

REQUEST FOR BOARD ACTION

HENDERSON COUNTY PLANNING BOARD

MEETING DATE: Thursday, October 18, 2007

ATTACHMENTS:

1. Staff Report
2. Vicinity Map
3. Photos of Project Site
4. Review Agency Response Form – NC Department of Transportation
5. Review Agency Response Form – Property Addressing
6. Review Agency Response Form – Fire Marshal’s Office
7. Review Agency Response Form – Valley Hill Fire and Rescue
8. Review Agency Response Form – Floodplain Administrator/Watershed Administrator/Erosion Control Chief
9. Subdivision Application with Attachments
10. Combined Master and Development Plan

SUBJECT: Combined Master and Development Plan for Old Pace Major Subdivision (2007-M33)

SUMMARY OF REQUEST:

Mr. Matt Fusco of Melrose Design Group, P.A., agent, on behalf of the owners (Old Pace Investors, LLC; Bearpen, LLC; Gary A. and Ann S. Robison; and Channing M. and Elaine F. Hubbard) submitted the Combined Master and Development Plan for Old Pace. The project is located on 58.80 acres of land off Old Pace Farm Lane (portions of PINs: 9525-69-5187, 9525-78-6342, 9525-89-1841, and 9525-79-9352 with a combined total acreage of 213.24 acres). The applicant is proposing a total of 14 lots for single-family residential purposes to be developed in one phase. Four (4) areas of open space are also proposed. Private roads, individual wells and septic are proposed to serve the project site. At the time of application the project was located in the Open Use (OU) zoning district, which does not regulate the residential use of land, and should be evaluated on these merits for subdivision approval.

PLANNING BOARD ACTION REQUESTED:

Staff has found that the proposed Combined Master and Development Plan appears to meet the technical standards of Chapter 170, Henderson County Subdivision Ordinance except for the comments listed in the Staff Report (See Attachment 1). Staff recommends approval of the Combined Master and Development Plan subject to the developer addressing any issues raised by the Planning Board and addressing the comments listed in the Staff Report.

Suggested Motion:

I move that the Planning Board find and conclude that the Combined Master and Development Plan appears to comply with the provisions of Chapter 170, Henderson County Subdivision Ordinance;

And

I further move that the Combined Master and Development Plan be approved subject to the following conditions: the applicant satisfies any conditions that may result from the comments listed in the Staff Report (Attachment 1) and any other comments that result from discussion at the Planning Board meeting.

Henderson County Planning Department Staff Report**Combined Master and Development Plan Review for Old Pace Major Subdivision (File #2007-M33)**

**Old Pace Investors; Bearpen, LLC; Gary & Ann Robison; and Channing & Elaine Hubbard;
Owners/Applicants
Mr. Matt Fusco with Melrose Design Group, P.A., Agent**

Project Overview:

Mr. Matt Fusco of Melrose Design Group, P.A., agent, on behalf of the owners, submitted the Combined Master and Development Plan for Old Pace. The project is located on 58.80 acres of land off Old Pace Farm Lane composed of portions of four (4) separate parcels under different ownership with a combined total acreage of approximately 213.24 acres. The four parcels include the following:

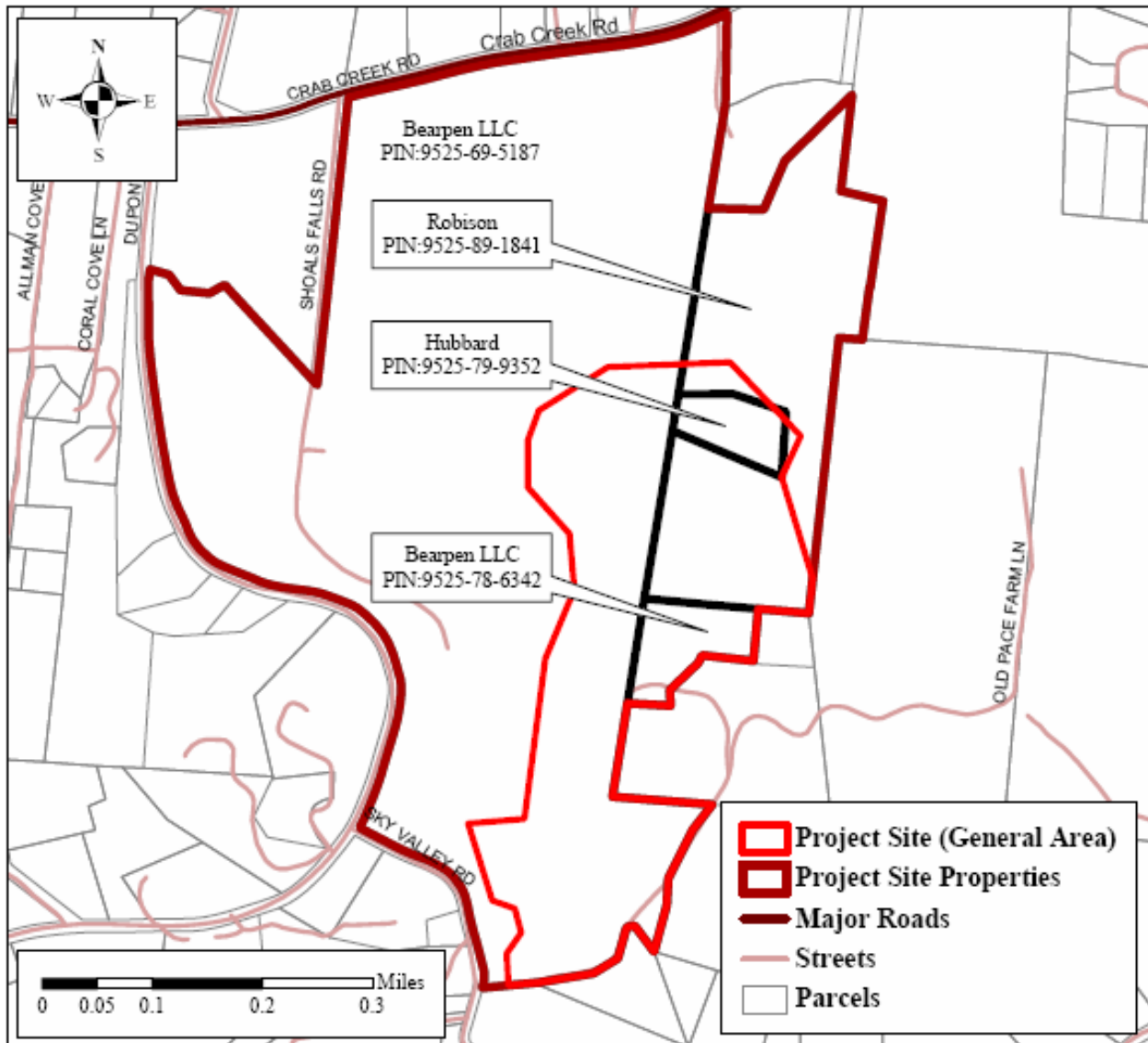
- (1) Parcel 9525-69-5187 owned by Bearpen LLC with approximately 171.18 acres;
- (2) Parcel 9525-78-6342 owned by Bearpen LLC with approximately 4.6 acres;
- (3) Parcel 9525-89-1841 owned by Gary & Ann Robison with approximately 34.19 acres; &
- (4) Parcel 9525-79-9352 owned by Channing & Elaine Hubbard with approximately 3.27 acres (See Map A: Owners Map).

The applicant is proposing a total of 14 lots for single-family residential purposes to be developed in one phase. Four (4) areas of open space are also proposed.

At the time of application the project was located in the Open Use (OU) zoning district, which does not regulate the residential use of land, and should be evaluated on these merits for subdivision approval. The site is not located in a water supply watershed district or the floodplain/floodway.

Private roads, individual wells and septic are proposed to serve the project site.

Map A: Owners Map

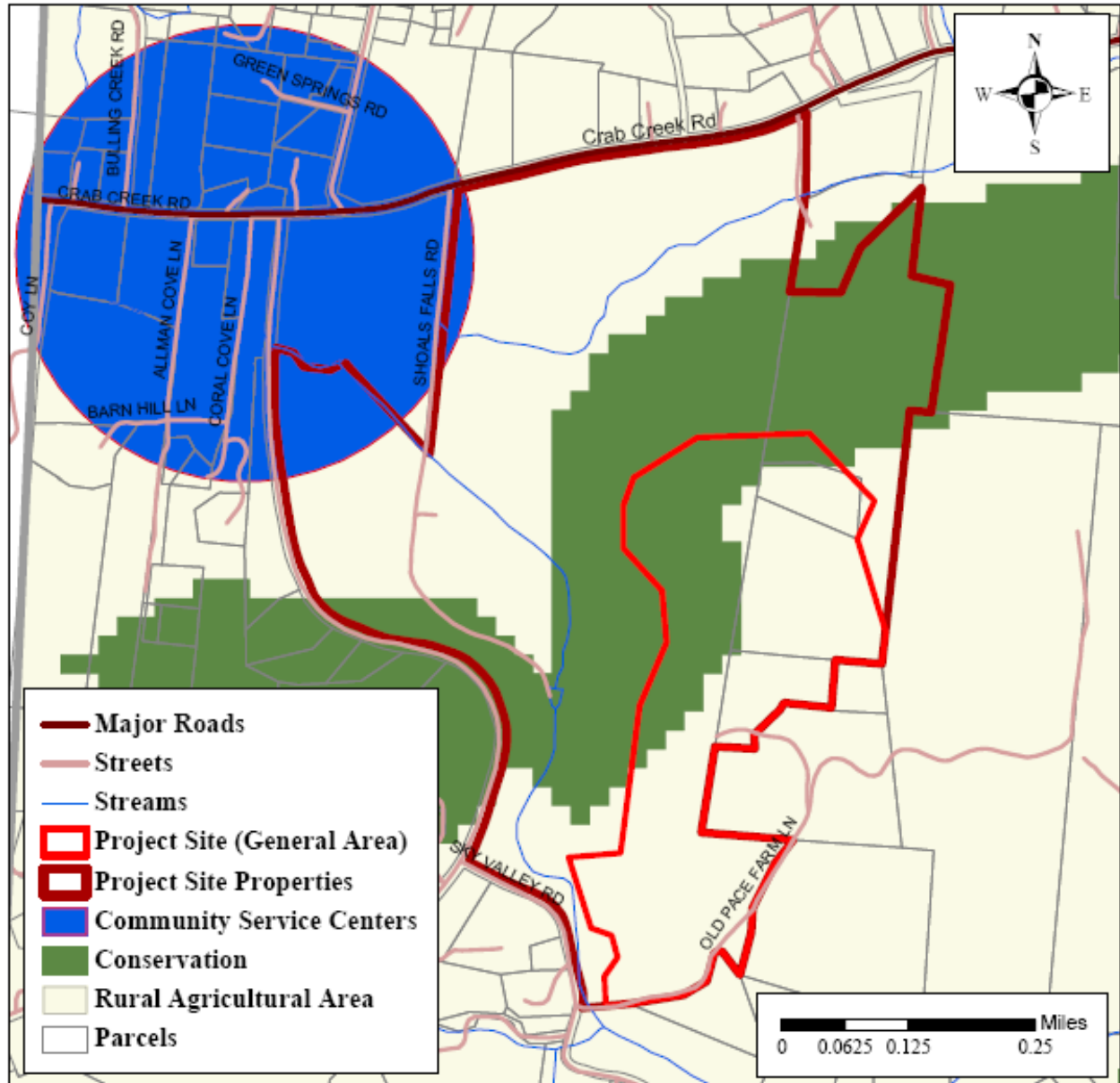


Master Plan Comments:

According to Chapter 170, Henderson County Subdivision Ordinance (HCSO) §170-16B, the purpose of a Master Plan is to present the overall development concept for a project and to provide general information about the project to allow for assessment of its impact on growth and development of the County, environmental quality, land values, natural features, etc. When reviewing the Master Plan it is important to consider that all land may not be suited to be subdivided for the purposes of dense development (HCSO §170-3). Staff has reviewed the submitted Master Plan for Old Pace, taking into consideration the recommendations of Henderson County’s Land Use Plan (*Henderson County 2020 Comprehensive Plan*). Staff has also taken into consideration the effect that Chapter 200A, Land Development Code, would have had on the subdivision review of the project were the application received after its adoption and implementation.

1. **County Comprehensive Plan (CCP).** The Future Land Use Map of the CCP shows the project site as being located within each of the following areas: Conservation Area and Rural/Agricultural Area (RAA) (See Map B: CCP Future Land Use Map).

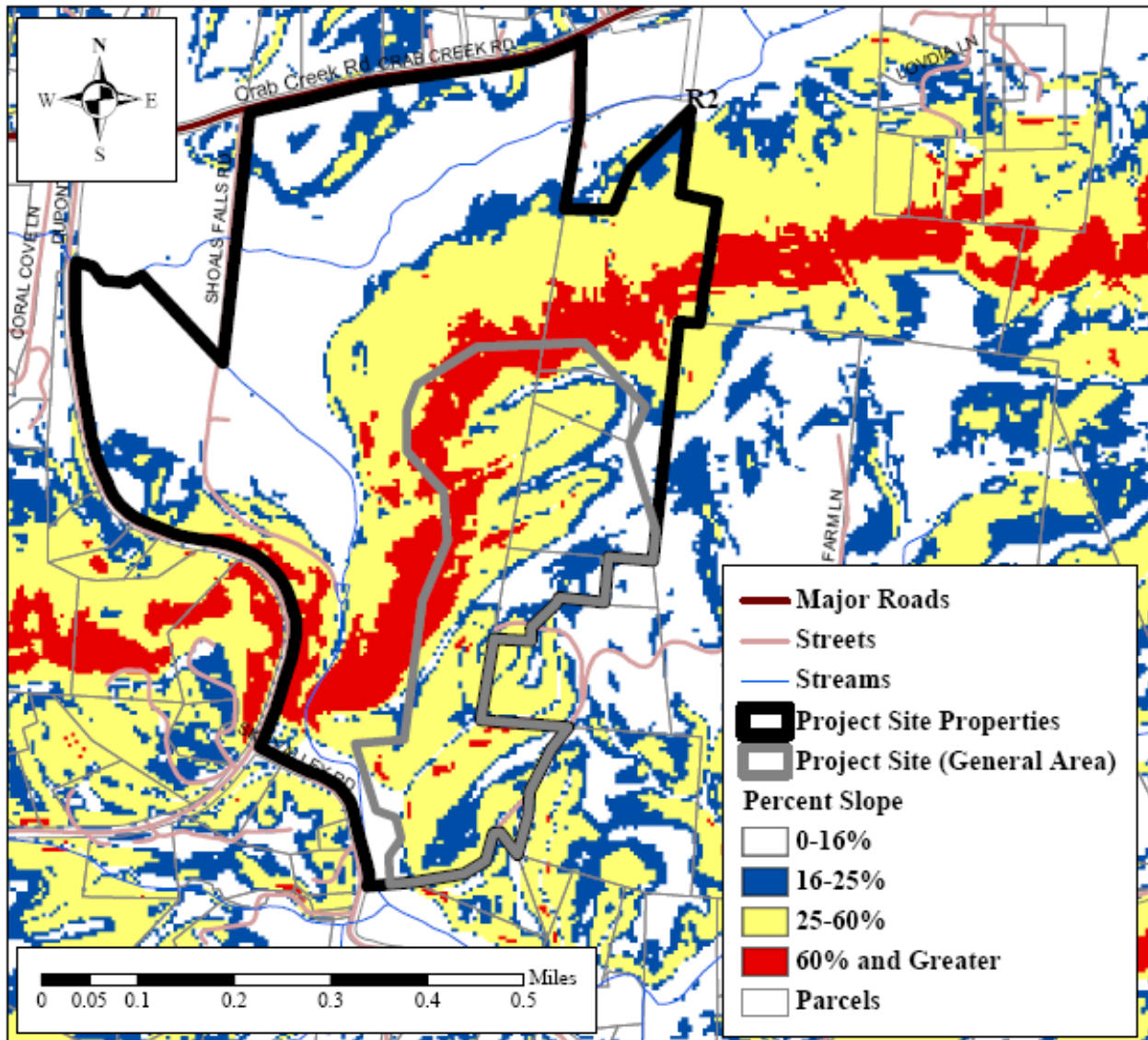
Map B: CCP Future Land Use Map



- **Conservation Area.** The conservation area designation is applied a on the project site largely due to the presence of steep slopes (See Map B: CCP Future Land Use Map and Map C: Slopes Map). Slopes within the project site and the remainder tracts appear to be in excess of 60 percent (approximately 10 acres within the project site). The CCP states that conservation lands “are intended to remain largely in their natural state, with only limited development,” and further that “such areas should be targeted for protection through regulations and incentives” (2020 CCP, Pg. 134). The Master and Development Plan indicates that most of the land in slopes in excess of 60 percent are located within the remainder tracts. As noted in Section 170-3 of the

HCSO, the project site may not be suited to be subdivided for the purposes of dense development due to severe topographic conditions (steep slopes).

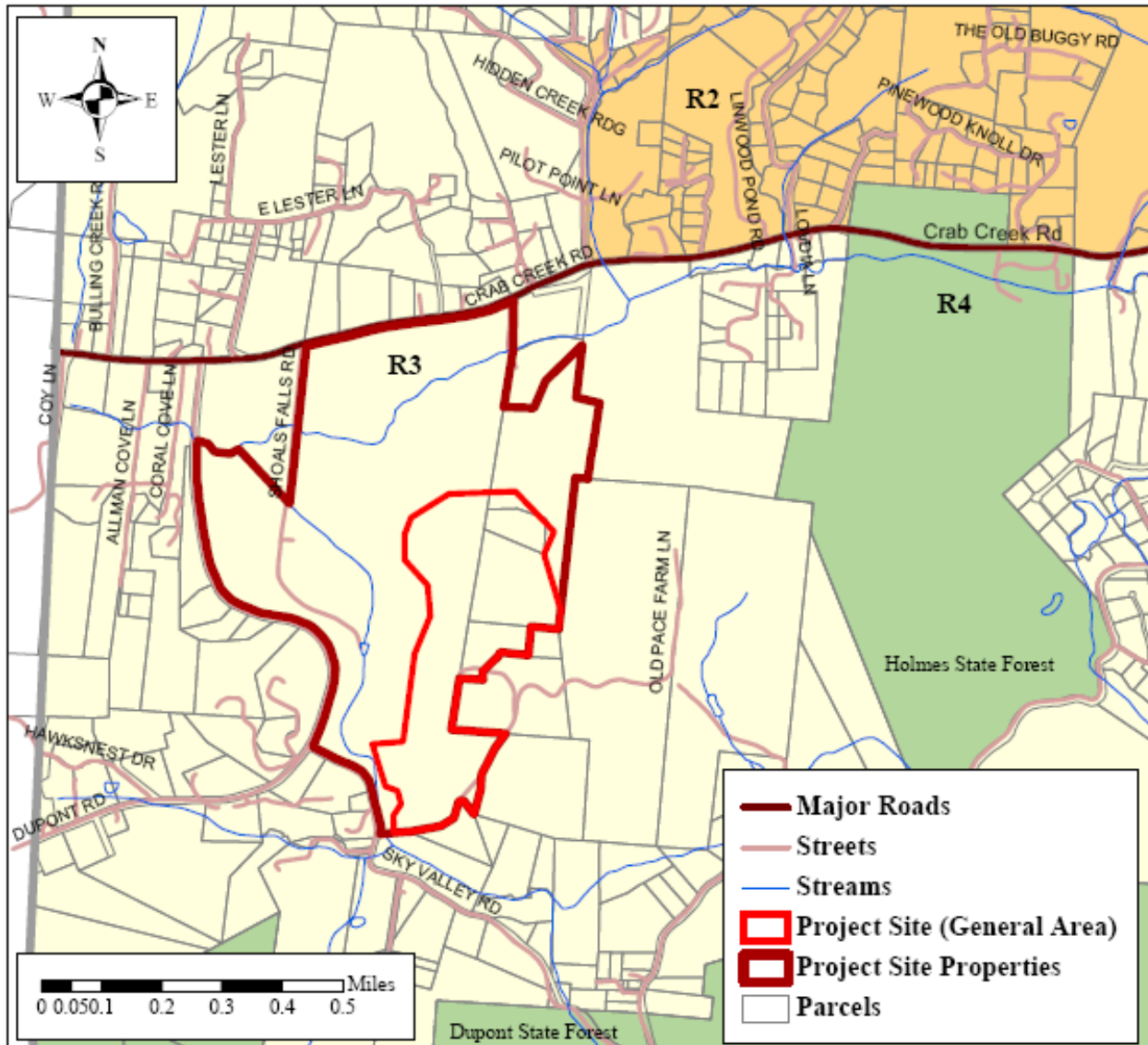
Map C: Percent Slopes Map



- **Rural Agricultural Area.** The Rural Agricultural Area (RAA) designation of the Growth Management Strategy is applied to the project site. The RAA is intended to remain predominantly rural with a density of 1 unit per each five (5) or more acres (average lot sizes of five (5) or more acres). According to the plan, the project would have an average density of 0.24 units per acre (average lot size of 4.20 acres). The proposed densities are higher and the lot sizes are reduced from those recommended by the CCP. The CCP states that regulations should encourage “densities that are consistent with steep slopes, poor septic capacities, and sensitive topography.”

2. **Chapter 200A, Land Development Code.** According to Chapter 200A, Land Development Code and its Official Zoning Map adopted September 19, 2007, the proposed project site is within Residential Zoning District Three (R3) (See Map D: Chapter 200A, Official Zoning Map).

Map D: Chapter 200A, Official Zoning Map



Were the application received after the adoption and implementation of Chapter 200A, the following zoning requirements would have been in effect:

- Residential District Three (R3) allows for a density of one (1) unit per each one-and-one-half (1.5) acres (average lot size of one-and-one half (1.5) acres) for single-family residential development for those areas with slopes less than 60 percent. (The project site contains approximately 48.8 acres of land with slopes less than 60 percent). The project site would be allowed 32.20 units (48.8 acres x 0.66 units per acre) in areas not classified as steep slope areas.

- R3 allows for a density of one (1) unit per each three (3) acres (average lot size of three (3) acres) for single-family residential development for those areas with slopes of 60 percent or greater. The project site contains approximately ten (10) acres of land with slopes of 60 percent or greater. The project site would be allowed 3.3 units (10 acres x 0.33 units per acre) in the steep slope areas.
- A total of 35 units would be allowed by the LDC.

The proposed density is in keeping with the LDC, being that the proposed development is less dense than the LDC would allow. The applicants would not have been required to submit a Traffic Impact Study or Emergency Service Impact Report due to the size and intended use of the development. The Planning Board evaluates the application under Chapter 170, Subdivision Ordinance based on the submittal date of the application prior to adoption and implementation of Chapter 200A, Land Development Code.

Development Plan Comments:

1. **Sedimentation and Erosion Control Plan.** The Applicant has submitted notice from NCDENR that a soil erosion and sedimentation control plan has been received and approved (HCSO §170-19).
2. **Private Roads.** Because private roads are proposed, the final plat(s) must contain a note stating: *The private roads indicated on this final plat may not meet the requirements of the North Carolina Department of Transportation for acceptance into the state road system* (HCSO §170-21B and Appendix 7).
3. **Private Road Standards.** The Applicant has provided a cross section for the proposed roads (Ridge Pines Road and Valley Oaks Road). This cross section indicates that these are to be “local roads.” All subdivision roads must be designed and constructed to the minimum standards of HCSO §170-21 (Table 1).
4. **Road Grade.** The Applicant has proposed private paved roads for the subdivision. The maximum road grade for local roads constructed of pavement is 18 percent. The applicant is proposing a road that appears to approach grades of 18 percent. A professional engineer or professional land surveyor must certify on the Final Plat that no portion of the road has a grade that exceeds 18 percent or submit a final as-built graded center line profile showing grade and alignment of the road (HCSO §§170-13A[5], 170-21 Table 1 and 170-21E). The Planning Board should, as a condition of approval, also require that the applicant submit a copy of an as-built drawing of the road, showing grades, with certification from a registered professional engineer that the road grades meet the standards required in this subsection prior to final plat approval or release of any improvement guarantee.
5. **Road Intersections.** Design and subsequent construction of private roads shall be reviewed by the Planning Board based on the standards and requirements of NCDOT (HCSO §170-21(C)4). According to “Subdivision Roads Minimum Construction Standards” the most desirable intersections are those with angles of 75 to 90 degrees but that intersections with angles from 60 to 75 degrees are acceptable under extreme conditions. The applicant appears to be proposing intersections which meet the “Subdivision Roads Minimum Construction Standards”.

6. **Turnarounds.** The Planning Board may require the installation of a partial turnaround along any road that exceeds 2,500 feet in length (HCSO §170-21H). The applicant is proposing a road (Ridge Pines Road) which exceeds 2,500 feet in length (3,587 feet in length total). The applicant is proposing a partial turnaround at Lot 13. A cross-section for the turnaround is proposed which appears to meet the requirements of Chapter 170.
7. **Stub Roads.** The applicant is proposing a stub road (Valley Oaks Road) to serve as a potential future connection to an adjacent parcel of land which may be further subdivided by a property owner (not as a part of the Old Pace major subdivision). According to the HCSO §170-21H, “stub roads shall be designed in locations which will permit the future extensions of subdivision roads.”
8. **Bridges.** The applicant is proposing a bridge on Ridge Pines Road, over the unnamed tributary to Shoal Creek. The applicant has submitted bridge plans showing certification from a registered professional engineer indicating that the bridge plans meet state road standards for public road bridges for drainage, hydraulics, minimum live load and vertical clearance. The travelway width across the bridge is proposed to be 18 feet. According to HCSO §170-21I(2) the applicant must submit a copy of an as-built drawing of the bridge with certification from a registered professional engineer that the bridge meets the standards required in this subsection prior to final plat approval or release of any improvement guarantee.
9. **Drainage.** All road or drainage structures shall be constructed in accordance with state roads standards. Road drainage side ditches shall be constructed with sufficient depth and width to carry the expected volume of storm water runoff (HCSO § 170-21D). Drainage easements do not appear to be required as the drainageways appear to be within the right-of-way of the road or within open space (HCSO §170-29(C)).
10. **Site Stabilization.** All areas disturbed by the construction of a private road, including cut and fill slopes, shoulders and ditch banks, must be seeded in permanent vegetation to stabilize the soil and prevent erosion. Such seeding should be done as soon as feasible following road construction (HCSO §§170-13A[7] and 170-22).
11. **Existing Off-Site Access.** Any tract of land to be subdivided must have frontage on an existing public (state-maintained) road or a private right-of-way to the public road (HCSO §170-28). The project site is proposed to be accessed by Old Pace Farm Lane (existing right-of-way width undetermined) located off of Sky Valley Road (SR 1260).

The project parcels abut Old Pace Farm Lane which has a right-of-way that does not meet the minimum width requirements of Chapter 170. According to Chapter 170, the applicant shall be required to provide additional right-of-way to conform to the standards to the maximum extent possible. The applicant is proposing, and is required, to provide up to one-half (½) of the required right-of-way measured from the centerline of the existing right-of-way (required right-of-way of 45 feet with one-half (½) of that right-of-way being 22.5 feet). As a condition of approval the applicant is required to provide the 22.5 feet of right-of-way for all portions of the project which abut one side of Old Pace Farm Lane, and 45 foot right-of-way for all portions of the project which are located on both sides of Old Pace Farm Lane.

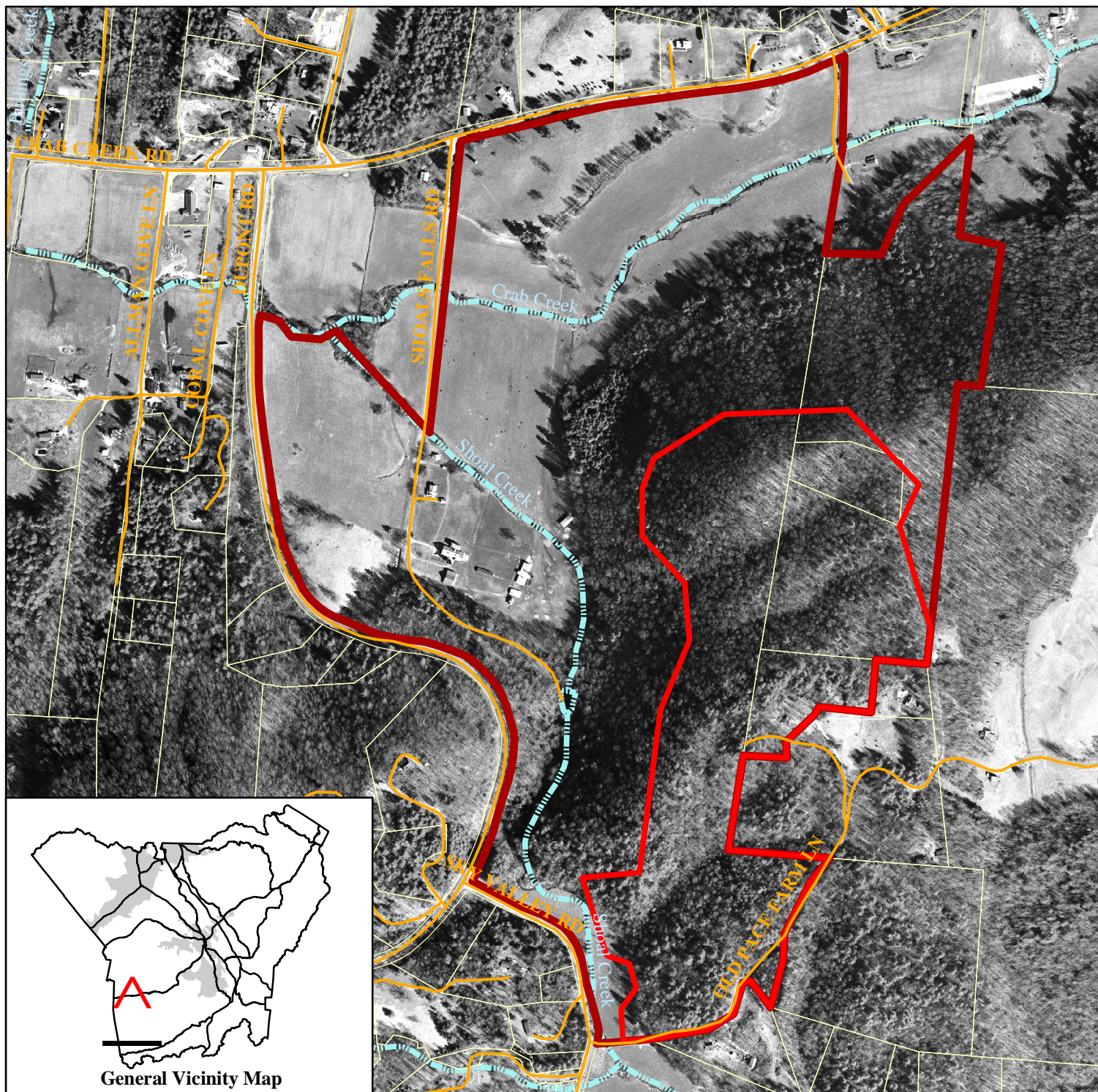
Old Pace Farm Lane is one (1) lane (10 to 11 feet in width), is not constructed of adequate gravel/asphalt; and lacks shoulders, ditches and turnarounds (See Attachment

- 3). As a condition of approval the applicant should be required to upgrade Old Pace Farm Lane, on the portion of the road owned by the applicant, to meet the minimum standards for private local residential subdivision roads. The Planning Board should, as a condition of approval, require that the applicant submit a revised Combined Master and Development Plan to Staff showing the appropriate cross section for Old Pace Farm Lane (private local residential subdivision roads).
12. **Fire Suppression.** According to HCSO §170-20C, for any major subdivision without a fire suppression rated water system, that either has or is adjacent to an adequate permanent surface water supply, the applicant may be required to install a dry fire hydrant system, the type and location of which is to be determined by the County Fire Marshal (See Attachments 6 and 7 - Review Agency Response Form from Fire Marshal's Office and from Valley Hill Fire and Rescue). As a condition of approval the applicant should provide documentation from the Fire Marshal's Office that an adequate permanent surface water supply is or is not available. If an adequate supply is available, a road to the water source providing permanent all-weather access to the water source that is adequate for fire-fighting equipment shall be required.
13. **Subdivision Name Signs.** All major subdivisions may provide for, at the primary entrance, subdivision name signs to conform with Chapter 200A, Article VII (Sign Regulations), sign standards. The signs should be located in dedicated sign easements to be shown on the final plat (HCSO §170-24). The applicant is proposing one (1) sign for the subdivision which is located within a sign easement.
14. **Final Plat Requirements.** The Final Plat(s) must meet the requirements of Appendix 7 of the Subdivision Ordinance.

Review Agency Comments:

1. **Comments from North Carolina Department of Transportation.** Josh Lanning, Assistant District Engineer with NCDOT submitted comments regarding the project (See Attachment 4). Mr. Lanning's comments reflect the need for obtaining street and driveway access permits prior to connecting any roads or drives to an NCDOT maintained road (Sky Valley Road (SR 1260)).
2. **Comments from Property Addressing.** Curtis Griffin of the Henderson County Property Addressing Office submitted comments regarding the project (See Attachment 5). Mr. Griffin's comments reflect that the proposed road names are acceptable.
3. **Comments from the Fire Marshal.** Rocky Hyder of the Henderson County Fire Marshal's Office submitted comments regarding the project (See Attachment 6). Mr. Hyder's comments are related to the need for a static water supply, bridge construction standards, and the requirements of the entry gate ordinance.
4. **Comments from Valley Hill Fire.** Tim Garren of Valley Hill Fire and Rescue submitted comments regarding the project (See Attachment 7). Mr. Garren's comments are related to the establishment of a static water supply
5. **Comments from the Floodplain Administrator/Watershed Administrator/Erosion Control Chief.** Natalie Berry, Floodplain Administrator, Watershed Administrator and Erosion Control Chief of the Building Services Department Erosion Control Division

submitted comments regarding the project (See Attachment 8). Ms. Berry's comments reflect the need to obtain an erosion and sedimentation control permit from either Henderson County or NCDENR. (The applicant has obtained said permit from NCDENR).



Old Pace

DEVELOPER & OWNER: Old Pace Investors, LLC

AGENT: Melrose Design Group, P.A.

CHAPTER 200 ZONING: OU

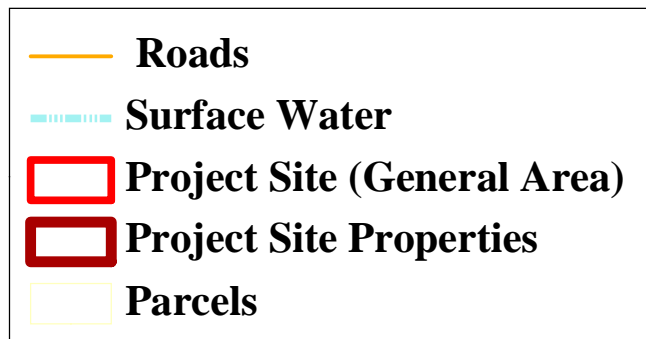
CHAPTER 200A ZONING: R3

WATERSHED: None

WATER SYSTEM: Private Individual Wells

SEWER SYSTEM: Private Individual Septic

ROAD SYSTEM: Private





1. View of the intersection of Old Pace Farm Lane and Sky Valley Road (SR 1260) looking north onto the remainder tracts adjacent to the Project Site.



2. View of a portion of Old Pace Farm Lane, which is adjacent to, and partially located on the Project Site and remainder tracts. Old Pace Farm Lane is one (1) lane (10 to 11 feet in width), is not constructed of adequate gravel/asphalt; and lacks shoulders, ditches and turnarounds.



3. View of the Project Site, looking north from Old Pace Farm Lane. The entrance to the project appears to be in this vicinity.



4. View of the culvert along Old Pace Farm Lane.

HENDERSON COUNTY
DEPARTMENT AND AGENCY
SUBDIVISION REVIEW RESPONSE FORM

This office has reviewed the plans for the proposed subdivision named **Old Pace Subdivision** and offer the following comments:

1. The developer must apply for and obtain a Street and Driveway Access Permit from the District Engineer's office prior to connecting any roads or drives to a NC DOT maintained road. **This will include the existing connection known as Old Pace Farm Lane, as the property use will be changed.**
2. If at anytime in the future the developer plans to have the roads within the subdivision added to the State maintained system all roads within the sub-division must be listed as public when filed at the Register of Deeds Office.

Reviewed by: Josh Lanning
Please return this form to:

Agency: NCDOT

Date: 09-26-07

Matt Cable
Henderson County Planning Department
101 E. Allen Street
Hendersonville, NC 28792

File No. 2007-M33

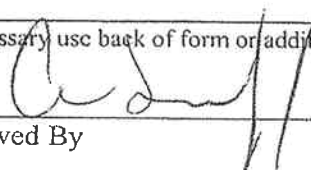
HENDERSON COUNTY PLANNING DEPARTMENT REVIEW AGENCY RESPONSE FORM

I have reviewed the plan(s) for subdivision application #2007-M33 (Old Pace) and offer the following comments:

Ridge Pines is ok as name, Not
Sure Valley Oaks is needed unless another
phase is planned

(If necessary use back of form or additional sheets for comments)

Reviewed By



Agency

Prop Add

Date

10-4-07

Please Return to:

Matthew Cable, Planner
Henderson County Planning Department
213 1st Avenue East
Hendersonville, NC 28792
mcable@hendersoncountync.org

File No. 2007-M33

HENDERSON COUNTY PLANNING DEPARTMENT REVIEW AGENCY RESPONSE FORM

I have reviewed the plan(s) for subdivision application #2007-M33 (Old Pace) and offer the following comments:

Water Supply – A static water supply (e.g. dry hydrant) should be established on Shoal Creek or the unnamed tributary for fire suppression purposes.

Bridges – Bridges must be constructed to support 35,000 pounds per axle for fire apparatus.

Entry Gates – (If provided) Should comply with the Henderson County Entry Gate Ordinance.

<u>Rocky Hyder</u>	Emergency Services	10/01/07
Reviewed By	Agency	Date

Please return to: Matt Cable, Planner
Henderson County Planning Department
213 First Avenue East
Hendersonville, NC 28792
mcable@hendersoncountync.org

File No. 2007- M33

Matt Cable

From: Battalion Chief Garren [timgarren@valleyhillfire.com]
Sent: Monday, October 01, 2007 10:00 AM
To: Matt Cable
Cc: Rocky Hyder
Subject: COMMENTS ON 2007-M33 (OLD PACE)

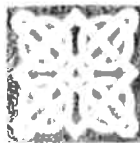
Matt,

If there is or going to be a pond on site of this location we would like an opportunity to install a water source for fire protection. If you have any questions please feel free to email or call me.

Thanks for you consideration in this matter.

Sincerely,
Tim Garren
Battalion Chief
Valley Hill Fire & Rescue
www.ValleyHillFire.com

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<?xml version="1.0" encoding="UTF-8" ?>
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  <TextField1>Comments: Henderson County Flood Damage Prevention Ordinance comments: The portion of the property being developed does not appear to be in a regulated special flood hazard area. No comments. Henderson County Erosion and Sedimentation control Ordinance comments: If the Erosion and Sedimentation control plan has not been submitted to Environmental and Natural Resources Land Resource division for approval prior to October 1, 2007. Submittal will be required through the Henderson County offices. The offices are located in the basement of the Building Permit Center located at 240 Second Avenue East. Rooms B15 - B19. (follow the signs in the hallways) Fees and forms can be viewed at our website address http://www.hendersoncountync.org/ces/Erosioncontrol/ErosionControlindex.htm Henderson County Water Supply Watershed Ordinance comments: Does not appear to be located in a designated Water Supply Watershed Classified Area.</TextField1>
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  <TextField2>HC Erosion Control Division Chief</TextField2>
  <TextField2>33</TextField2>
  <DropDownList1>Matt Card</DropDownList1>
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MELROSE DESIGN GROUP, PA

LANDSCAPE ARCHITECTURE • LAND PLANNING • ENVIRONMENTAL DESIGN

Mr. Matt Card
Henderson County Planning Department
101 East Allen Street
Hendersonville, North Carolina 28792

August 21, 2007

Dear Mr. Card,

On behalf of Old Pace Investors, LLC, I am pleased to submit the attached application for proposed subdivision, Old Pace, located in west Henderson County off Sky Valley Road in Little River, North Carolina.

Currently in the included development area, there are several parcel owners. Attached are Subdivision of Land Appointment of Agent Forms for each owner. We will provide a recombination plat at least one week prior to the Planning Board Meeting for your use.

The Erosion and Sedimentation Control Plans have been submitted the NCDENR and are currently under review. The Old Pace reference number is 2008-015.

Thank you for your time and attention to this project. Please feel free to contact me with any questions.

Sincerely,


Matt Fusco

Cc: John Witherspoon- Old Pace Investors, LLC
MDG file

APPENDIX 1

HENDERSON COUNTY
SUBDIVISION APPLICATION FORM

Date of Application _____ Subdivision Name OLD PACE Application Number _____

Major Subdivision Minor Subdivision Other

Property Owners Name: OLD PACE INVESTORS, LLC

Address: 21 WEST MAIN STREET

City, State, Zip: BREVARD NC 28712

Owner's Agent: MATT FUSCO, MELROSE DESIGN GROUP

Telephone No: (828) 684-5155

PIN -see attached- Deed Book/Page -see attached-

Zoning District OU Fire District Valley Hill Dist. 2 Watershed N/A

Location of property to be divided: WEST HENDERSON COUNTY ON OLD PACE FARM LANE OFF SKY VALLEY IN LITTLE RIVER

Type of Subdivision: Residential () Commercial () Industrial Present Use UNDEVELOPED PARTIALLY WOODED

No. Lots Created 14 Original Tract Size 60.45 New Tract Size N/A No. New Lots N/A

Road System: () Public Private () Combination Public and Private

Water System: Individual () Community () Municipal

Sewer System: Individual () Community () Municipal

Cemetery on Property: () Yes No

Fee: \$ 500.00 Paid 500.00 Method check # 1609

I certify that the information shown above is true and accurate and is in conformance with the Henderson County Subdivision Ordinance.

[Signature]
APPLICANT (OWNER OR AGENT)

8/21/07
DATE

Development Plan Approval / Conditions _____

Final Plat Approval: _____ Plat Recorded _____

CURRENT PARCEL OWNERS INCLUDED IN DEVELOPMENT

1. Bearpen, LLC
PIN: 9525-69-5187
DB 1266, Page 515
Plat Slide 5904
2. Bearpen, LLC
PIN: 9525-78-6342
DB 1296, Page 274
Plat Slide 1597
3. Gary A. & Ann S. Robison
A portion of PIN: 9525-89-1841
DB 894, Page 409
4. Channing M. & Elaine F. Hubbard
PIN: 9525-79-9352
DB 896, Page 834
Plat Slide 2154

SUBDIVISION OF LAND

170 Attachment 2

Appendix 2
Henderson County
Appointment of Agent Form
(Optional)

Gary A. Robison and wife
I, Ann S. Robison owner of property located on Old Pace Farm Lane
(name) recorded in 894 / 409 and 820 / 253 (street name) 9525-89-1841 and
(deed book / page) and having a parcel identification number (PIN) of 9525-88-8169

located in Henderson County, North Carolina, do hereby appoint Matt Fusco
(agent's name)

to represent me in an application for subdivision of land and authorize him/her to act as my agent in all matters, formal and informal, except as stated herein, and authorize him/her to receive all official correspondence. I however understand that as the listed property owner, I must sign all affidavits and statements required by this Ordinance.

SAHem
Property Owner

17 Aug 07
Date

SUBDIVISION OF LAND

170 Attachment 2

Appendix 2
Henderson County
Appointment of Agent Form
(Optional)

I Channing and Elaine Hubbard owner of property located on Old Pace Farm Lane
(name) (street name)
recorded in 896/834 and having a parcel identification number (PIN) of 9525-79-9352
(deed book / page)
located in Henderson County, North Carolina, do hereby appoint Matt Fusco
(agent's name)
to represent me in an application for subdivision of land and authorize him/her to act as my
agent in all matters, formal and informal, except as stated herein, and authorize him/her to
receive all official correspondence. I however understand that as the listed property owner, I
must sign all affidavits and statements required by this Ordinance.

Channing and Elaine Hubbard / 8/20/07
Property Owner Date
Elaine F. Hubbard

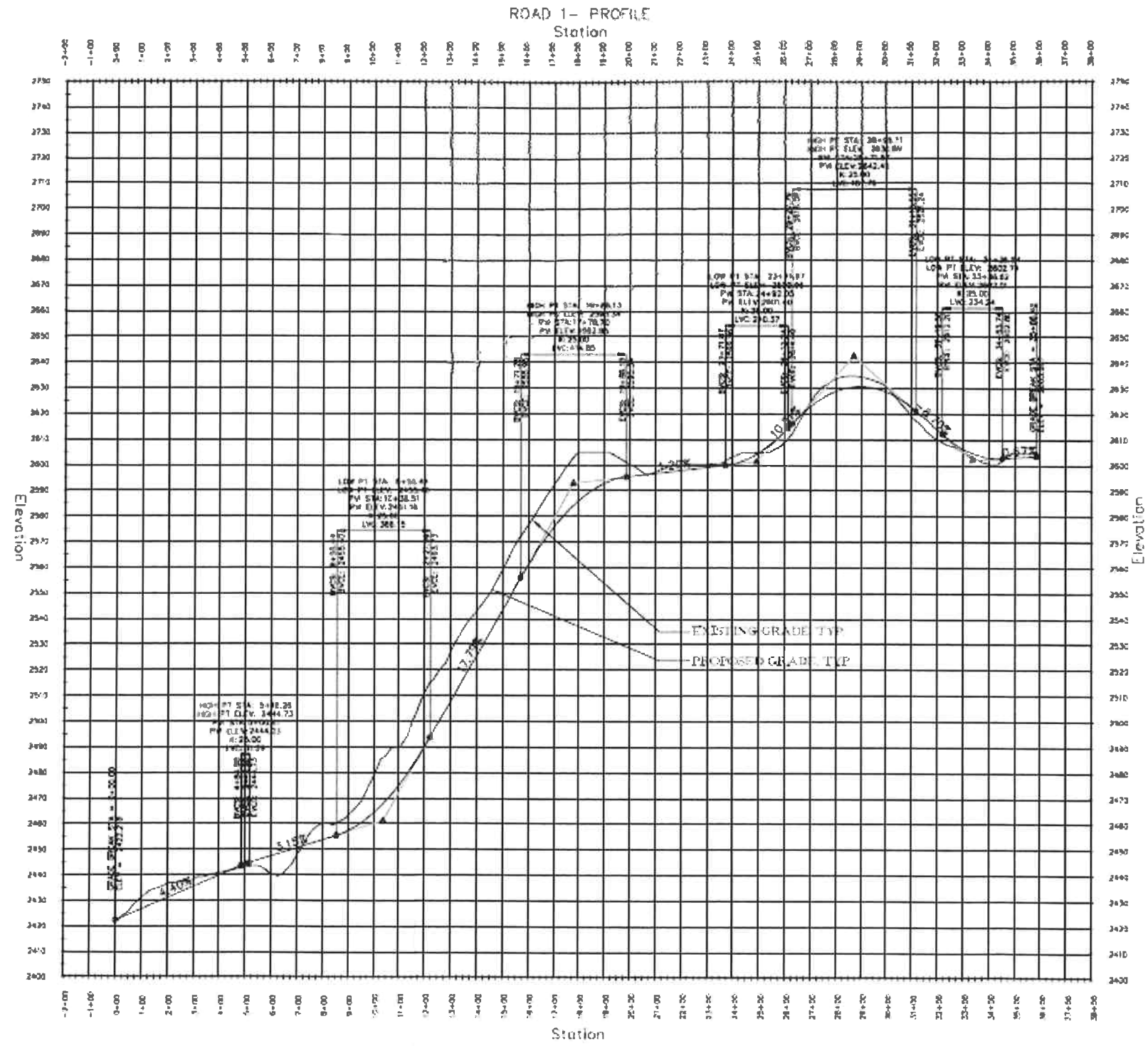
SUBDIVISION OF LAND

170 Attachment 2

Appendix 2
Henderson County
Appointment of Agent Form
(Optional)

I Bearpen, LLC owner of property located on Sky Valley Rd and Old Pace Farm
(name) 1266/515 and (street name) 9525-69-5187 an
recorded in 1296/274 and having a parcel identification number (PIN) of 9525-78-6342 an
(deed book/page)
located in Henderson County, North Carolina, do hereby appoint Matt Fusco
(agent's name)
to represent me in an application for subdivision of land and authorize him/her to act as my
agent in all matters, formal and informal, except as stated herein, and authorize him/her to
receive all official correspondence. I however understand that as the listed property owner, I
must sign all affidavits and statements required by this Ordinance.

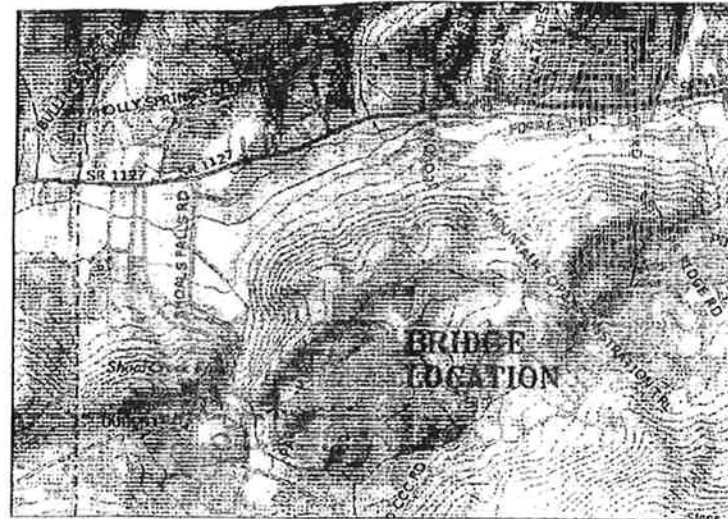
John Witherspoon _____ Date 8.20.07
Property Owner
John Witherspoon for Bearpen, LLC





SHOAL FALLS FARM
HENDERSON COUNTY

BRIDGE OVER UNNAMED TRIBUTARY
TO SHOAL CREEK



LOCATION MAP
NOT TO SCALE

THIS DRAWING IS THE PROPERTY OF ROBERT S. WHITAKER, P.E. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT HIS WRITTEN CONSENT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN AND IS NOT TO BE USED ON ANY OTHER PROJECT.

NOTE:
11"x17" DRAWINGS HAVE BEEN REDUCED FROM 24"x36" DRAWINGS
USE BAR SCALES ON EACH DRAWING TO SCALE DIMENSIONS

TOXAWAY GRADING CO., INC.
P.O. Box 280
Sapphire, NC 28774
(828) 966-4609

DESIGN CERTIFICATION

Hydraulics: This bridge is designed to pass a 25 year storm flow with a minimum of one foot of freeboard under the lowest member of the bridge.

Structural: This bridge is designed to support a live load of HS-20 highway rating.

Design Engineer: *Robert S. Whitaker*
Robert S. Whitaker, P.E.

NC Registration No.: 9229 8-17-07

Seal:

AS-BUILT CERTIFICATION

Based upon periodic observations during construction, to the best of my knowledge and belief, this bridge has been constructed in accordance with the design shown on these drawings and does comply with NCDOT minimum construction criteria for subdivision roads for drainage, hydraulics, minimum live load and vertical clearance. The travel width across this bridge is not less than the travel width of the road on either side of the bridge.

Civil Engineer: Richard A. Lenderman, P.E.

NC Registration No.: 14619

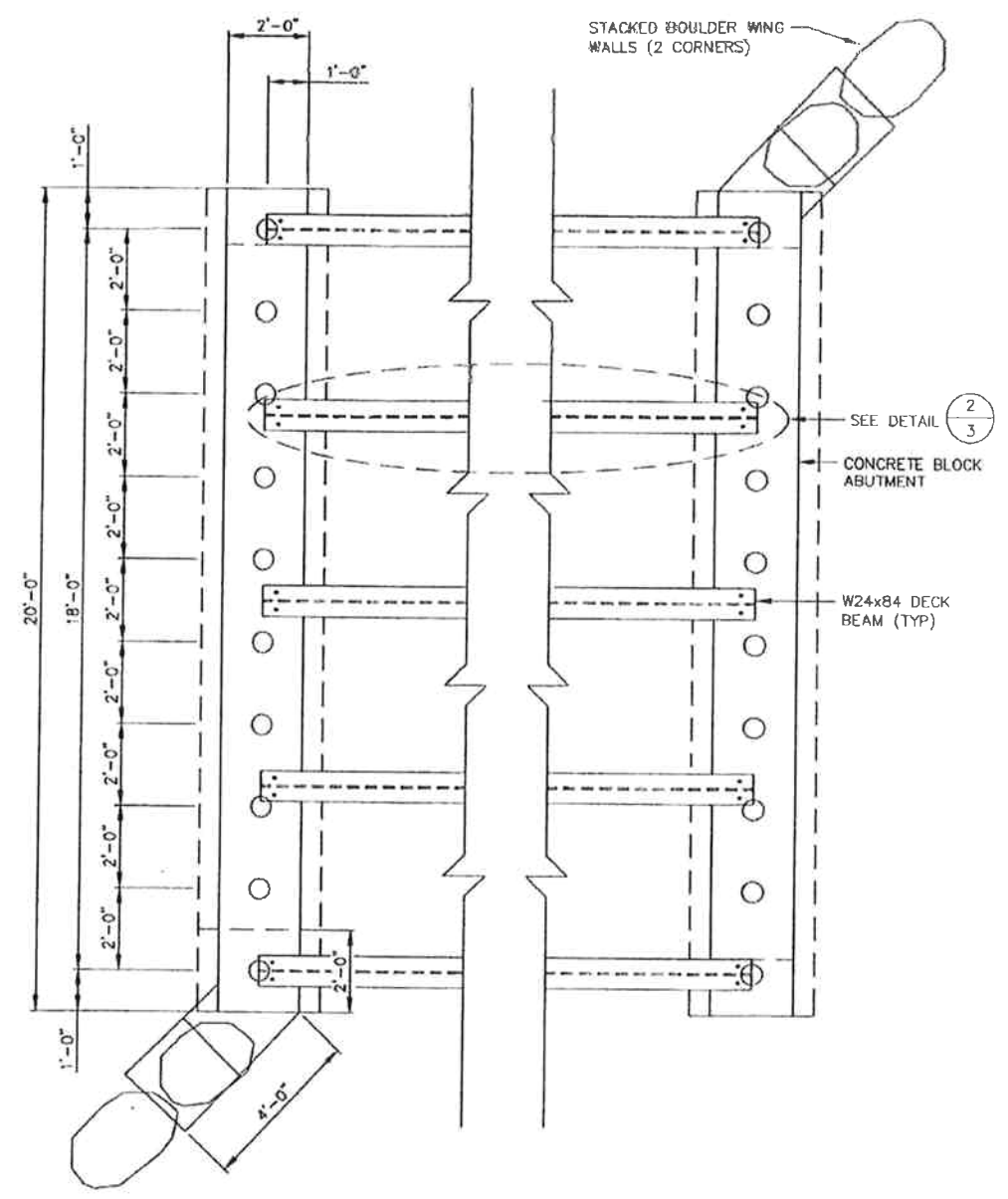
Seal:

Index

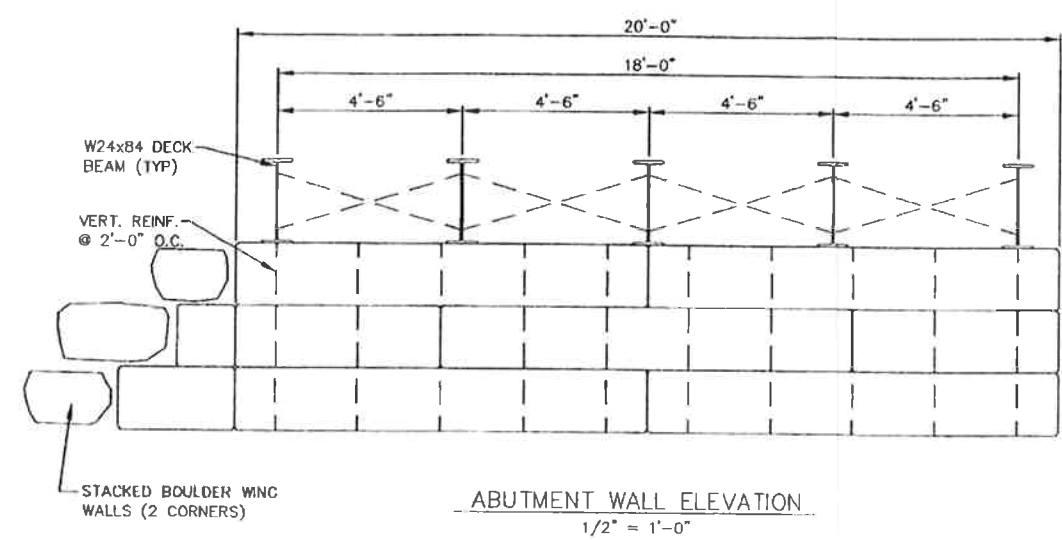
Sheet Title	Sheet No.
COVER SHEET -----	1
BRIDGE PLAN, SECTIONS & DETAILS -----	2
BRIDGE DETAILS -----	3
BRIDGE ELEVATION, DETAILS & SPECIFICATIONS -----	4

ROBERT S. WHITAKER, PE
336 Matchlock Commons
Spartanburg, SC 29302
(864) 583-5738

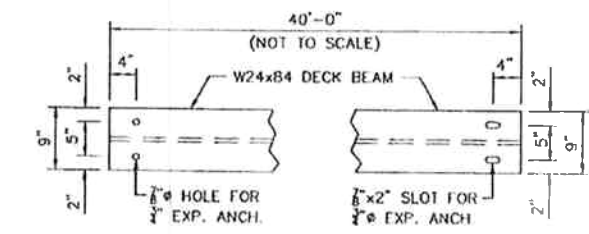
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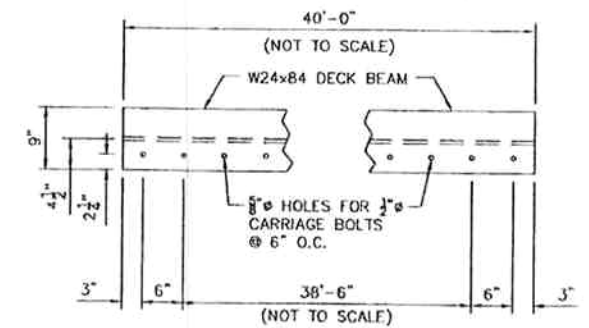
DETAIL 1
1/2" = 1'-0"



ABUTMENT WALL ELEVATION
1/2" = 1'-0"

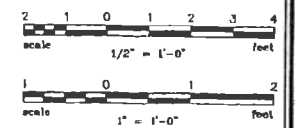


DECK BEAM BOTTOM FLANGE
(NOT TO SCALE)



DECK BEAM TOP FLANGE
(NOT TO SCALE)

DETAIL 2
1" = 1'-0"



REVISIONS	NO.	DESCRIPTION	DATE	BY

APPROVALS	PROJECT	DATE	BY



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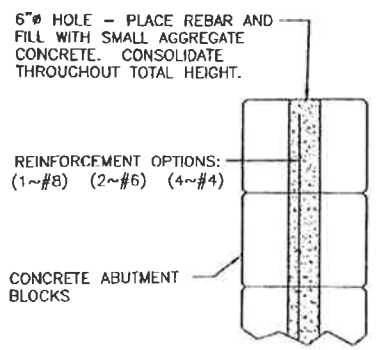
ROBERT S. WHITAKER, P.E.
336 Matchlock Commons
Spartanburg, South Carolina
Phone/Fax (864) 583-5738

TOXAWAY GRADING CO., INC.
SHOAL FALLS FARM
BRIDGE PLANS

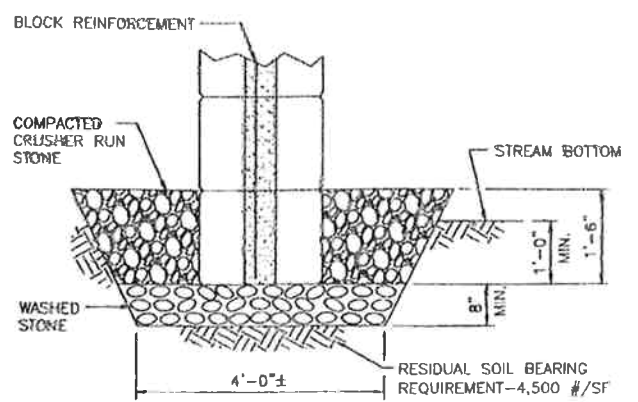
BRIDGE DETAILS

DATE	SHEET
REF.	3
NO. OF	4
PROJECT NO.	
FILE NO.	07082-03

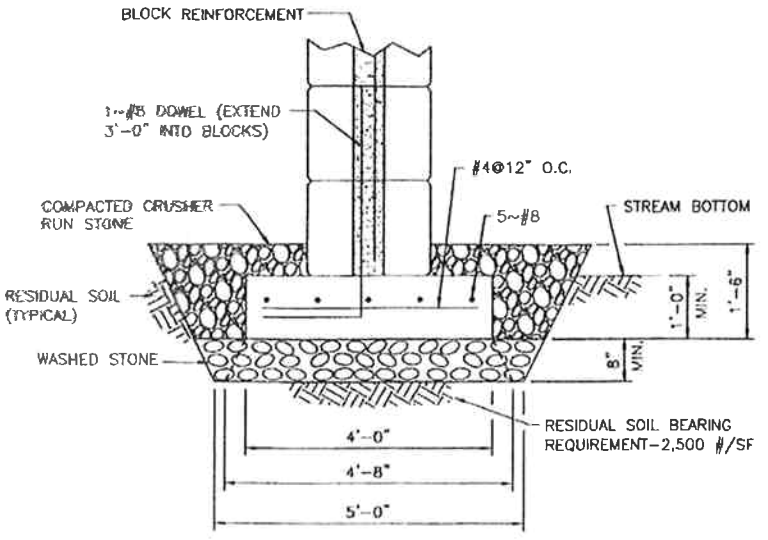
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BLOCK VERTICAL REINFORCEMENT



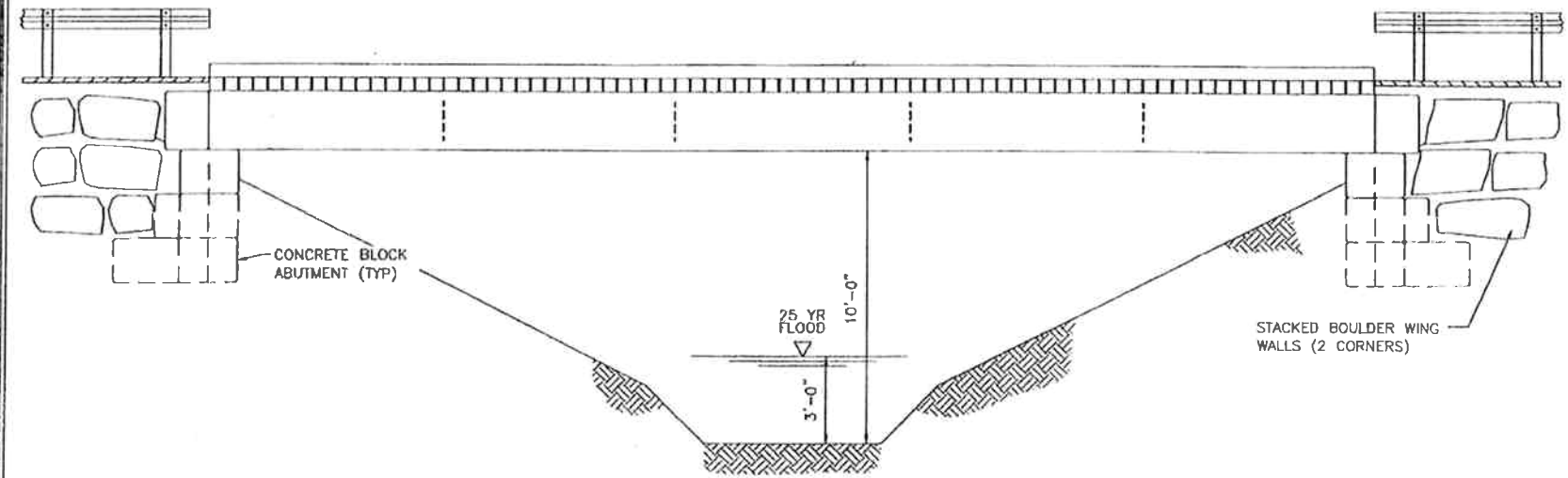
ABUTMENT BEARING W/O FOOTING



ABUTMENT BEARING WITH FOOTING

ABUTMENT DETAILS

3/4" = 1'-0"



BRIDGE ELEVATION

3/8" = 1'-0"

SPECIFICATIONS

1. Concrete Abutment Blocks
 - A. Concrete blocks shall be made from plant mix, Type 2 concrete with minimum compressive strength of 3,000 psi after 28 days of curing time.
 - B. Minimum weight of cured concrete shall be 140 pounds per cubic foot.
 - C. 6-inch holes shall be cast into each block, maximum spacing of 24 inches. Holes are to be aligned and used to place and grout vertical reinforcement through the entire height of the abutment blocks.
 - D. Blocks are to be stacked with alternate vertical joints.
2. Vertical Reinforcement
 - A. Vertical reinforcement shall be ASTM 305, A615 grade 60, having a minimum yield strength of 24,000 psi.
3. Structural Steel
 - A. Steel deck beams shall be ASTM A36 with a minimum yield strength of 36,000 psi.
 - B. Steel shapes shall be standard dimension in accordance with AISC.
 - C. Lateral bracing of deck beams shall be A36 steel plate, 3/8 inch minimum thickness.
 - D. All steel shall be shop primed with 4-mils dry thickness of paint.
 - E. Deck beams shall be anchored to the concrete abutment with hot dipped galvanized expansion anchors, A307 or greater.
 - F. Wood deck shall be bolted to the steel deck beams with hot dipped galvanized carriage bolts, A307 or greater.
 - G. Corrosion allowance for all structural steel shall be not greater than 1/16 inch.
4. Wood
 - A. Wood bridge deck shall be southern yellow pine (SYP) No. 2 or better with a minimum yield strength of 1,350 psi.
 - B. Loading factor shall be 1.25.
 - C. All wood shall be treated against rot and deterioration using 0.4 pounds per cubic foot of standard grade preservative.
 - D. A minimum gap of 1/2 inch shall be maintained between each piece of deck wood for the purpose of reducing the potential for rot and decay.
 - E. Curb wood shall be fastened to the deck wood by hot dipped galvanized bolts.
 - F. Wood bridge deck shall be continuous 20-foot in length bolted to each steel deck beam or staggered lengths properly bolted at each end to the steel beams and at each intermediate deck beam.
5. Construction
 - A. The concrete bridge abutment blocks shall be erected plumb and square. Foundation bearing shall be 18-inches below the bottom of the stream bed and shall be solid residual soil or rock. Piles and spread footings shall be used when lower strength soils are encountered.
 - B. All abutment blocks shall be vertically reinforced with rebar grouted fast into the 6-inch holes cast into the blocks. Tie back blocks shall be used on tall walls and when noted on the drawings.
 - C. All steel deck beams shall be installed plumb and square to the abutment walls unless noted otherwise on the drawings.
 - (1) Deck beams shall be bolted fast to the abutment wall on one end and loose bolted in a slot on the opposite end to allow for expansion and contraction of the steel beams with changes in temperature. DO NOT tack weld any nuts and washers to the bolts to keep the nuts from backing off the bolts.
 - D. All deck wood shall be installed plumb and square to the deck beams unless noted otherwise on the drawings. Pilot holes are required for all bolts. All bolts used to anchor the wood shall be tightened fast.
 - E. All welds for connection of lateral bracing shall be minimum 1/4-inch continuous fillet weld and coated with a minimum of 6-mils of paint to keep the welds from rusting.
6. Maintenance Recommendations
 - A. Bridge abutments are to be inspected annually for scour and undermining of the abutment bearing. In addition, an inspection shall be made after any heavy rain or flood event in which the water elevation becomes high enough to have reached the face of the abutment walls and has the potential to scour the stream bank. In the event of scour, traffic on the bridge must be limited or prohibited until proper bearing has been established under the abutments and additional protection against scour has been completed.

NO.	REVISIONS	DESCRIPTION	DATE	BY

APPROVALS	PROJECT ENG.	DATE	BY

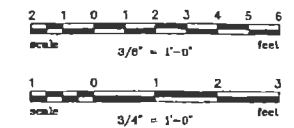


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TOXAWAY GRADING CO., INC.
SHOAL FALLS FARM
BRIDGE PLANS

BRIDGE ELEVATION
DETAILS AND
SPECIFICATIONS



DATE	SHEET
NO.	4
NO. OF	4
PROJECT NO.	
FILE NO.	07082-04

LINE	BEARING	DISTANCE
11	N 12°33'00"W	33.74
12	S 2°53'12"E	31.63
13	S 51°05'41"W	38.76
14	S 68°27'34"E	50.01
15	S 69°50'00"E	30.46
16	S 32°50'02"W	50.42
17	S 22°41'27"W	109.30
18	S 27°14'05"W	67.14
19	S 65°06'41"W	102.92
20	S 00°22'22"E	30.16
21	S 102°50'07"W	92.34
22	S 1°23'41"E	51.52
23	S 1°23'41"E	11.46
24	S 34°13'24"W	11.46
25	S 25°26'07"W	11.55
26	N 61°55'52"W	15.94
27	N 64°46'00"W	14.62
28	N 31°12'43"W	60.24
29	N 51°24'27"W	60.52
30	S 30°59'00"W	47.04
31	S 12°03'40"W	30.17
32	S 69°15'37"W	33.56
33	S 20°48'40"W	30.62
34	S 30°54'10"W	48.39
35	S 42°50'07"W	30.47
36	S 61°20'36"W	30.61
37	S 72°34'47"W	47.44
38	S 76°32'00"W	47.44
39	S 65°30'49"W	35.76
40	S 65°14'34"W	27.21
41	S 73°02'51"W	42.28
42	S 72°19'17"W	34.35

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	222.50	172.50	N 00°00'24"E	171.06
C2	127.50	94.17	N 01°56'20"W	92.24
C3	172.50	10.13	N 17°52'03"W	36.00

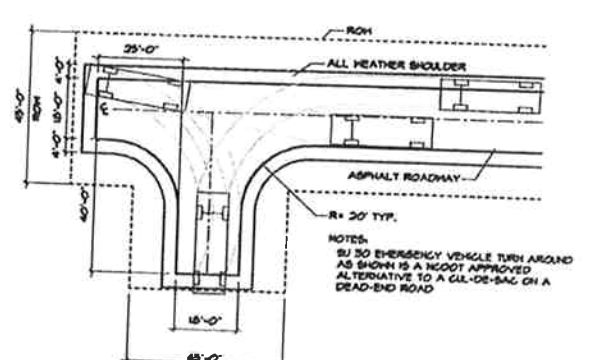
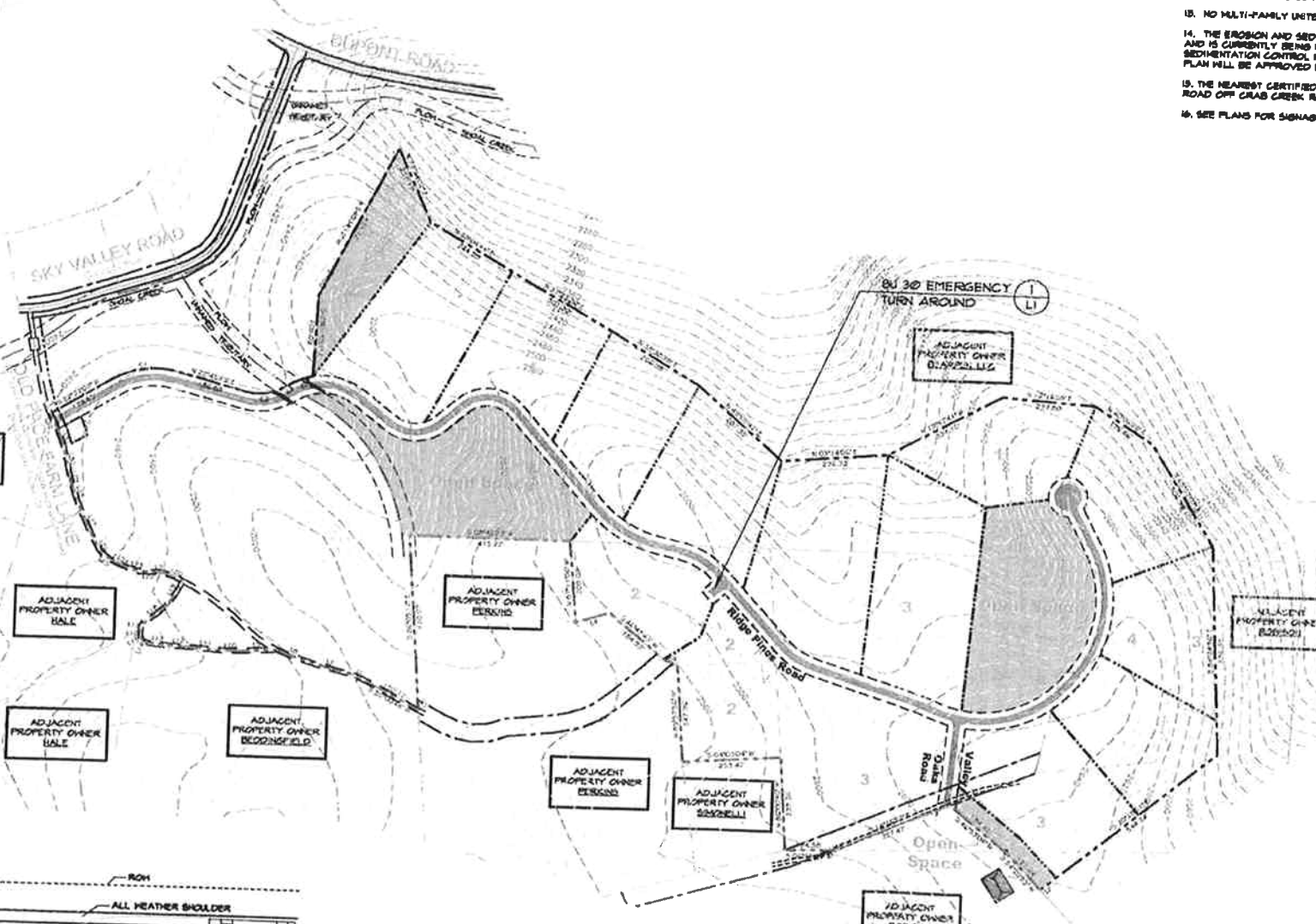
PROJECT SUMMARY

Total Project Acreage 58.80 Acres
Total Single-Family Lots 14 Lots
Proposed Average Density 4.20 Acrea/Unit
Length of Proposed Roads 3,816 LF of Private Residential Local
Setback/Minimum Buffer from Perennial Streams 30' from Top of Bank

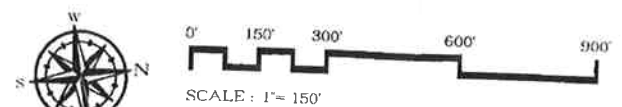
Private Individual Wells
Private Individual Sewer Systems
Location of Public Water: +/- 8 miles
Location of Public Sewer: +/- 13 miles
Current Zoning: Open Use District (OU)

MASTER PLAN NOTES

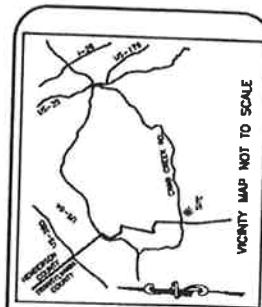
- ALL ROADS WITHIN THE SUBDIVISION WILL BE PRIVATE AND DESIGNED TO MEET THE HENDERSON COUNTY ROAD STANDARDS.
- STREET NAMES ARE APPROVED BY THE HENDERSON COUNTY PROPERTY ADDRESS OFFICE.
- ALL DRAINAGE IMPROVEMENTS WILL BE DESIGNED AND CONSTRUCTED TO MEET NCDOT STANDARDS AND DOCUMENTED ON THE NCDOT-APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- THE APPLICANT IS FAMILIAR WITH THE STREET DISCLOSURE REQUIREMENTS.
- UNDERGROUND POWER AND TELEPHONE ARE TO BE EXTENDED FROM SKY VALLEY ROAD.
- THE SUBDIVISION WILL BE ACCESSED FROM OLD FACE FARM LANE OFF SKY VALLEY ROAD.
- PROPOSED SUBDIVISION COVENANTS AND RESTRICTIONS ARE CURRENTLY BEING DEVELOPED AND WILL BE RECORDED PRIOR TO THE RECORDING OF THE FINAL SUBDIVISION PLAT.
- NO PORTIONS OF THE PROPERTY ARE WITHIN THE 100-YEAR FLOOD HAZARD AREA.
- THERE ARE NO FARMLAND PRESERVATION DISTRICTS WITHIN 2 MILES OF THE PROPERTY.
- THE PROPERTY IS NOT LOCATED WITHIN A WATER SUPPLY WATERSHED BOUNDARY.
- THE PROPERTY IS PARTIALLY LOCATED WITHIN THE VALLEY HILL FIRE DISTRICT 2.
- THE PROPERTY IS CURRENTLY ZONED OPEN USE (OU).
- NO MULTI-FAMILY UNITS ARE PROPOSED.
- THE EROSION AND SEDIMENTATION CONTROL PLAN FOR PROPOSED SITE IMPROVEMENTS HAS BEEN SUBMITTED AND IS CURRENTLY BEING REVIEWED AT THE TIME OF SUBDIVISION APPLICATION SUBMISSION. EROSION AND SEDIMENTATION CONTROL MEASURES WILL MEET NCDOT STANDARDS. THE EROSION AND SEDIMENTATION CONTROL PLAN WILL BE APPROVED BY NCDOT PRIOR TO INSTALLATION OF PROPOSED SITE IMPROVEMENTS.
- THE NEAREST CERTIFIED WATER SUPPLY POINT FOR WATER PROTECTION IS A DRY HYDRANT ON BILLARD CREEK ROAD OFF GRASS CREEK ROAD APPROXIMATELY 1.2 MILES FROM THE PROPERTY ENTRANCE.
- SEE PLANS FOR SIGNAGE EASEMENT LOCATION.



BU 30 EMERGENCY TURN AROUND - NCDOT APPROVED
 SCALE: 1" = 20'



THIS PLAN ILLUSTRATES A GENERAL PLAN WHICH IS SUBJECT TO FUTURE CHANGE AND REVISION. DIMENSIONS, BOUNDARIES, AND POSITION LOCATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT INTENDED TO BE EXACT.



BOUNDARY SURVEY BY:
 WNC Land Surveys
 1005 Henderson Rd, Suite G
 Asheville, NC 28603
 828 271-0074

TOPOGRAPHICAL INFORMATION BY:
 Henderson County GIS
 Contour & Elevation Data

OWNER:
 Old Pace Investors, LLC
 27 West Main Street
 Brevard NC, 28712

Melrose Design Group, P.A.
 Landscape Architecture
 Land Planning
 Environmental Design
 56 White Oak Road
 Arden, North Carolina 28704
 Phone (828) 684-5155
 Fax (828) 684-5156

OLD PACE
 HENDERSON COUNTY NC
 COMBINED MASTER PLAN AND DEVELOPMENT PLAN
 MASTER PLAN AND NOTES

ISSUE DATE: August 20, 2007
 REVISIONS: 3-0-2007
 DESIGNED BY: MP SHEET NUMBER: LI
 DRAWN BY: BI
 APPROVED BY: SM

PIPE SCHEDULE

PIPE NO.	APPROX LENGTH	DIA	TYPE
1	41'	18"	SMCP
4	40'	18"	SMCP
5	45'	18"	SMCP
6	54'	18"	SMCP
7	25'	18"	SMCP
8	35'	18"	SMCP

ROAD SCHEDULE

APPROVED ROAD NAMES	STATION RANGE	CLASSIFICATION	MAXIMUM CENTERLINE SLOPE	MINIMUM CENTERLINE RADIUS (EX TERRAIN < 15%)	MINIMUM CENTERLINE RADIUS (EX TERRAIN > 15%)
RIDGE PINES ROAD	0+00 - 35+87	PRIVATE RESIDENTIAL LOCAL *	18%	90'	60'
VALLEY OAKS ROAD	0+00 - 2+29	PRIVATE RESIDENTIAL LOCAL *	18%	90'	60'

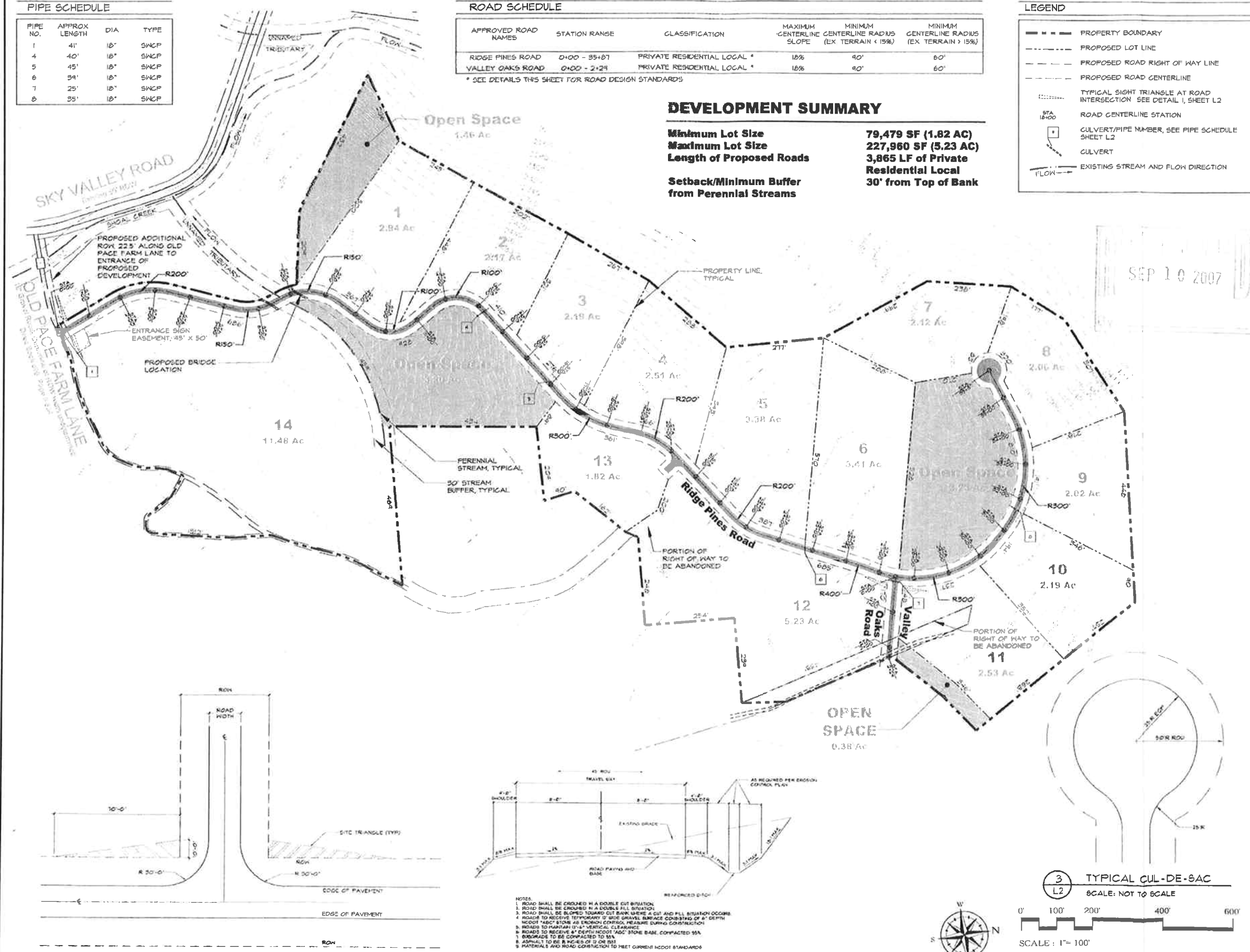
* SEE DETAILS THIS SHEET FOR ROAD DESIGN STANDARDS

LEGEND

- PROPERTY BOUNDARY
- - - PROPOSED LOT LINE
- - - PROPOSED ROAD RIGHT OF WAY LINE
- - - PROPOSED ROAD CENTERLINE
- TYPICAL SIGHT TRIANGLE AT ROAD INTERSECTION SEE DETAIL 1, SHEET L2
- STA 18+00 ROAD CENTERLINE STATION
- CULVERT/PIPE NUMBER, SEE PIPE SCHEDULE SHEET L2
- CULVERT
- FLOW EXISTING STREAM AND FLOW DIRECTION

DEVELOPMENT SUMMARY

Minimum Lot Size 79,479 SF (1.82 AC)
Maximum Lot Size 227,960 SF (5.23 AC)
Length of Proposed Roads 3,865 LF of Private Residential Local
Setback/Minimum Buffer from Perennial Streams 30' from Top of Bank



SEP 10 2007

BOUNDARY SURVEY BY:
 WRC Land Surveys
 1085 Hendersonville Rd, Suite G
 Asheville, NC 28903
 828-277-5074

TOPOGRAPHICAL INFORMATION BY:
 Henderson County GIS
 Contour & Elevation Data

OWNER:
 Old Pace Investors, LLC.
 27 West Main Street
 Brevard NC, 28712

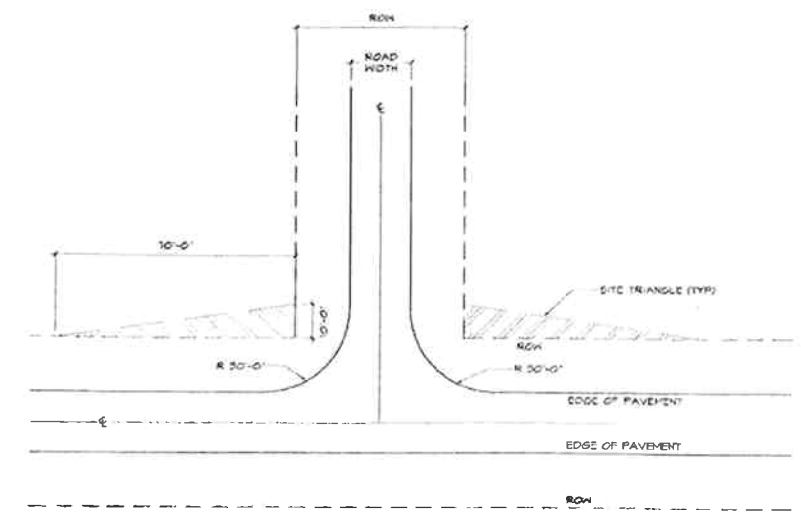
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OLD PACE
 HENDERSON COUNTY NC

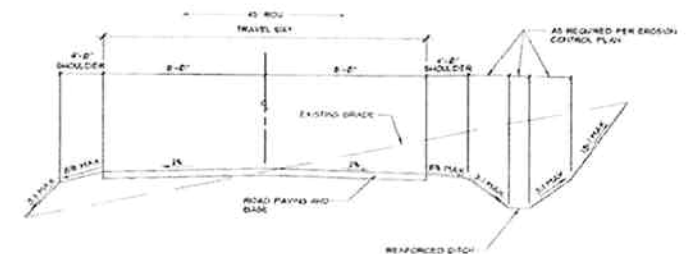
COMBINED MASTER PLAN AND DEVELOPMENT PLAN
 DEVELOPMENT PLAN AND DETAILS

ISSUE DATE: August 20, 2007
 REVISIONS:
 9-5-2007: Amend Civil Planning Dept. Letter 8-23-2007

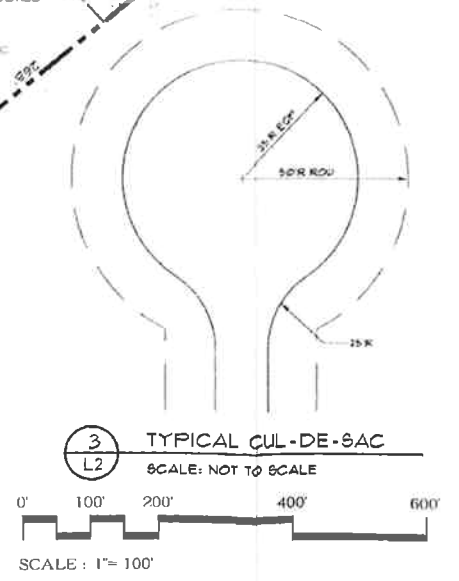
DESIGNED BY: MF
 DRAWN BY: SM
 APPROVED BY: SM
 SHEET NUMBER: L2
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1 L2 TYPICAL INTERSECTION
 SCALE: NOT TO SCALE



2 L2 TYPICAL ROAD SECTION 16'-0" ROADWAY
 SCALE: NOT TO SCALE



3 L2 TYPICAL CUL-DE-SAC
 SCALE: NOT TO SCALE
 SCALE: 1" = 100'

