

REQUEST FOR BOARD ACTION

HENDERSON COUNTY PLANNING BOARD

MEETING DATE: Thursday, December 20, 2007

ATTACHMENTS:

1. Staff Report
2. Vicinity Map
3. Photos of Project Site
4. Review Agency Response Form – NCDOT
5. Review Agency Response Form- Property Addressing
6. Subdivision Application with Attachments
7. Combined Master and Development Plan

SUBJECT: Combined Master and Development Plan for Park Ridge Hospital Doctors Building Outparcel Major Subdivision (2007-M37)

SUMMARY OF REQUEST:

Mr. Kenneth Cobb, agent, on behalf of Fletcher Hospital, Inc., owner, submitted the Combined Master and Development Plan for this project. Park Ridge Hospital Doctors Building Outparcel (PIN # 9661-15-0695) is a proposed commercial development.

The project site is located on approximately 5.29 acres of land located off of Naples Road (SR 1534). The applicant is proposing one lot on .735 acres of the project site. The project is not located in the 100-year floodplain and is not in a water supply watershed district. The project is also in the Office and Institution zoning district. Private roads and public water and sewer serve the proposed lot. A 45- foot row-of-way is proposed for a portion of Doctors Drive.

PLANNING BOARD ACTION REQUESTED:

Staff has found that the proposed Combined Master and Development Plan appears to meet the technical standards of the subdivision regulations of Chapter 200A, Henderson County Land Development Code (LDC) except for the comments listed in the Staff Report (See Attachment 1). Staff recommends approval of the Combined Master and Development Plan subject to the developer addressing any issues raised by the Planning Board and addressing the comments listed in the Staff Report, including those comments and conditions recommended by the Technical Review Committee.

Suggested Motion:

I move that the Planning Board find and conclude that the Combined Master and Development Plan appears to comply with the subdivision provisions of Chapter 200A, Henderson County Land Development Code;

And

I further move that the Combined Master and Development Plan be approved subject to the following conditions: the applicant satisfies any conditions that may result from the comments listed in the Staff Report (Attachment 1), conditions recommended by the Technical Review Committee, and any conditions or other comments that result from discussion at the Planning Board meeting.

Henderson County Planning Department Staff Report**Combined Master and Development Plan Review for Park Ridge Hospital Doctors Building Outparcel (File #2007-M37)**

**Fletcher Hospital, Inc, Owner/Applicant
Mr. Kenneth Cobb of Fletcher Hospital, Inc., Agent**

Project Overview:

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Master Plan Comments:

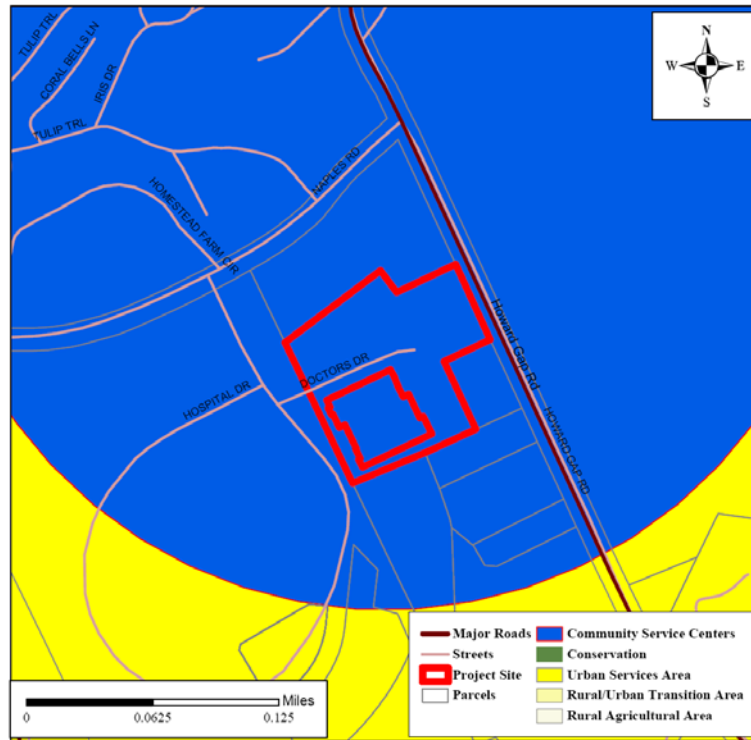
According to Chapter 200A, Henderson County Land Development Code (LDC) §200A-309, the purpose of a Master Plan is to provide general information about the proposed development to allow for an assessment of its impact on the orderly growth and development of the County, environmental quality, land values, natural features identified on the site analysis sketch and the County's roads and governmental services. During the review of the Master Plan, the Planning Board should take into consideration: applicable recommendations of the *Henderson County 2020 Comprehensive Plan*, the potential use of the land to be subdivided, and the impact of the subdivision and proposed use whether residential, commercial or industrial.

When reviewing the Master Plan it is important to consider that, due to severe topographic conditions, inadequate road access, distance from services, unique natural areas, soils that do not easily support soil drainage systems and or the proximity to existing and incompatible land uses/zoning, all land may not be suitable to be subdivided for the purpose of dense development (LDC §200A-75).

Staff has reviewed the submitted Combined Master and Development Plan for Park Ridge Hospital Doctors Building Outparcel, taking into consideration the recommendations of the *Henderson County 2020 Comprehensive Plan*.

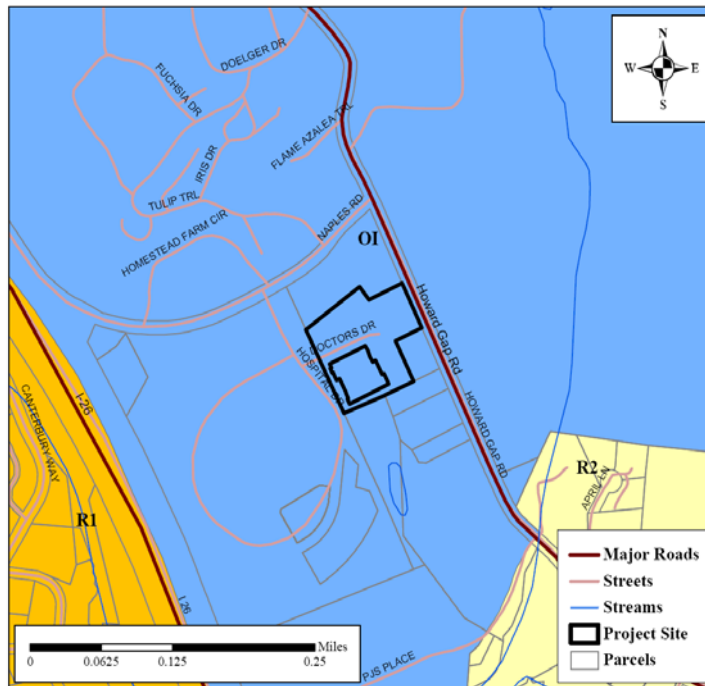
1. **Henderson County 2020 Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the project site as being located within the Community Service Centers (See Map A: CCP Future Land Use Map). The CCP notes that the Community Service Centers “are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas.”

Map A: CCP Future Land Use Map



2. **Chapter 200A, Henderson County Land Development Code (LDC).** According to Chapter 200A, Henderson County Land Development Code (LDC) and its Official Zoning Map adopted September 19, 2007, the proposed project site is located within the Office Institutional Zoning District (See Map B: Official Zoning Map). The OI district allows for a mix of office, institutional, and residential.

Map B: Official Zoning Map



Development Plan Comments:

1. **Soil Erosion and Sedimentation Control Plan.** The Applicant shall submit notice from NCDENR that a soil erosion and sedimentation control plan has been received or provide documentation that no plan is required prior to beginning construction (LDC §200A-81 A).
2. **Notice of Farmland Preservation District.** The final plat shall contain a note stating that the property lies within one-half (½) mile of land in a Farmland Preservation District (LDC §200A-81 P).
3. **Street Tree Requirements.** Street trees shall be required for all major subdivisions (LDC §200A-81 R). Trees shall be required at a rate of one (1) large deciduous tree per 50 feet of property abutting an internal road (LDC §200A-145). Trees shall be placed within the right-of-way or within 20 feet of the edge of the right-of-way and may be placed in groups with a minimum spacing of no more than 65 feet with each tree in the group no less than 15 feet apart (LDC §200A-146). Planning Staff recommends, as a condition of approval, that the applicant provide trees at the required rate and separation and certify the same on the final plat, or bond the landscaping in order to guarantee the installation of the required improvements (LDC §200A-154). The applicant has indicated street trees on the Master and Development Plan of a deciduous species, Willow Oak, which is recommended in the Landscape Design Standards, Article V, Subpart F, Table 5.5 of the LDC.
4. **Miscellaneous Advisory Provisions.** The Applicant should become familiar with the miscellaneous advisory provisions contained in LDC §200A-81 S.

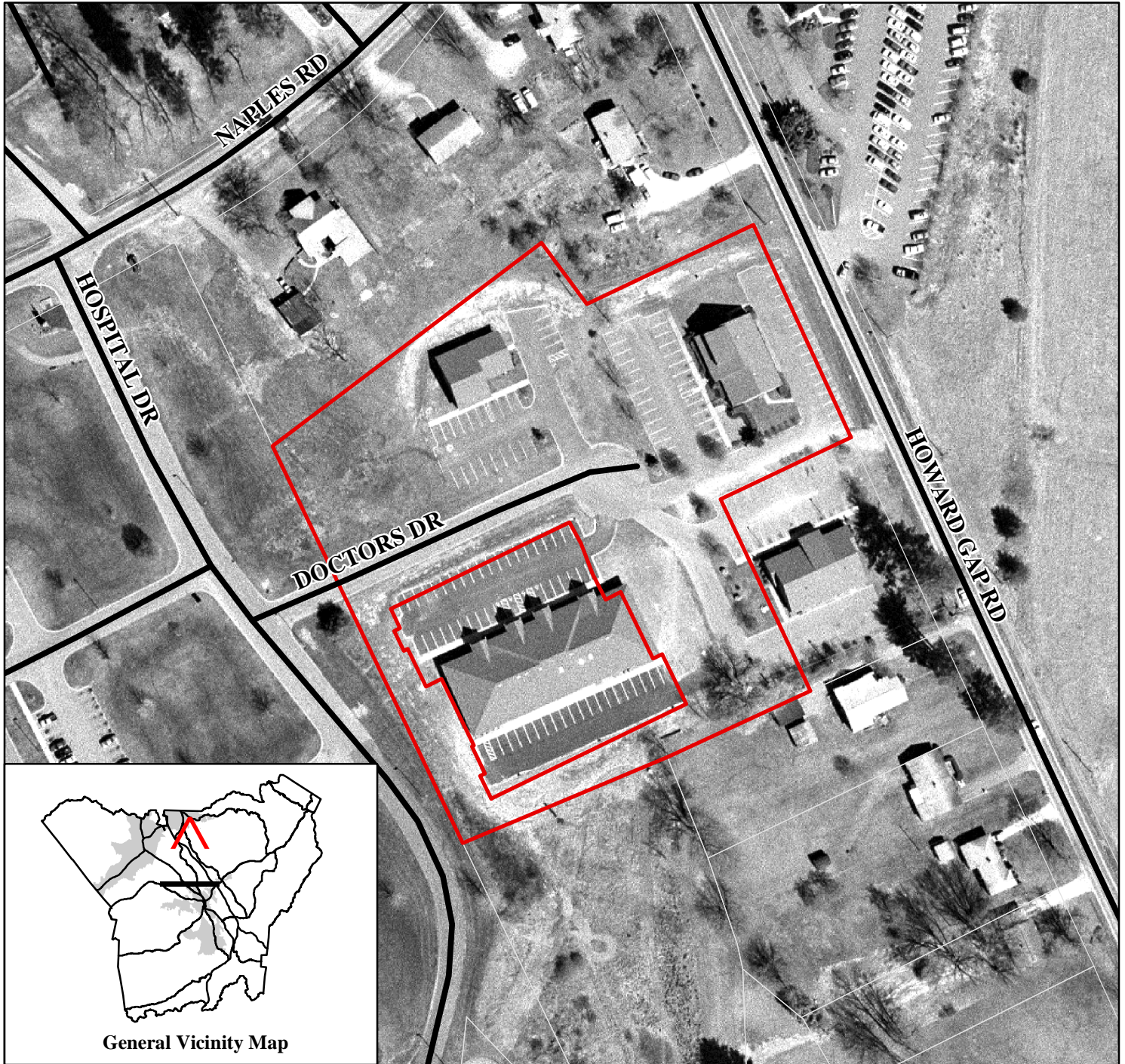
5. **Final Plat Requirements.** The Final Plat(s) must meet the requirements provided by the Planning Department whenever a subdivision of land occurs (LDC §200A-311 B(2)).

Technical Review Committee Comments Recommendations:

The Henderson County Technical Review Committee considered the Combined Master and Development Plan for Park Ridge Hospital Doctors Building Outparcel Major Subdivision (File #2007-M37) at its regularly scheduled meeting on November 6, 2007. During that meeting, the Committee voted 7 to 0 to send the Planning Board a favorable recommendation.

Review Agency Comments:

1. **Comments from North Carolina Department of Transportation.** See attachment 4
2. **Comments from Property Addressing.** See attachment 5
3. **Other Comments.** Staff may have more comments from review agencies at the meeting.



Park Ridge Hospital Doctors Building Out Parcel

DEVELOPER & OWNER: Fletcher Hospital, Inc
 AGENT: Kenneth Cobb
 SURVEYOR: Wallace S. McAbee, McAbee & Associates, PA
 ZONING: OI
 WATERSHED: None
 WATER SYSTEM: Public
 SEWER SYSTEM: Public
 ROAD SYSTEM: Private

-  Roads
-  Subject Area
-  Parcels
-  Surface Water



1. View of outparcel building from Doctors Drive. Notice of Subdivision posted outside.



2. View of front entrance of building on outparcel.



3. View of back entrance and parking lot of outparcel building.



4. View across from outparcel.

HENDERSON COUNTY
DEPARTMENT AND AGENCY
SUBDIVISION REVIEW RESPONSE FORM

This office has reviewed the plans for the proposed commercial development named **Park Ridge Hospital Doctors Building** and offers the following comments:

1. The developer must apply for and obtain a Street and Driveway Access Permit from the District Engineer's office prior to connecting any roads or driveways to a NC DOT maintained road. The developer may be required to furnish a Transportation Impact Study and possibly make offsite road improvements in order to receive a driveway permit, if anticipated traffic volumes warrant these measures.
2. Right of Way for improvements along SR 1006, Howard Gap Road has been purchased by the North Carolina Department of Transportation. The developer must obtain an encroachment agreement from the NC DOT prior to performing any type of work on this right of way. It is also advised that he review the right of way agreement prior to beginning construction.

Reviewed by: Josh Lanning
Assistant District Engineer
Please return this form to:

Agency: NCDOT

Date: 12-03-07

Alexis Baker
Henderson County Planning Department
101 E. Allen Street
Hendersonville, NC 28792

File No. 2007-M37

HENDERSON COUNTY PLANNING DEPARTMENT REVIEW AGENCY RESPONSE FORM

I have reviewed the plan(s) for subdivision application #2007-M37 (Park Ridge Hospital Doctors Building Outparcel) and offer the following comments:

No Road name required

(If necessary use back of form or additional sheets for comments)

Reviewed By

Agency

Date

Please Return to:

Alexis Baker, Planner
Henderson County Planning Department
213 1st Avenue East
Hendersonville, NC 28792
alexisbaker@hendersoncountync.org

File No. 2007-M37

SUBDIVISION ROAD NAME APPROVAL FORM

Planning Application Number 2007-M37

The following street name(s) have been reserved for the subject application. Road names have been assigned when necessary. No changes are authorized unless approved by the Property Addressing Division.

Approved/
assigned road
names:

Doctors Dr.

Signature: _____

A handwritten signature in black ink, appearing to be 'A. S. J.', is written over a horizontal line.

Date: Nov 13, 2007

APPENDIX 1

**HENDERSON COUNTY
SUBDIVISION APPLICATION FORM**

10/18/2007 Date of Application PARK RIDGE HOSPITAL
(DOCTOR'S BUILDING OUTPARCEL) Subdivision Name

* Major Subdivision * Minor Subdivision Application Number (*) Other

Property Owners Name: FLETCHER HOSPITAL, INC.

Address: PO Box 1569

City, State, Zip: FLETCHER, NC 28732

Owner's Agent: KEN COBB / BARRY WEST McABEE & ASSOCIATES (LAND SURVEYOR)

Telephone No: (828) 684-8501 (828) 628-1295

PIN 9661-15-0695 Deed Book/Page 742/555

Zoning District C/I Fire District FLETCHER Watershed NO

Location of property to be divided: INTERSECTION OF DOCTOR'S DRIVE (PRIVATE)
1/2 HOSPITAL DRIVE (PRIVATE) @ NAPLES ROAD

Type of Subdivision: () Residential ☒ Commercial () Industrial Present Use _____

No. Lots Created 1 Original Tract Size 5.29 AC New Tract Size 0.74 AC No. New Lots 1

Road System: () Public () Private ☒ Combination Public and Private

Water System: () Individual () Community ☒ Municipal

Sewer System: () Individual () Community ☒ Municipal

Cemetery on Property: () Yes ☒ No

]- CONNECTIONS ALREADY IN PLACE

Fee: \$ 430.00 Paid ✓ Method CHECK

I certify that the information shown above is true and accurate and is in conformance with the Henderson County Subdivision Ordinance.

Kenneth W Cobb
APPLICANT (OWNER OR AGENT)

10-22-07

DATE

Development Plan Approval / Conditions _____

Final Plat Approval: _____ Plat Recorded: _____

APPOINTMENT OF AGENT FORM (OPTIONAL)

FLETCHER HOSPITAL INC DBA

I PARK RIDGE HOSPITAL owner of property located on DOCTORS DRIVE
(Name) (Street Name)recorded in 742 5555 and having a parcel identification number of 9661-15-0695
(Deed Book/Page) (PIN)located in Henderson County, North Carolina, do hereby appoint Ken Cobb
(Agent's Name)

to represent me in an **application to the Planning Department** and authorize him/her to act as my agent **in all matters**, formal and informal except as stated herein, and authorize him/her to receive all official correspondence.

I however understand that as the listed property owner, I must sign all affidavits and statements required by any applicable ordinance.

James Burt CEO 10-22-07
Property Owner Date

