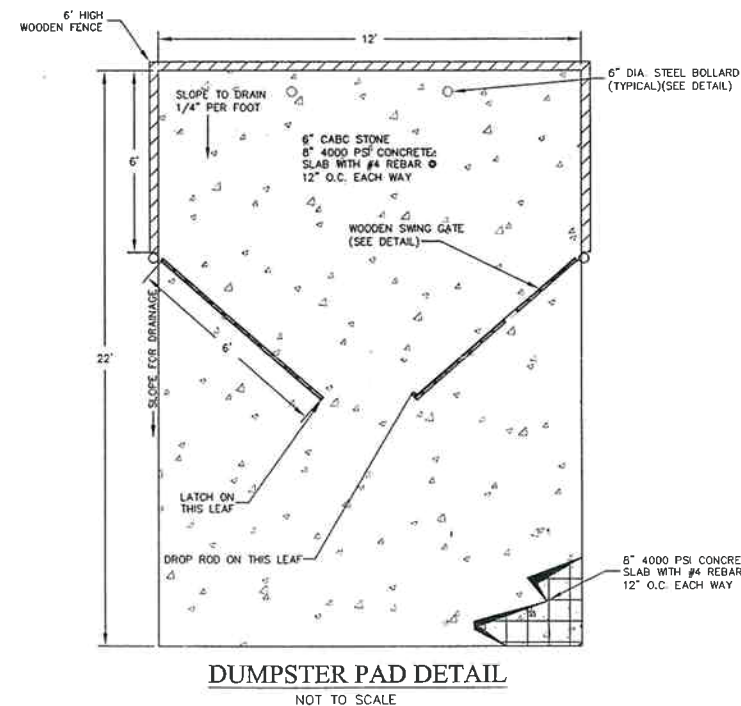


- NOTES:
- 1.) TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 30 FEET
 - 2.) ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.



- CONSTRUCTION NOTES:
1. CURB SHALL BE CONSTRUCTED WITH CLASS B 4000 PSI CONCRETE
 2. SURFACE SHALL BE GIVEN A LIGHT BROOM FINISH WITH THE BRUSH MARKS PARALLEL TO THE CURB
 3. SUBGRADE SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR TEST
 4. CABG SHALL BE COMPACTED TO 100% OF MODIFIED PROCTOR TEST

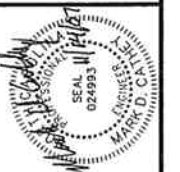
CONCRETE CURB & GUTTER (30") DETAIL
NOT TO SCALE



DUMPSTER PAD DETAIL
NOT TO SCALE

SITE PLAN DETAILS

NO.	DATE	DESCRIPTION	BY
1.	10-18-07	TRC SUBMITTAL	MAD
2.	11-14-07	REVISED PER TRC COMMENTS	MAD



DATE: OCTOBER 10, 2007
DRAWN BY: AMP
CDC PROJECT NO.: 10728

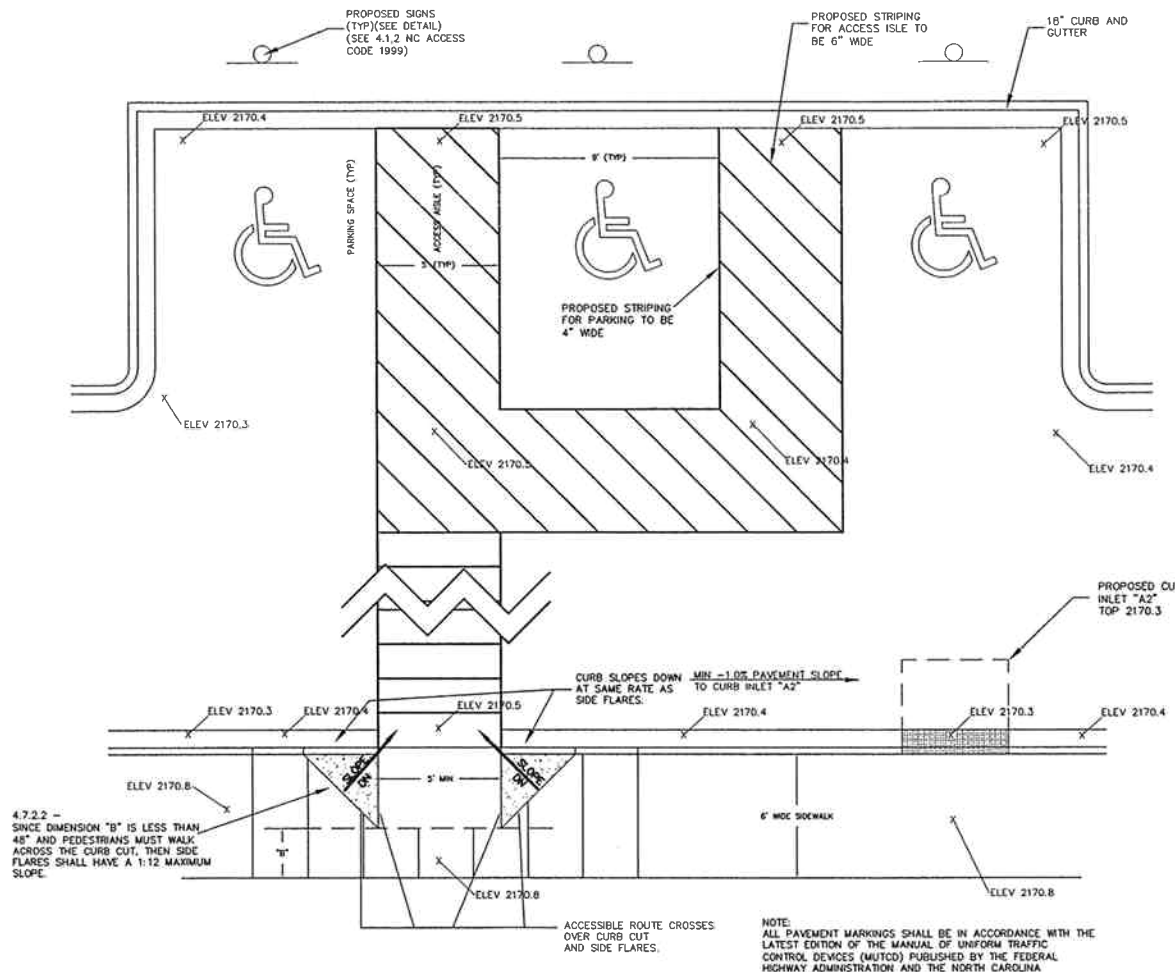
SHEET

D1

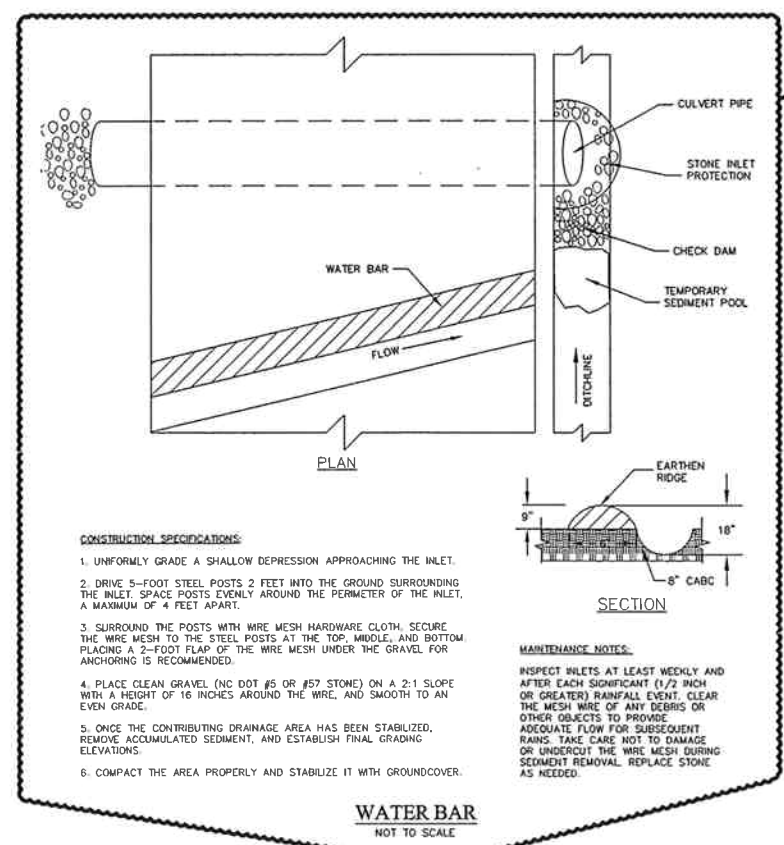
NO.	DATE	DESCRIPTION	BY
1	10-18-07	TRC & EROSION CONTROL SUBMITTAL	MAD
2	11-14-07	REV. PER HENDERSON CO. COMMENTS	MAD



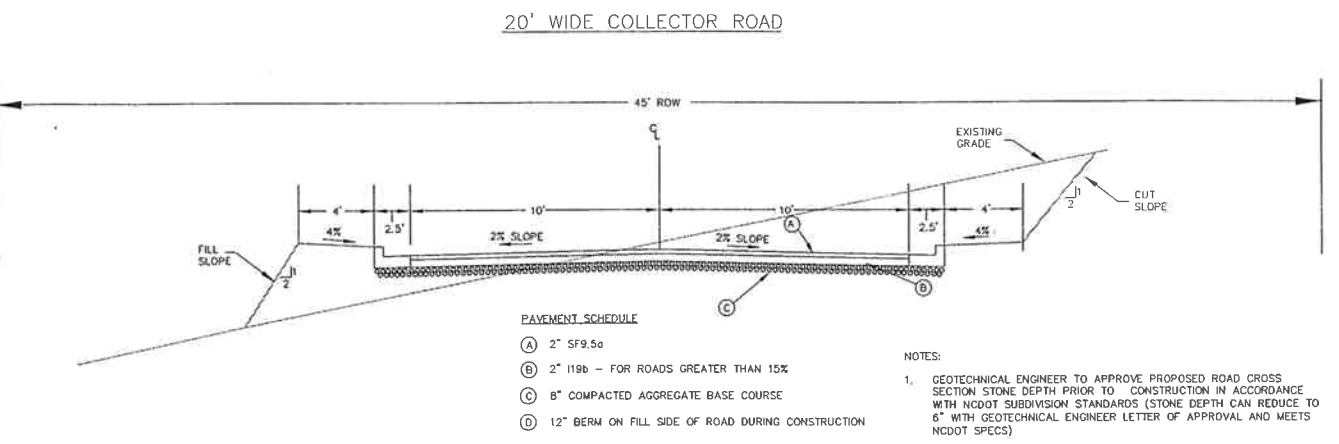
DATE: JUNE 20, 2007
 DRAWN BY: AMP
 CDC PROJECT NO.: 10726
 SHEET



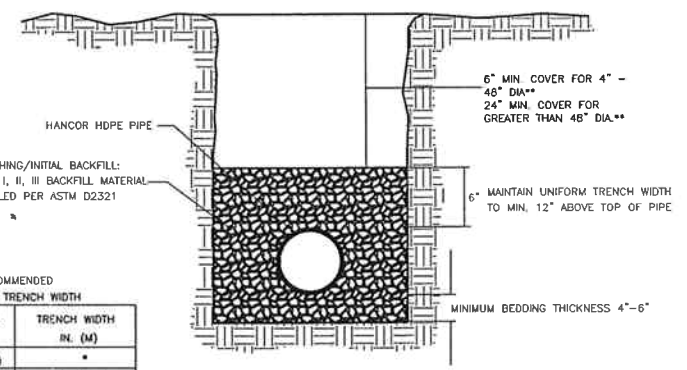
HANDICAPPED RAMP/PARKING DETAIL
 NOT TO SCALE



WATER BAR
 NOT TO SCALE



TYPICAL ROAD CROSS SECTIONS
 NOT TO SCALE

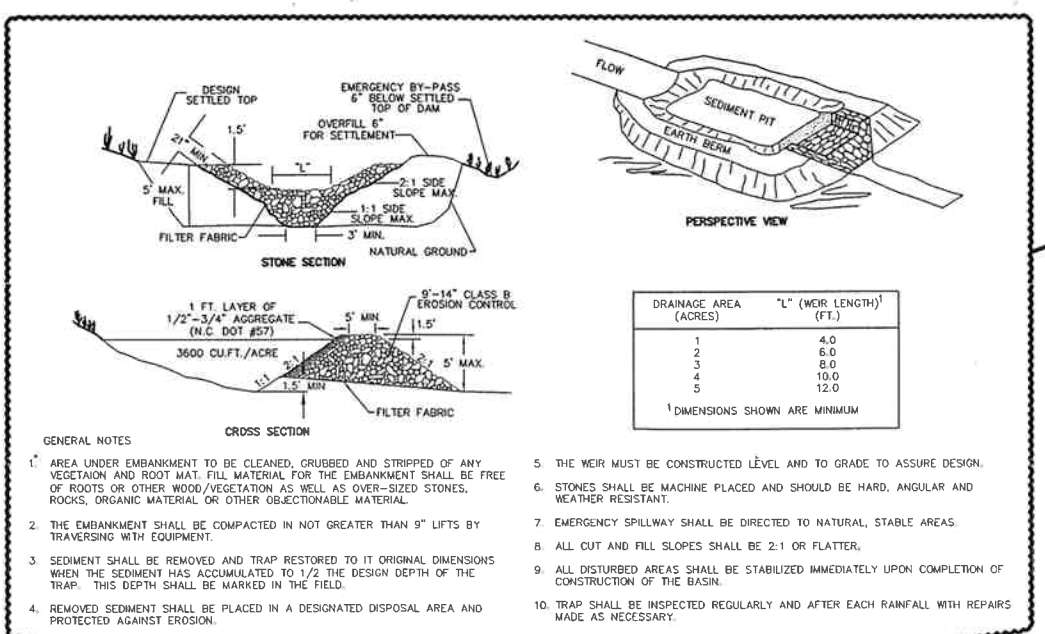


REFERENCE ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS."

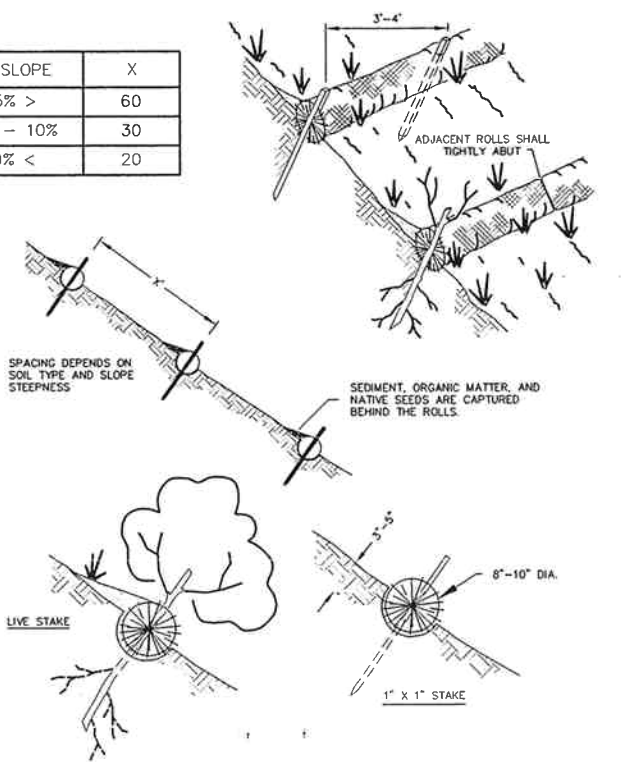
HDPE TRENCH INSTALLATION DETAIL
 NOT TO SCALE

PIPE DIAMETER IN. (MM)	TRENCH WIDTH IN. (M)
4 - 8 (100-200)	-
10 (250)	24 (0.6)
12 (300)	28 (0.7)
15 (375)	35 (0.9)
18 (450)	43 (1.1)
24 (600)	56 (1.4)
30 (750)	60 (1.5)
36 (900)	65 (1.7)
42 (1050)	84 (2.1)
48 (1200)	91 (2.3)
54 (1350)	97 (2.5)
60 (1500)	103 (2.6)

% SLOPE	X
5% >	60
5% - 10%	30
10% <	20



TEMPORARY SEDIMENT BASIN
 NOT TO SCALE



STRAW WATTLES
 NOT TO SCALE

**GRADING, EROSION CONTROL,
 & STORM DRAINAGE DETAILS**