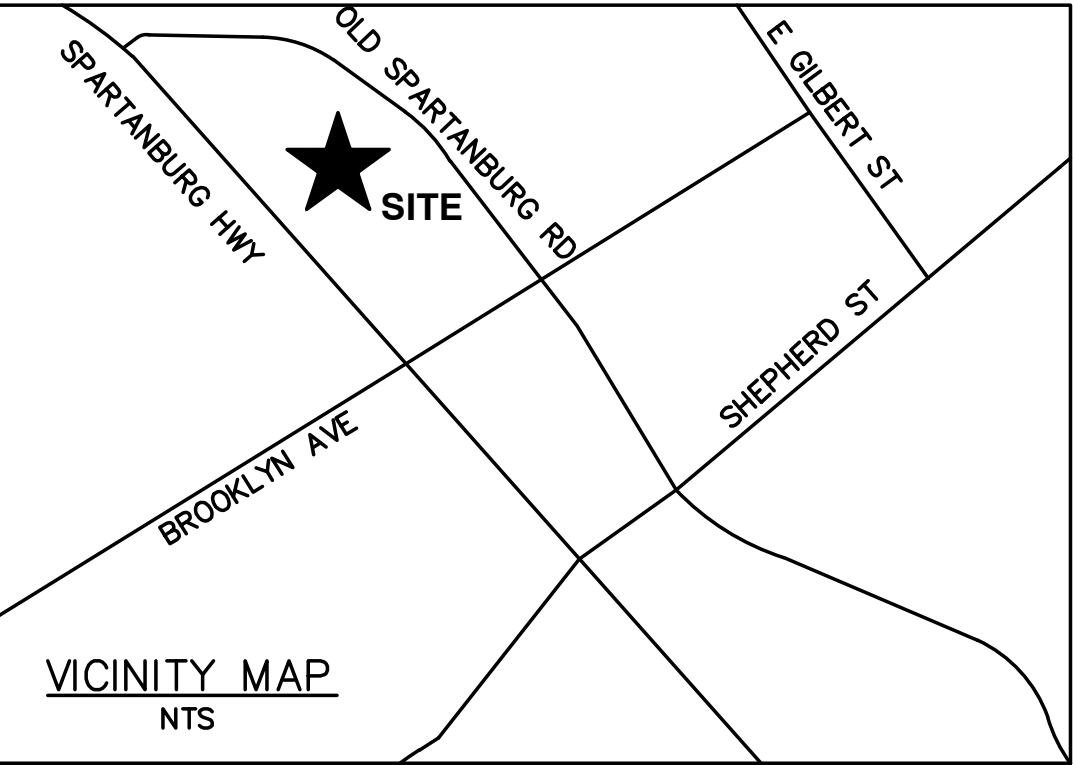
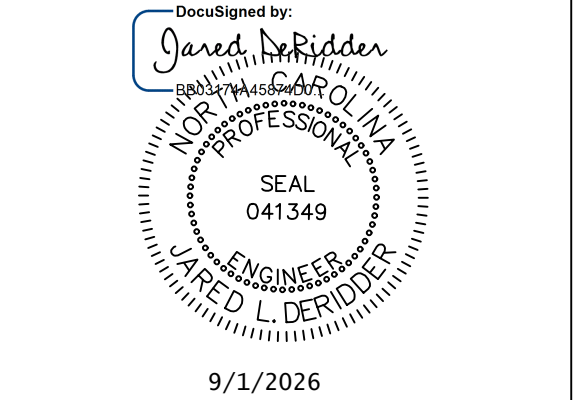


HENDERSON COUNTY
HEALTH DEPARTMENT PARKING
EXPANSION



SITE PLANS

SHEET NO.	DESCRIPTION
C-000	COVER
C-100	EXISTING CONDITIONS AND DEMO PLAN
C-200	SITE PLAN
C-300	PAVING AND SPOTS PLAN
C-700	SITE DETAILS



REVISIONS	
DATE	DESCRIPTION

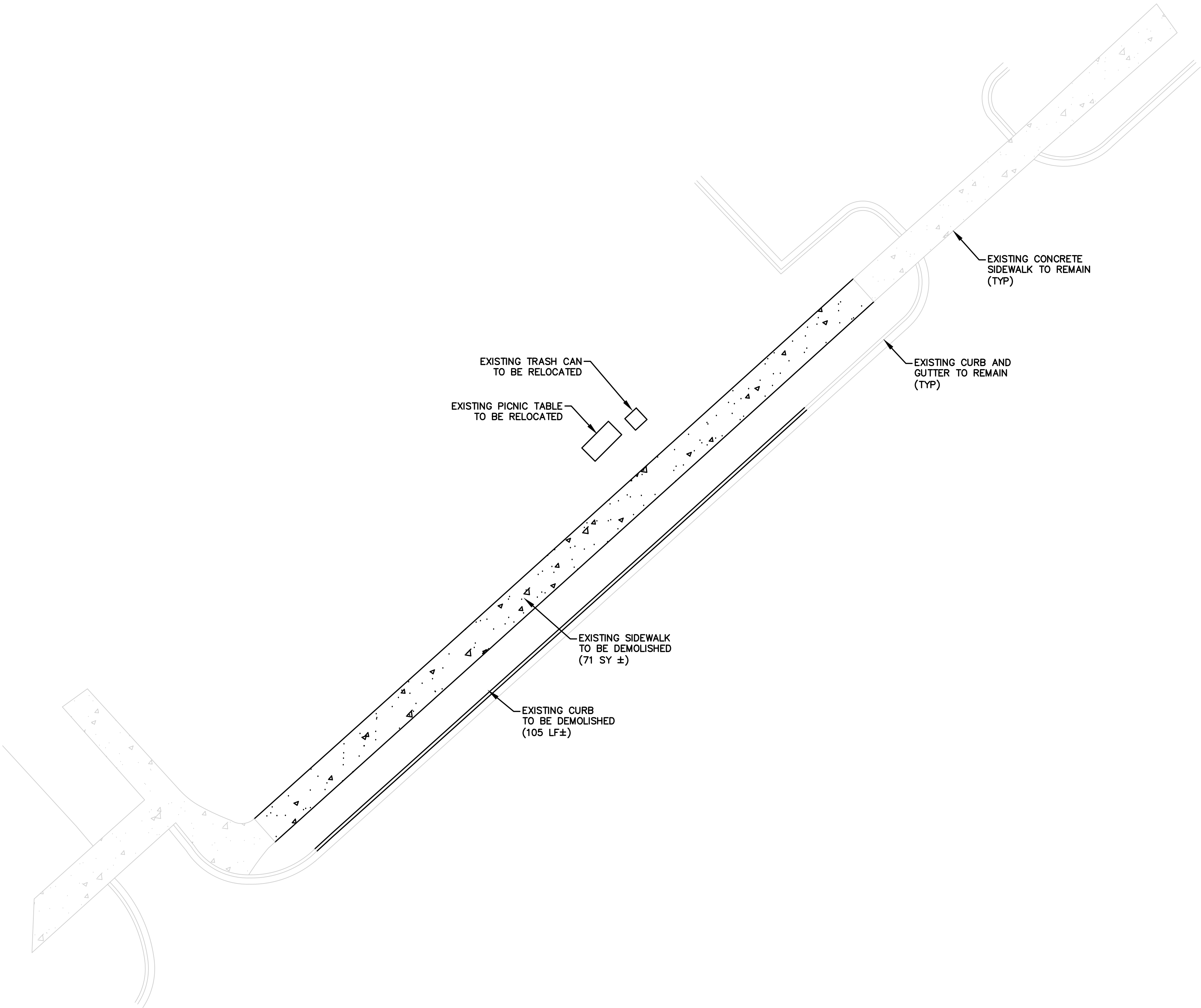


PROJECT NUMBER: 26132
DATE: 9-1-26

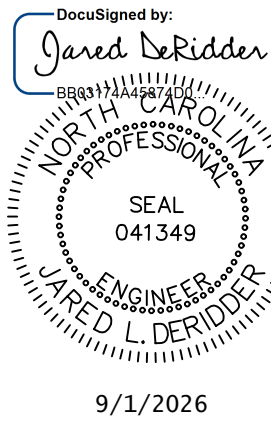
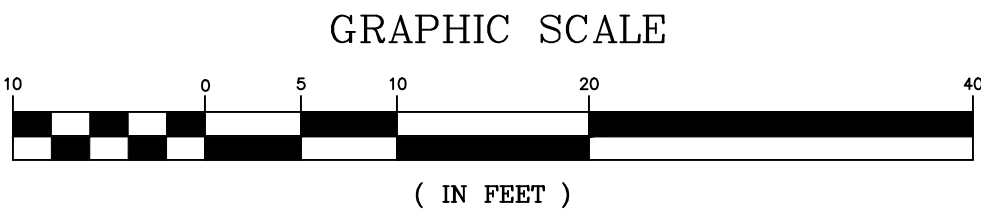
COVER SHEET

C-000
SCALE: N/A

LEGEND	
	EXISTING CURB TO REMAIN
	EXISTING CURB TO BE DEMOLISHED
	EXISTING CONCRETE TO REMAIN
	CONCRETE TO BE DEMOLISHED



- NOTES:
- 1.) EXISTING UTILITIES THAT ARE TO REMAIN MUST BE PROTECTED AND REMAIN IN SERVICE DURING CONSTRUCTION.
 - 2.) ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON SITE. CONTRACTOR SHALL CALL 811 PRIOR TO ANY DIGGING.
 - 3.) ADDITIONAL EXISTING LANDSCAPE TREES AND/OR SHRUBS MAY EXIST ON SITE THAT WILL NEED TO BE REMOVED.
 - 4.) ALL DEMOLISHED UNDERGROUND UTILITIES ARE TO BE REMOVED UNLESS OTHERWISE NOTED
 - 5.) ALL IMPERVIOUS AREAS REMOVED FROM SITE TO BE DISPOSED OF IN A PROPERLY PERMITTED DISPOSAL SITE.



REVISIONS	
DATE	DESCRIPTION



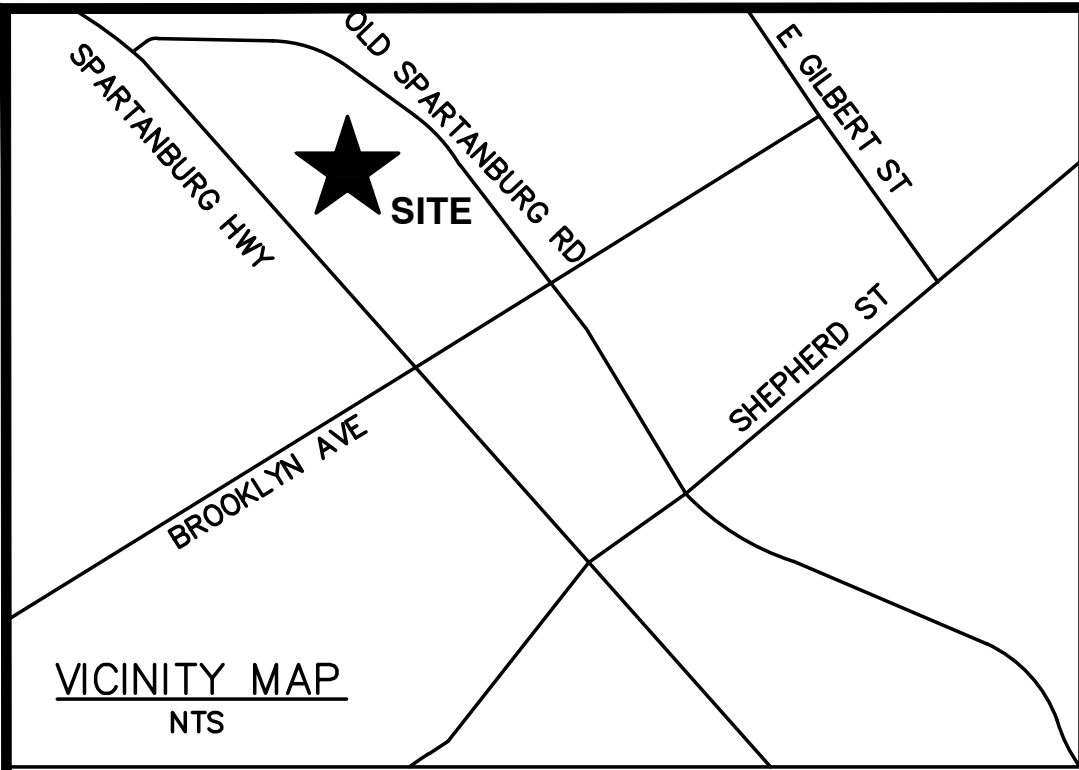
Know what's below.
Call before you dig.

PROJECT NUMBER: 26132
DATE: 9-1-26

EXISTING
CONDITIONS AND
DEMO PLAN

C-100

SCALE: 1" = 10'



DEVELOPMENT BLOCK:

NAME OF PROJECT: HENDERSON COUNTY HEALTH DEPARTMENT PARKING EXPANSION

PROJECT ADDRESS: 1200 SPARTANBURG HWY
HENDERSONVILLE, NC 28792

PROPERTY OWNER: HENDERSON COUNTY
1 HISTORIC COURTHOUSE SQUARE
STE 5
HENDERSONVILLE, NC 28792

PIN #: 9578-33-6198

TOTAL ACREAGE: 6.76 ± ACRES

ZONING: PLANNED INSTITUTIONAL DEVELOPMENT

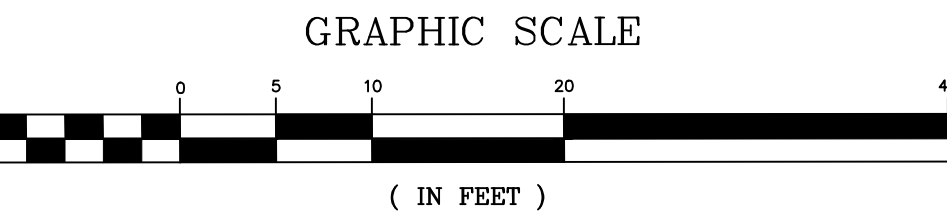
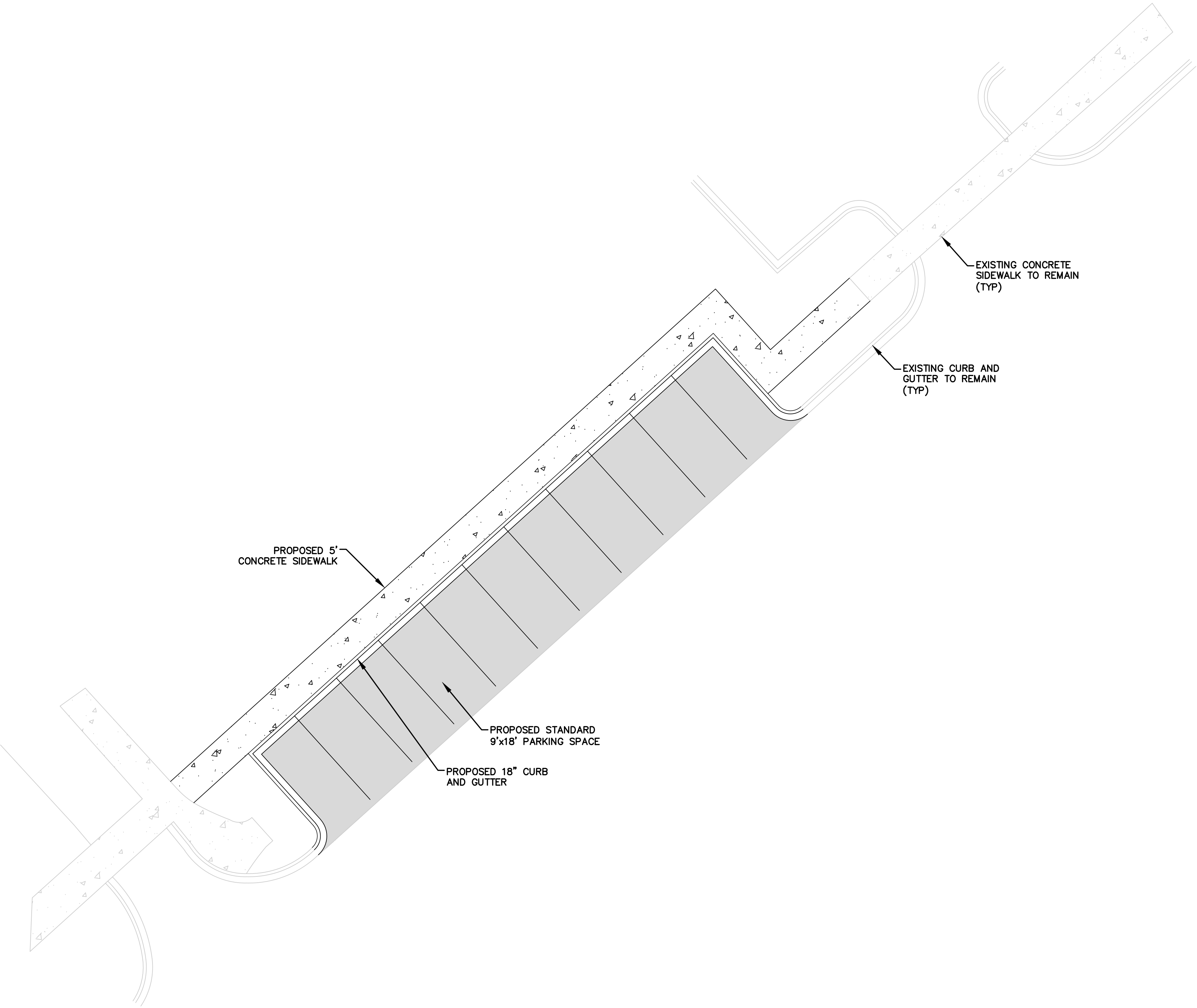
ENGINEER: JARED L. DERIDDER, P.E.
WGLA ENGINEERING, PLLC
724 5TH AVENUE WEST
HENDERSONVILLE NC 28739
828-687-7177

ADDED VEHICULAR
USE AREA: .04 AC ± (1,764 SF)

LEGEND

- PROPOSED CURB
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STANDARD DUTY ASPHALT

- NOTES:
- 1) NO PORTION OF THIS PROJECT IS WITHIN THE 100 YEAR FLOOD PLAIN OR FLOOD WAY.
 - 2) THIS PARCEL AND ALL ADJOINING PARCELS ARE WITHIN THE CITY OF HENDERSONVILLE CITY LIMITS.

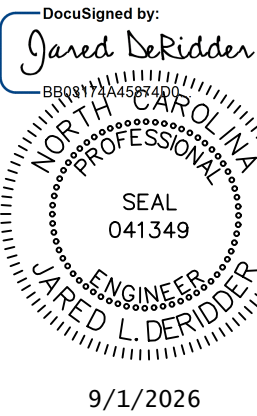


WGLA
Engineering

WGLA ENGINEERING, PLLC
724 5th AVENUE WEST
HENDERSONVILLE, NC 28739
(828) 687-7177
WGLA.COM
NC LICENSE P-1342

HENDERSON
COUNTY
HEALTH
DEPARTMENT

HENDERSONVILLE
HENDERSON COUNTY
NORTH CAROLINA



REVISIONS	
DATE	DESCRIPTION



Know what's below.
Call before you dig.

PROJECT NUMBER: 26132
DATE: 9-1-26

SITE PLAN

C-200

SCALE: 1" = 10'

DEVELOPMENT BLOCK:

NAME OF PROJECT: HENDERSON COUNTY HEALTH
DEPARTMENT EXPANSION

PROJECT ADDRESS: 1200 SPARTANBURG HWY
HENDERSONVILLE, NC 28792

PROPERTY OWNER: HENDERSON COUNTY
1 HISTORIC COURTHOUSE SQUARE
STE 5
HENDERSONVILLE, NC 28792

PIN #: 9578-33-6198

TOTAL ACREAGE: 6.66 ± ACRES

ZONING: PLANNED INSTITUTIONAL DEVELOPMENT

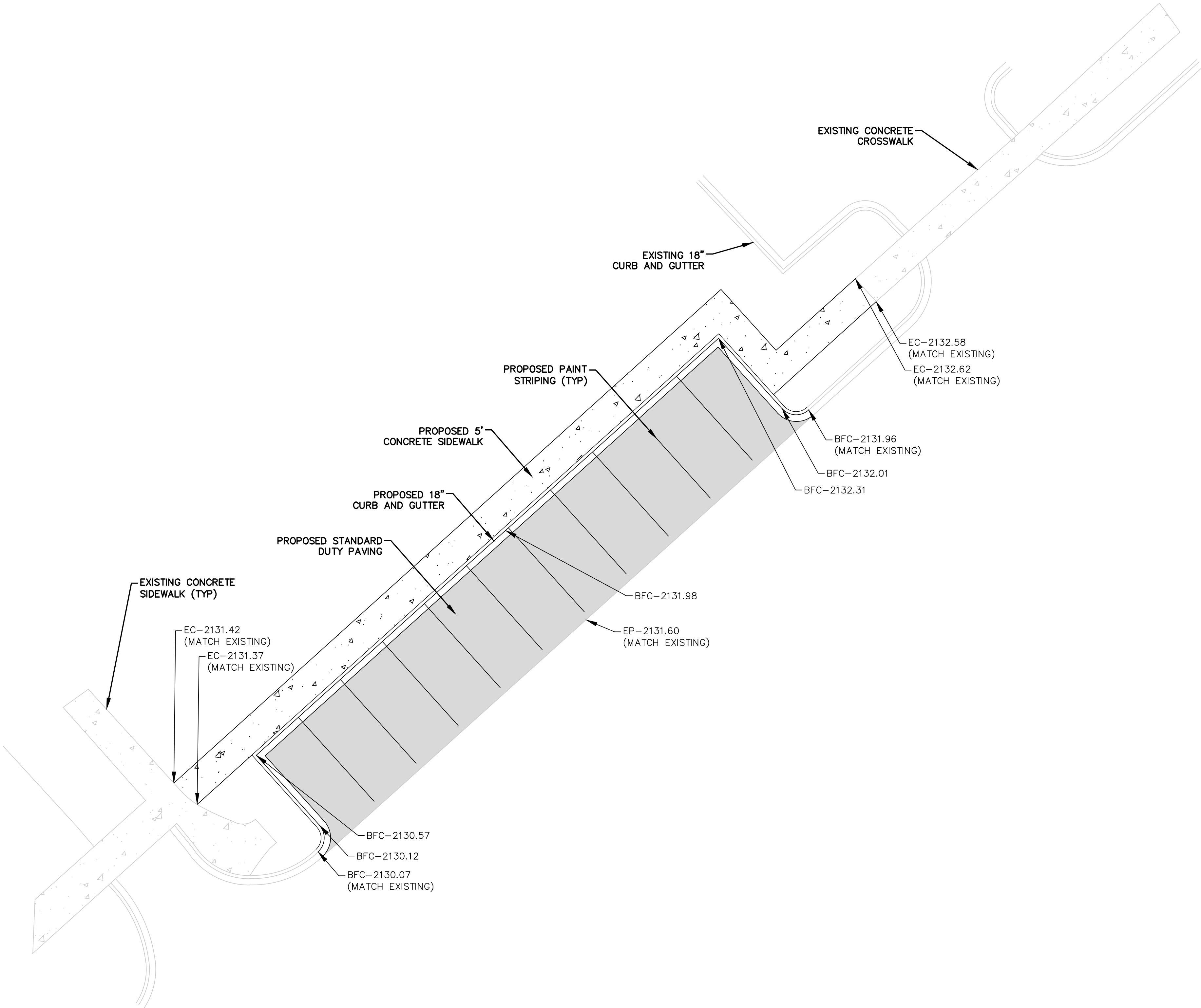
LEGEND

BFC: BOTTOM FACE OF CURB

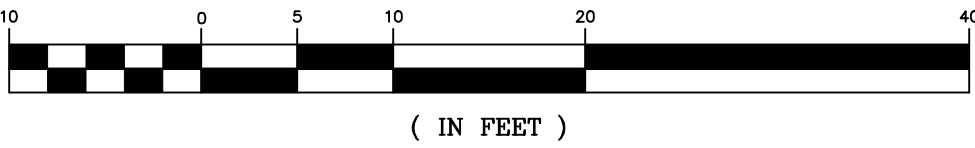
EC: EDGE OF CONCRETE

NOTES:

1) PAVEMENT STRIPING SHALL CONSIST OF TWO (2)
COATS OF WHITE ASPHALT PAVEMENT PAINT WITH
REFLECTIVE BEADS



GRAPHIC SCALE



WGLA
Engineering

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HENDERSON
COUNTY
HEALTH
DEPARTMENT

HENDERSONVILLE
HENDERSON COUNTY
NORTH CAROLINA



DocuSigned by:

Jared L. Deridder



9/1/2026

REVISIONS

DATE	DESCRIPTION

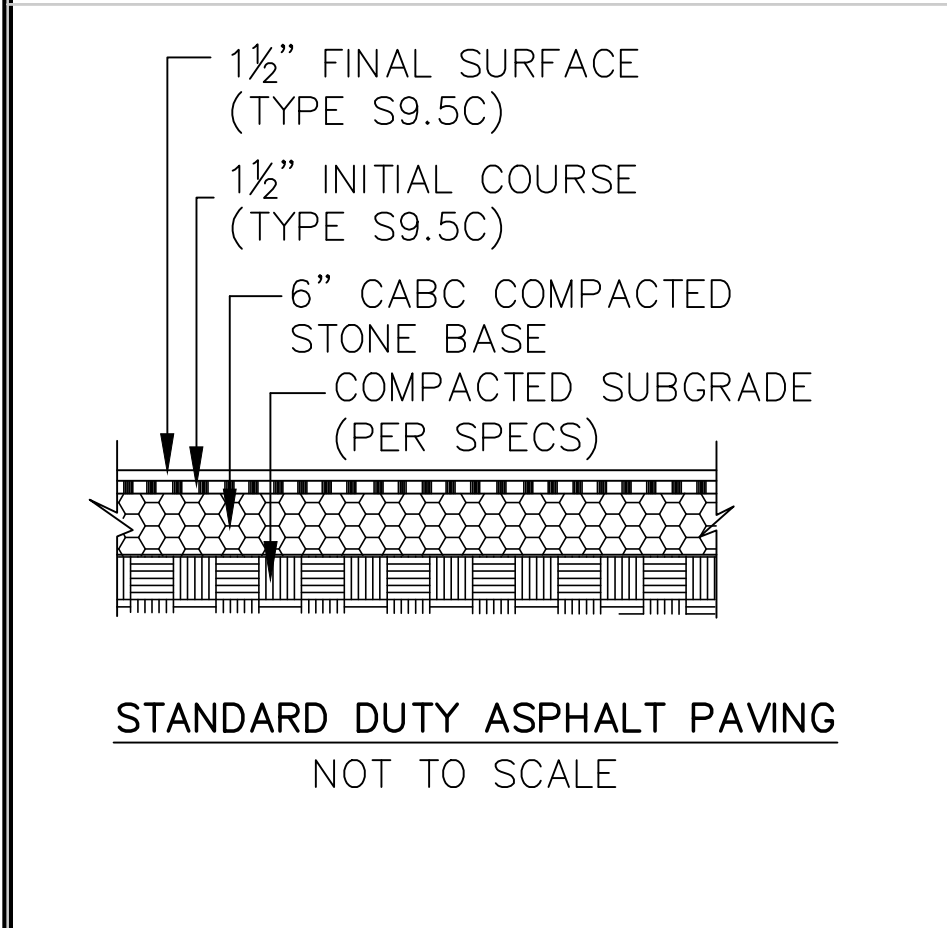
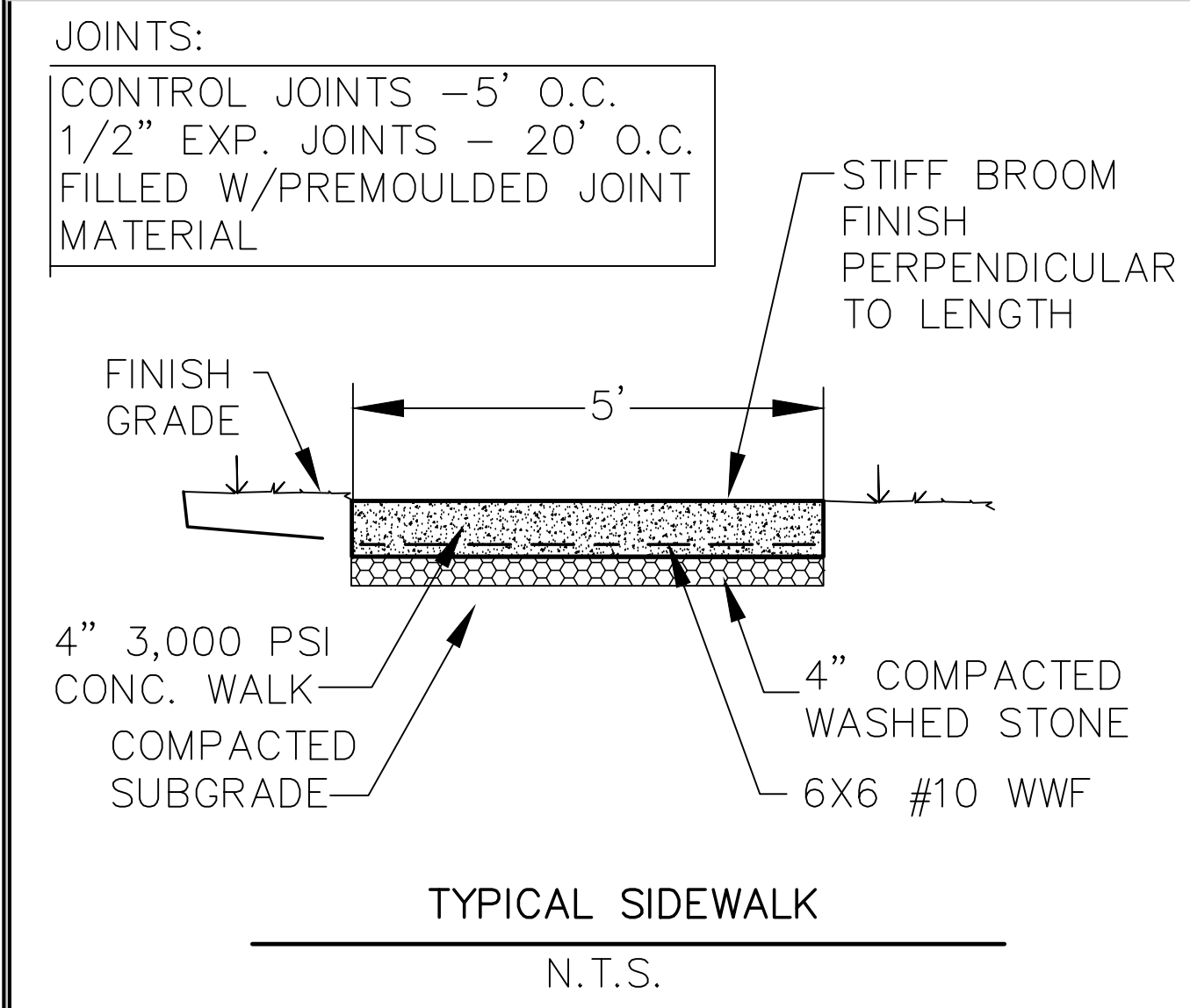
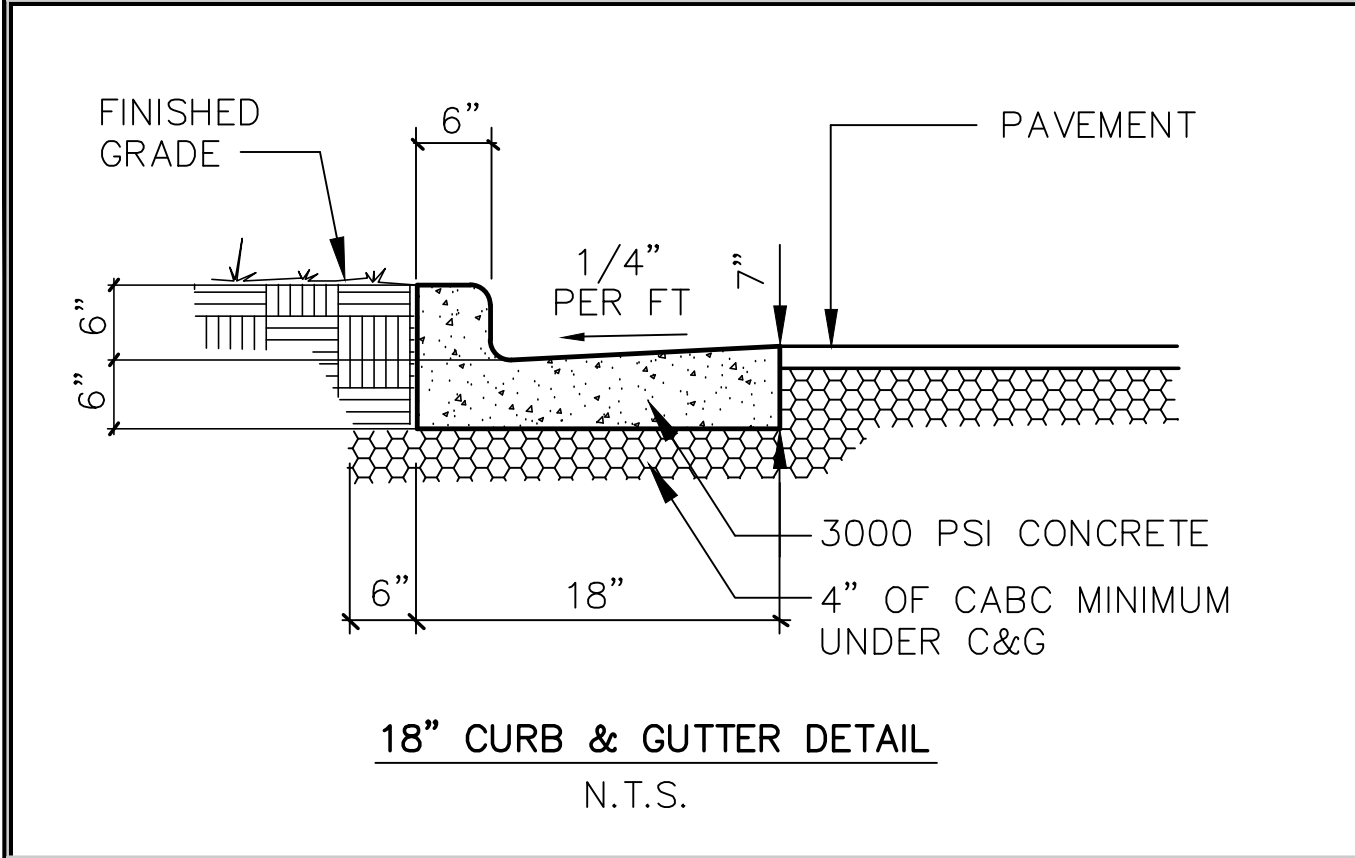


PROJECT NUMBER: 26132
DATE: 9-1-26

PAVING AND
SPOTS PLAN

C-300

SCALE: 1" = 10'



GENERAL CONSTRUCTION NOTES

1. All work and construction activities on the project site shall comply with all applicable OSHA regulations and requirements. It is the Contractor's responsibility to maintain a safe work site.
2. The Engineer and Owner reserve the right to modify project work items (including grading) as deemed necessary for the successful completion of the project. The Contractor may suggest adjustments to grading or other work items to be approved by the Engineer or Owner.
3. The Contractor shall comply with the Geotechnical Report for the placement of fill and compaction requirements. If no report is available, the following minimum standards shall apply:

Placement of fill:

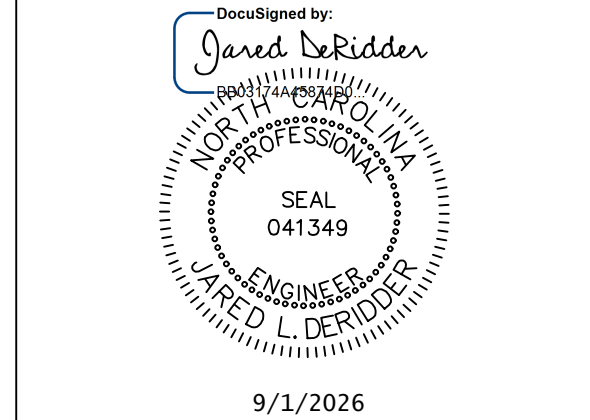
- A. Place the material in successive horizontal layers not exceeding 8" for the full width of the cross section.
- B. Fill shall be placed only when it is within 3 % of its optimum moisture content as determined by a Standard Proctor ASTM D 698.
- C. Each layer of fill shall be spread evenly and shall be compacted to its specified density as determined by Standard Proctor ASTM D 698 before new layers are placed and compacted.
- D. Sloped ground surfaces steeper than one vertical to four horizontal, on which fill is to be placed, shall be stepped or benched such that fill material will bond to the existing surfaces.
- E. Embankment slopes shall be constructed by filling one (1) foot beyond the proposed finished slope surface for each lift. Compaction equipment shall work to the edge of each lift. After the entire fill is placed and compacted, the outside foot of the slope shall be trimmed to the design slope with a dozer. Unless indicated on the drawings, no fill slopes shall be steeper than 2 horizontal to 1 vertical.

Compaction:

- A. Structural Fill Under Buildings and Within 10' of Building Perimeter: 100% of Standard Proctor the entire depth of fill.
 - B. Under Walks, Drives, Pads, and Paved Areas: 95% of Standard Proctor except 100% of Standard Proctor in the upper 2'.
 - C. Under Lawns and Planting Areas Beyond 10' from Building: 95% of Standard Proctor
 - D. Backfill in Trenches: Comply with compaction requirements for the area through which the trench runs.
4. All erosion control devices such as silt fences, diversions, sediment traps, etc. shall be maintained in workable conditions for the life of the project and shall be removed at the completion of the project only with the engineer's approval. See the NPDES requirements on this plan sheet for more detail. If during the life of the project a storm causes soil erosion which changes the finished grades or creates gullies and washed areas, these shall be repaired by the Contractor at no extra cost. The Contractor shall adhere to the approved erosion control plan and take any additional measures necessary to prevent sediment from leaving the site.

5. Disposable Materials:

- A. Clearing and grubbing wastes shall be removed from the site and properly disposed of by the contractor at their expense, unless otherwise specified.
 - B. Solid wastes to be removed such as sidewalks, curbs, pavement, etc. may be placed in specified disposal areas if permitted by the appropriate agencies and approved by the Owner. This material shall be spread and mixed with dirt eliminating all voids. This material shall have a minimum cover of 2'. The Contractor shall maintain specified compaction requirements in these areas. When disposal sites are not provided, the Contractor shall remove this waste from the site and properly dispose of it at their expense.
 - C. Abandoned utilities such as culverts, water pipe, hydrants, casting, pipe appurtenances, utility poles, etc. shall be the property of the specified utility agency or company having jurisdiction. Before the Contractor can remove, destroy, salvage, re-use, sell or store for their own use any abandoned utility, they must present to the owner written permission from the utility involved.
 - D. Unless otherwise noted on the plans, burning will not be allowed on this project. Should burning be allowed by the owner, it is the Contractor's responsibility to obtain all necessary permits (at their expense) and follow all applicable rules and regulations.
6. Unless otherwise specified, all base, paving, curbing and other concrete work shall conform to the local municipality or NCDOT specifications for construction. All water and sewer construction shall conform to the local utility requirements and/or the NC DENR minimum standards.
 7. In the event excessive ground water or springs are encountered within the limits of construction, the Contractor shall install necessary underdrains and stone as directed by the Engineer. All work shall be paid based upon the unit prices unless otherwise specified.
 8. The Contractor is responsible for the coordination of adjustment of all utility surface accesses (including manhole covers, valve boxes, etc.) whether he performs the work or the utility company performs the work.
 9. The Contractor shall control all "dust" by periodic watering and shall provide access at all times for property owners within the project and for emergency vehicles. All open ditches and hazardous areas shall be clearly marked in accordance with OSHA regulations.
 10. All areas of exposed soil shall be seeded, fertilized and mulched according to the specifications. The finished surface shall be to grade and smooth, free of all rocks larger than 3", equipment tracks, dirt clods, bumps, ridges, and gouges prior to seeding. The surface shall be loosened to a depth of 1 + 9" to accept seed. The Contractor shall not proceed with seeding operations without first obtaining the Engineer's approval of the graded surface. All seeding shall be performed by a mechanical "hydro-seeder". The Engineer prior to seeding must approve hand seeding on any area.



REVISIONS	
DATE	DESCRIPTION



PROJECT NUMBER: 26132
DATE: 9-1-26

SITE DETAILS

C-700

SCALE: as noted