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HCPS ROOF REPLACEMENTS AT WHHS/EHHS

OWNER

HENDERSON COUNTY
HENDERSON COUNTY PUBLIC SCHOOLS

CONTACTS

OWNER REPRESENTATIVE

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HENDERSONVILLE, NC 28792

CHAD DILLON
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ARCHITECT

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LIST OF DRAWINGS

T101	COVER SHEET
ARCHITECTURAL	
A201	WHHS CAFETERIA ROOF PLAN
A202	WHHS BLDG X ROOF PLAN
A203	EHHS CAFETERIA ROOF PLAN
A301	DETAILS
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NORTH CAROLINA BUILDING CODE SUMMARY

- PER N.C.G.S. 143-138(b15): BUILDINGS CONSTRUCTED BEFORE 2012 ARE EXCLUDED FROM THE CURRENT CODE AND ARE SUBJECT TO THE 2009 NC ENERGY CONSERVATION CODE. R-VALUE MIN. SHALL BE R-15, FOR CLIMATE ZONE 4 (NON-MARINE)
- NC ENERGY CONSERVATION CODE 503.1 EXCEPTION 2.e: REROOF SHALL NOT BE LESS THAN THE CONDITIONS/DESIGN PRIOR TO ROOF REPLACEMENT
- 1511.1 EXCEPTIONS 1&2: REPLACEMENT SHALL NOT BE REQUIRED TO MEET THE SLOPE REQUIREMENT OF ¼" PER FOOT OR PROVIDE SECONDARY DRAINS OR SCUPPERS
- 1511.3.1.1 EXCEPTIONS 3: ROOF RECOVERING SHALL NOT BE PERMITTED OVER WATER SOAKED ROOFING OR OVER 2 OR MORE ROOF APPLICATIONS

NOTES:

- WHHS CAFETERIA APPROXIMATE ROOF SQUARE FOOTAGE: 12,958 SF
- WHHS BLDG X APPROXIMATE ROOF SQUARE FOOTAGE: 17,306 SF
- EHHS CAFETERIA APPROXIMATE ROOF SQUARE FOOTAGE: 2,580 SF

ABBREVIATIONS:

- REPLACE= REMOVE EXISTING AND PROVIDE AS SHOWN AND SPECIFIED
- RD= ROOF DRAIN
- CMU= CONCRETE MASONRY UNITS
- CWFD= CEMENTITIOUS WOOD FIBER DECK
- POLYISO= POLYISOCYANURATE
- DS= DOWNSPOUT
- SPM= SINGLE PLY MEMBRANE
- EPS= EXPANDED POLYSTYRENE
- BUR= BUILT UP ROOFING
- BOW= BASE OF WALL
- XPS= EXTRUDED POLYSTYRENE
- LWIC= LIGHTWEIGHT INSULATING CONCRETE

BID ALTERNATES

ALTERNATE NO. 1 - EHHS CAFETERIA ROOF REPLACEMENT

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**HCPS ROOF
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AT WHHS/EHHS**

Project Number: 24001

Checked: _____

Drawn: A. Rognas

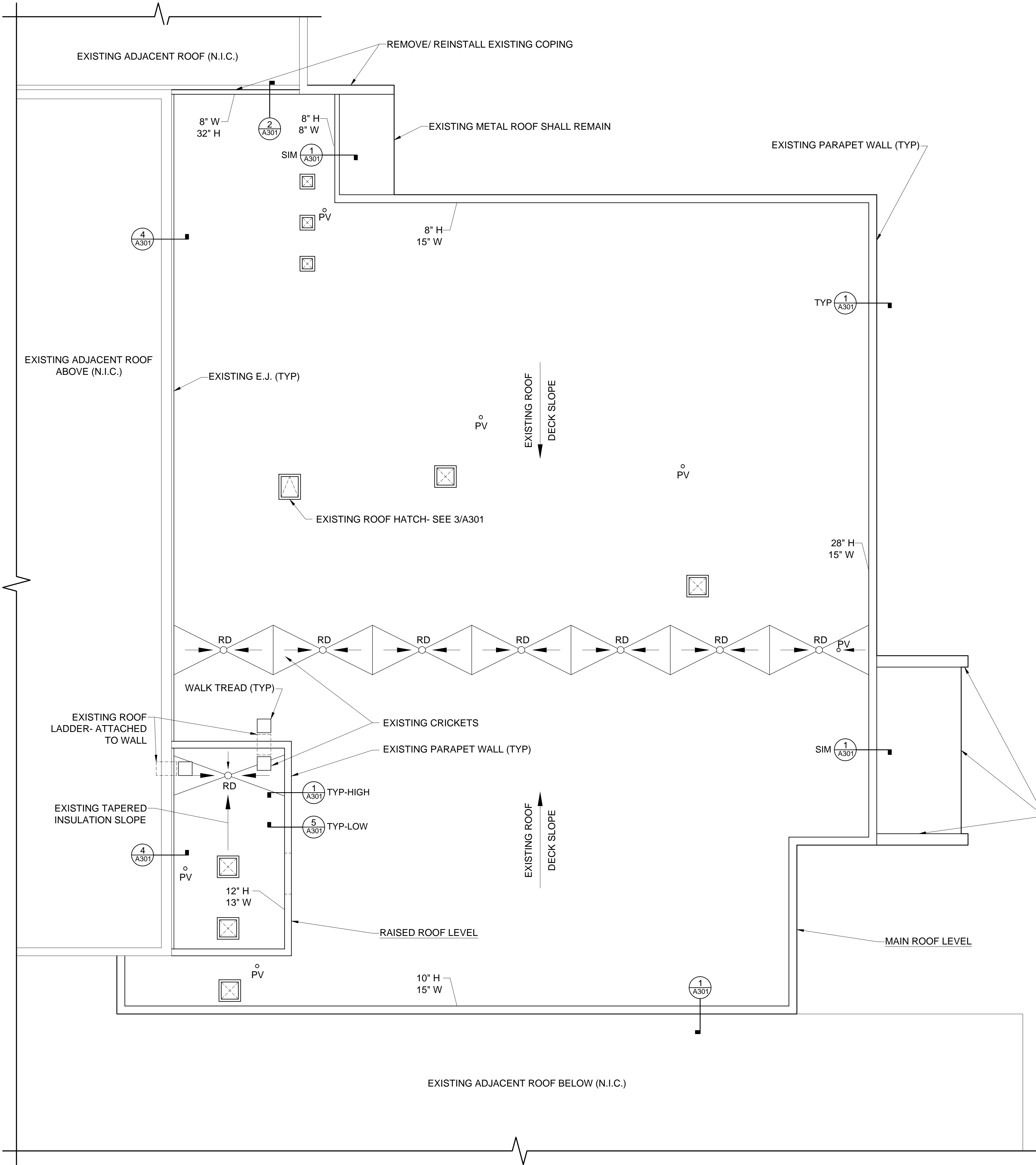
Date: 4/21/25

Revisions: _____




COVER SHEET

T101

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LEGEND

-  MECHANICAL UNIT CURB - SEE DETAIL 7/A301
-  PV PLUMBING VENT - SEE DETAIL 1/A302
-  RD ROOF DRAIN - SEE DETAIL 6/A301

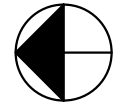
GENERAL NOTES

- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY ARCHITECT. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- SITE ACCESS, STAGING AND SCHEDULE SHALL BE COORDINATED WITH PRINCIPAL AT PRECONSTRUCTION.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.
- BUILDING ELEMENTS ARE EXISTING.

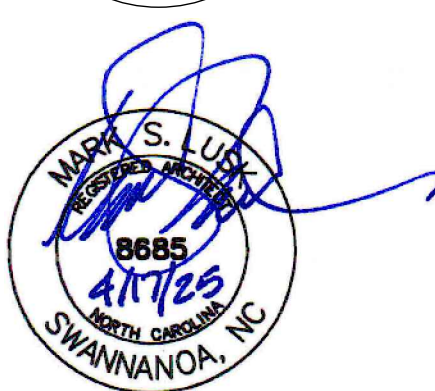
ROOFING NOTES

- EXISTING ROOFING COMPONENTS:
 - STONE BALLAST- REMOVE
 - LOOSE LAID SPM MEMBRANE
 - 1/2" FIBERBOARD
 - 1 3/4" POLYISO (TAPERED 3"-9" @ RAISED ROOF LEVEL)
 - 1/2" GYPSUM BOARD
 - METAL ROOF DECK- SLOPES (LEVEL @ RAISED ROOF AREA)
- DEMOLITION: REMOVE EXISTING STONE BALLAST AND ROOFING SYSTEM FLASHING INCLUDING TERMINATION BARS. EXISTING SPM SHALL REMAIN- CUT OPEN. EXISTING STONE BALLAST SHALL BE RELOCATED TO A SITE ON CAMPUS.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 1/2" COVERBOARD OVER EXISTING SPM ROOFING. ATTACH 1/2" COVERBOARD THROUGH INTO EXISTING METAL ROOF DECK.

PROJECT NORTH



WHHS CAFETERIA ROOF PLAN
SCALE: 1/8"=1'-0"



HCPS ROOF
REPLACEMENTS
AT WHHS/EHHS

Project Number: 24001
Checked: _____
Drawn: A. Rognas
Date: 4/21/25
Revisions: _____

WHHS
CAFETERIA
ROOF PLAN

A201

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LEGEND

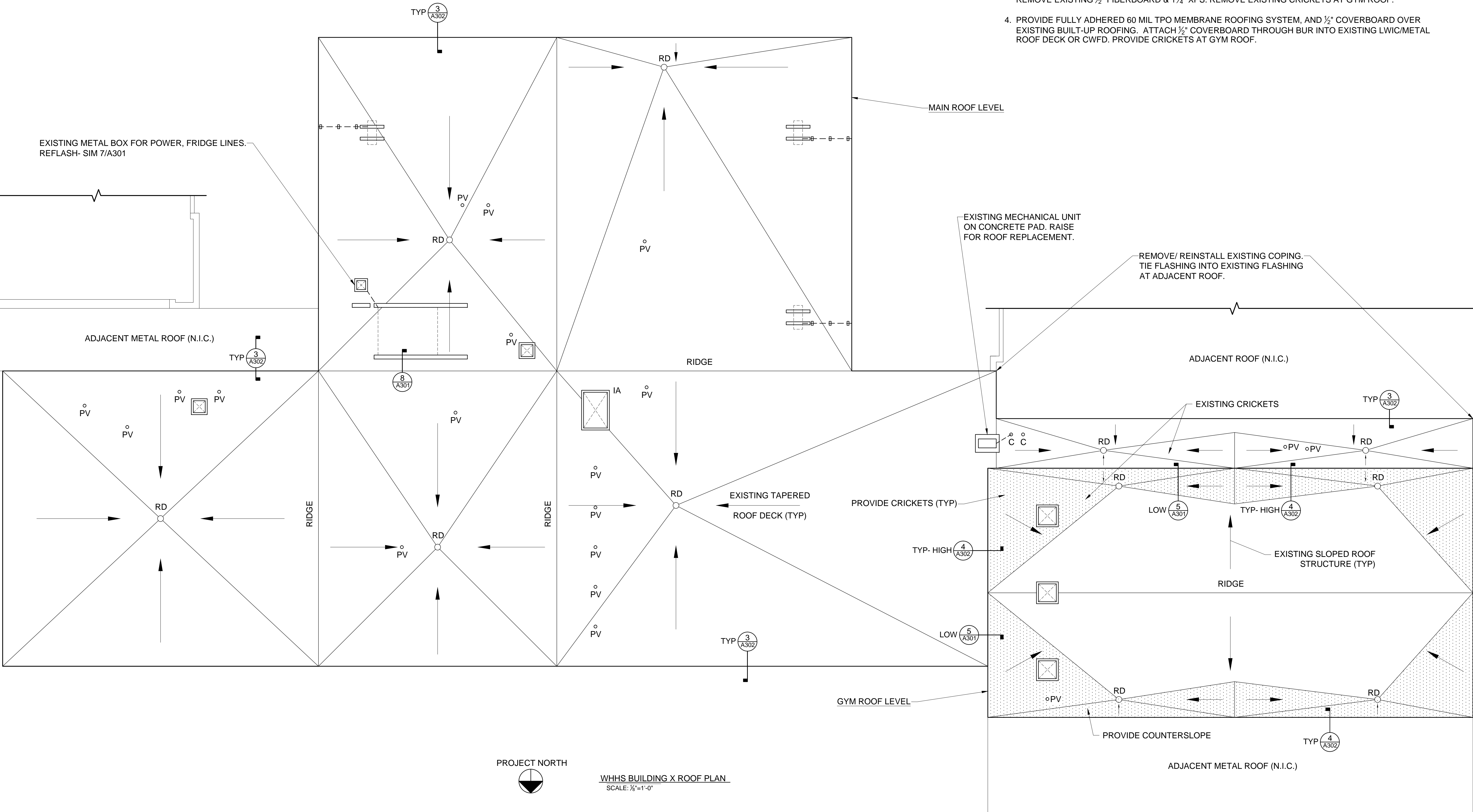
- IA MECHANICAL UNIT CURB (IA=INTAKE AIR) - SEE DETAIL 7/A301
- PV PLUMBING VENT - SEE DETAIL 1/A302
- RD ROOF DRAIN - SEE DETAIL 6/A301
- EXISTING MECHANICAL UNIT- REPLACE WOOD CURBS/ BLOCKS & PROVIDE SLIP SHEET
- C POWER PVC PIPE - SEE DETAIL 5/A302

GENERAL NOTES

- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY ARCHITECT. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- SITE ACCESS, STAGING AND SCHEDULE SHALL BE COORDINATED WITH PRINCIPAL AT PRECONSTRUCTION.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.
- BUILDING ELEMENTS ARE EXISTING.

ROOFING NOTES

- EXISTING ROOFING COMPONENTS- MAIN ROOF LEVEL:
 - ADHERED SPM MEMBRANE- REMOVE
 - ½" FIBERBOARD- REMOVE
 - 1¾" XPS- REMOVE
 - BUR (¾")
 - TAPERED LWIC - 3"±@ RD'S - 7"± @ RIDGES/ ROOF EDGE
 - METAL ROOF DECK
- EXISTING ROOFING COMPONENTS- GYM ROOF LEVEL:
 - ADHERED SPM MEMBRANE- REMOVE
 - ½" FIBERBOARD- REMOVE
 - 1¾" XPS- REMOVE
 - BUR (¾")
 - CWFD
- DEMOLITION: REMOVE EXISTING ROOFING SYSTEM, SPM, & FLASHING INCLUDING TERMINATION BARS. REMOVE EXISTING ½" FIBERBOARD & 1¾" XPS. REMOVE EXISTING CRICKETS AT GYM ROOF.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND ½" COVERBOARD OVER EXISTING BUILT-UP ROOFING. ATTACH ½" COVERBOARD THROUGH BUR INTO EXISTING LWIC/METAL ROOF DECK OR CWFD. PROVIDE CRICKETS AT GYM ROOF.

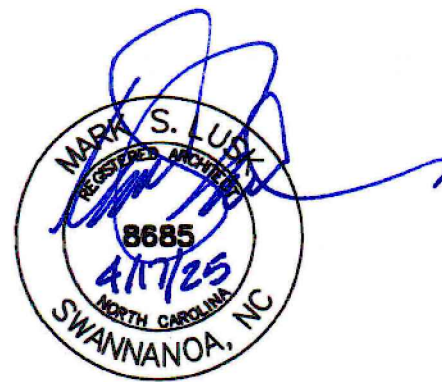


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HCPS ROOF REPLACEMENTS AT WHHS/EHHS

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Revisions: _____


WHHS BUILDING X ROOF PLAN

A202

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LEGEND

- 

MECHANICAL UNIT CURB - SEE DETAIL 7/A301
- 

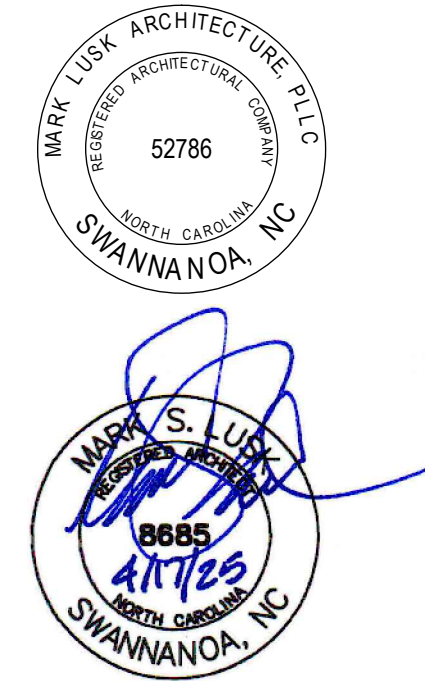
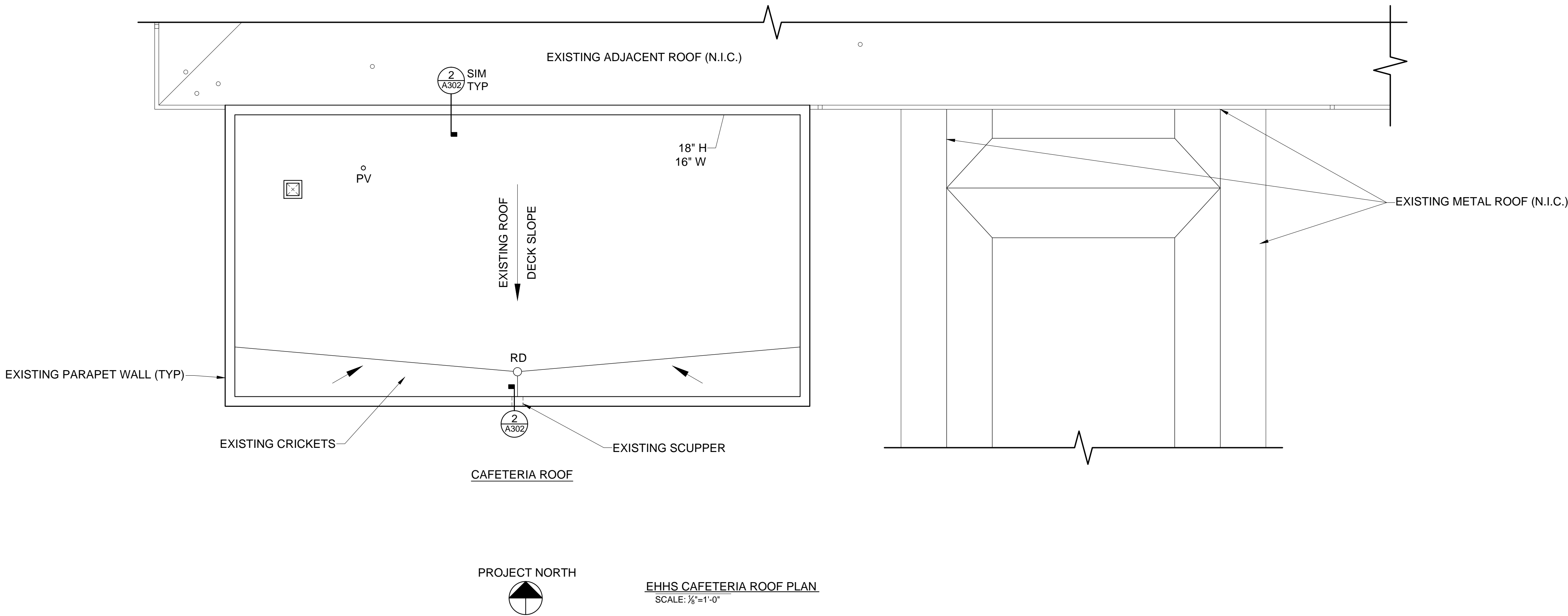
PLUMBING VENT - SEE DETAIL 1/A302

GENERAL NOTES

1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY ARCHITECT. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
3. SITE ACCESS, STAGING AND SCHEDULE SHALL BE COORDINATED WITH OWNER.
4. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
5. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.
6. BUILDING ELEMENTS ARE EXISTING.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:
 - ADHERED SPM - FIRST LAYER - REMOVE
 - ADHERED SPM - SECOND LAYER - REMOVE
 - 2" POLYISO
 - METAL ROOF DECK
2. DEMOLITION: REMOVE EXISTING SPM- 2 LAYERS & ROOFING SYSTEM FLASHING INCLUDING TERMINATION BARS.
3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND ½" COVERBOARD OVER EXISTING POLYISO INSULATION. ATTACH ½" COVERBOARD THROUGH INTO EXISTING METAL ROOF DECK.



HCPS ROOF
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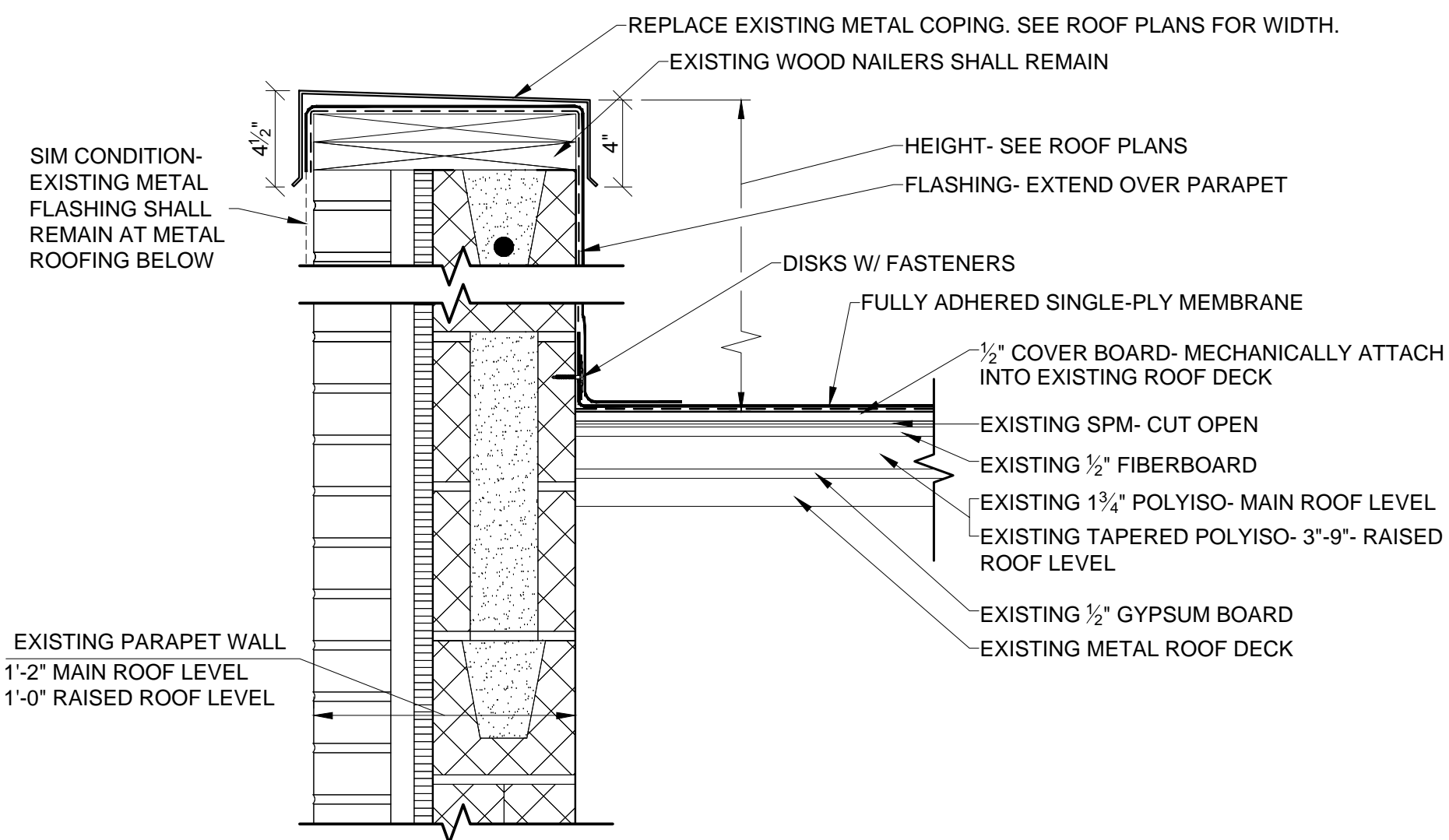
Revisions: _____

EHHS
CAFETERIA
ROOF PLAN

A203

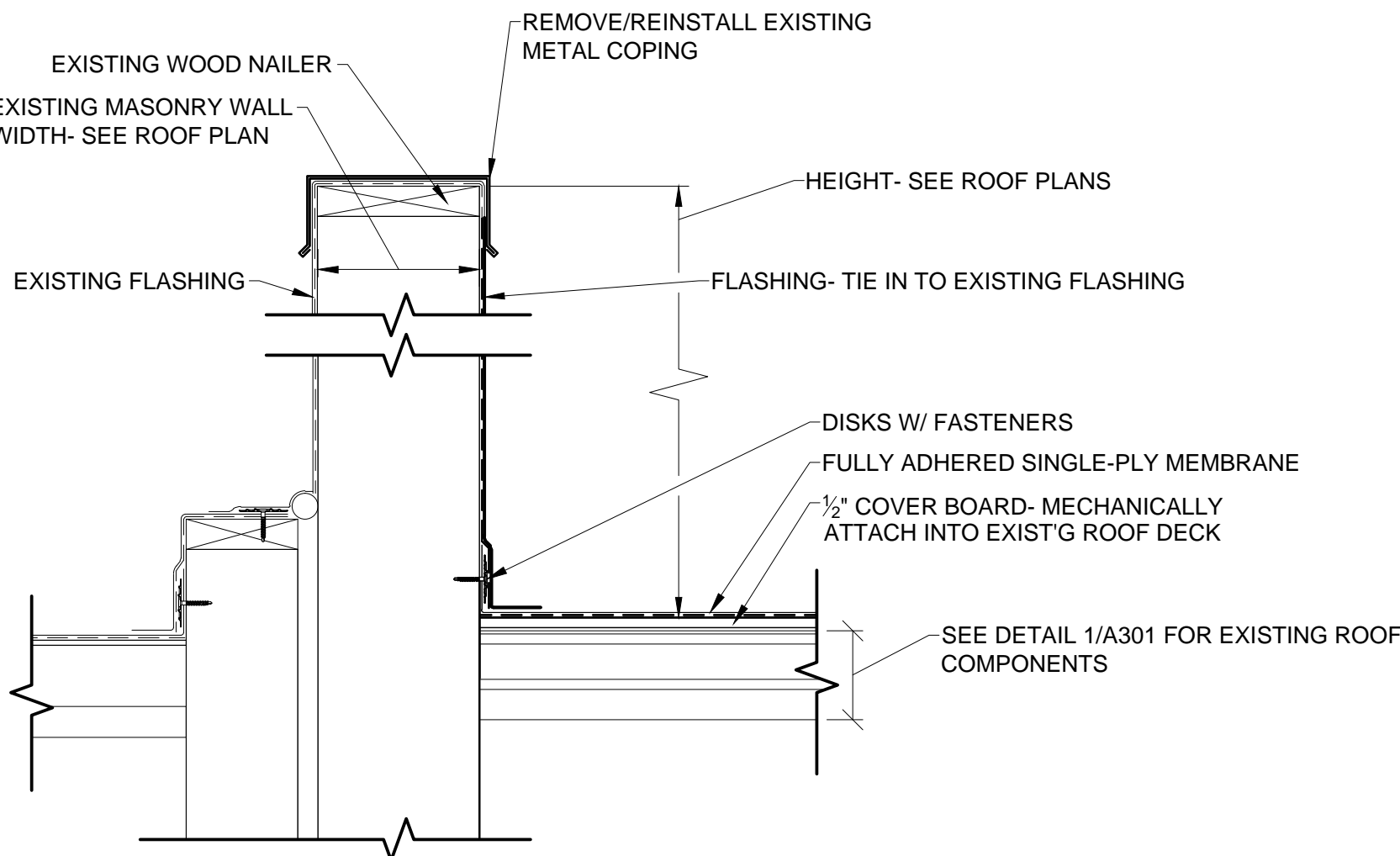
ALTERNATE NO. 1

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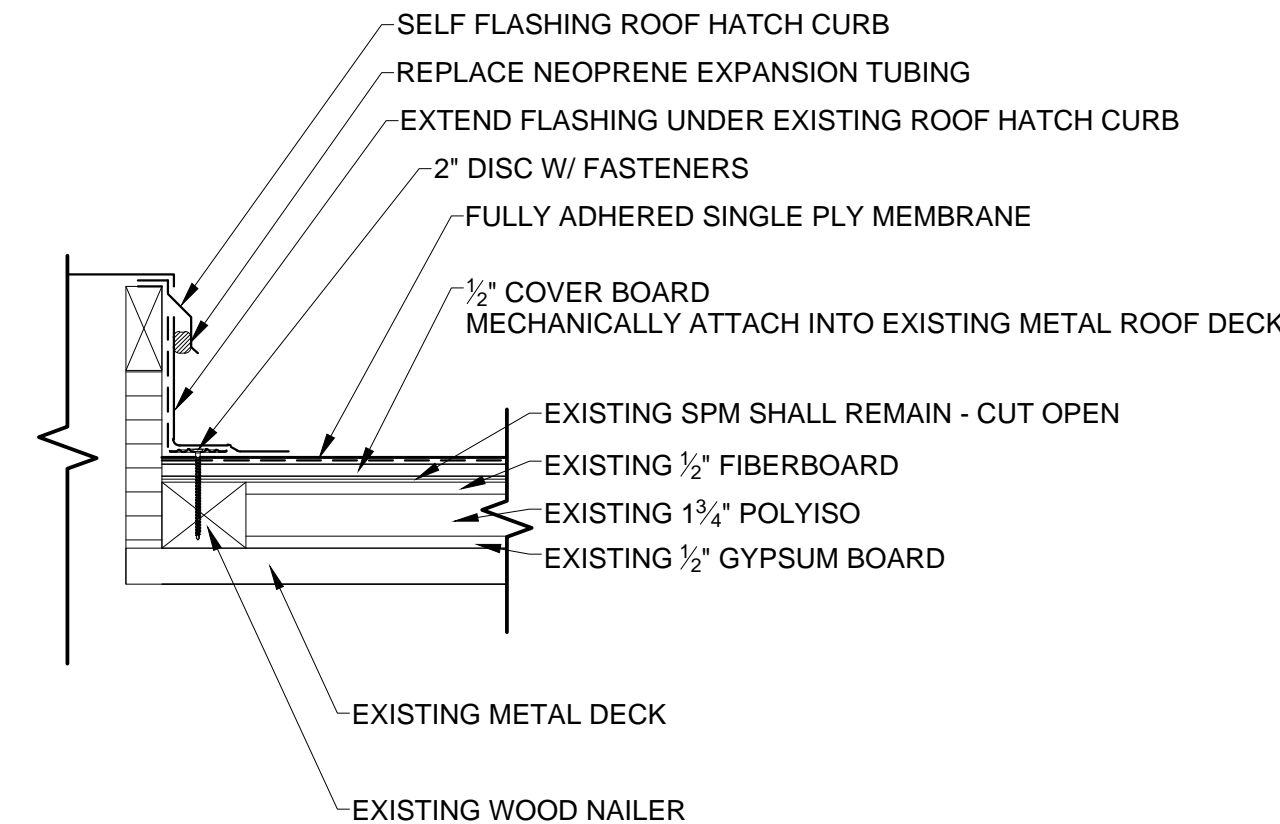
NOTE:
1. REMOVE EXISTING FLASHING

① PARAPET WALL DETAIL
SCALE: 1 1/2" = 1'-0"



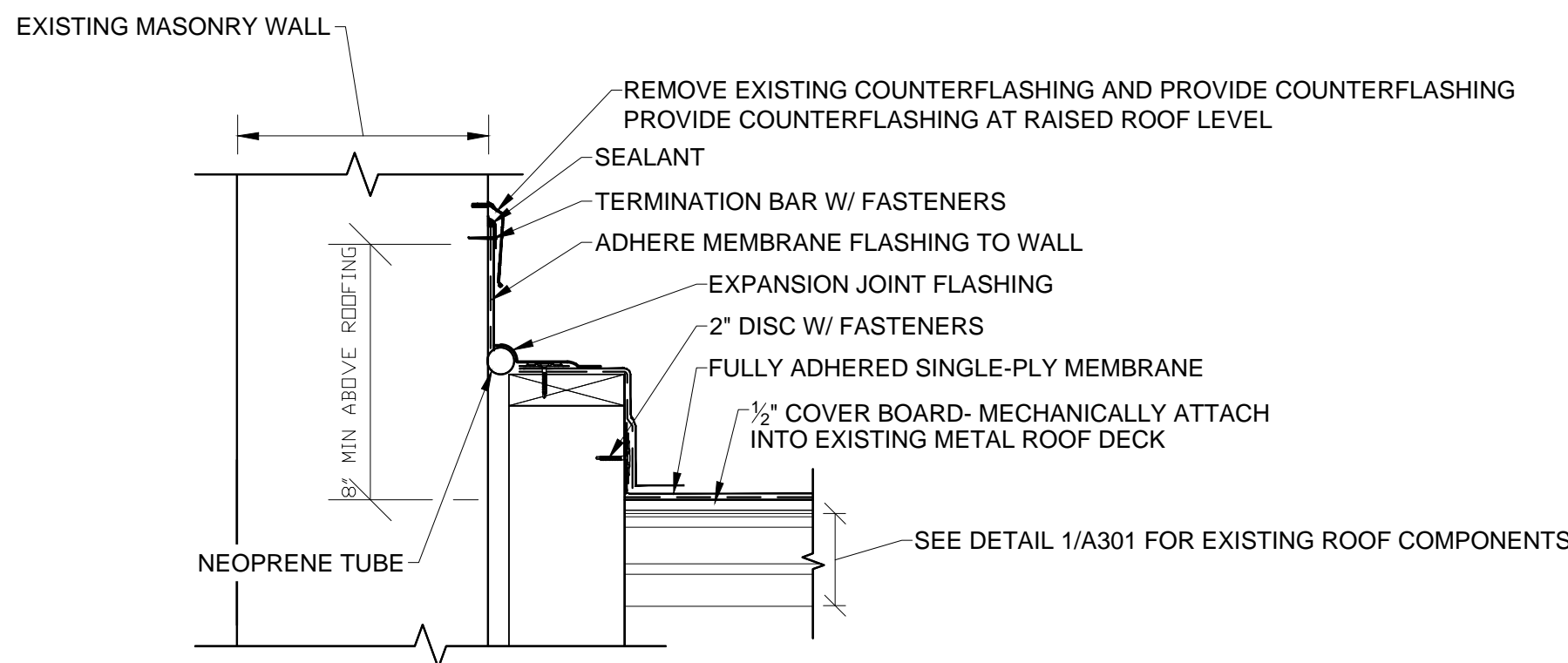
NOTE:
1. REMOVE EXISTING FLASHING

② CURB WALL DETAIL
SCALE: 1 1/2" = 1'-0"



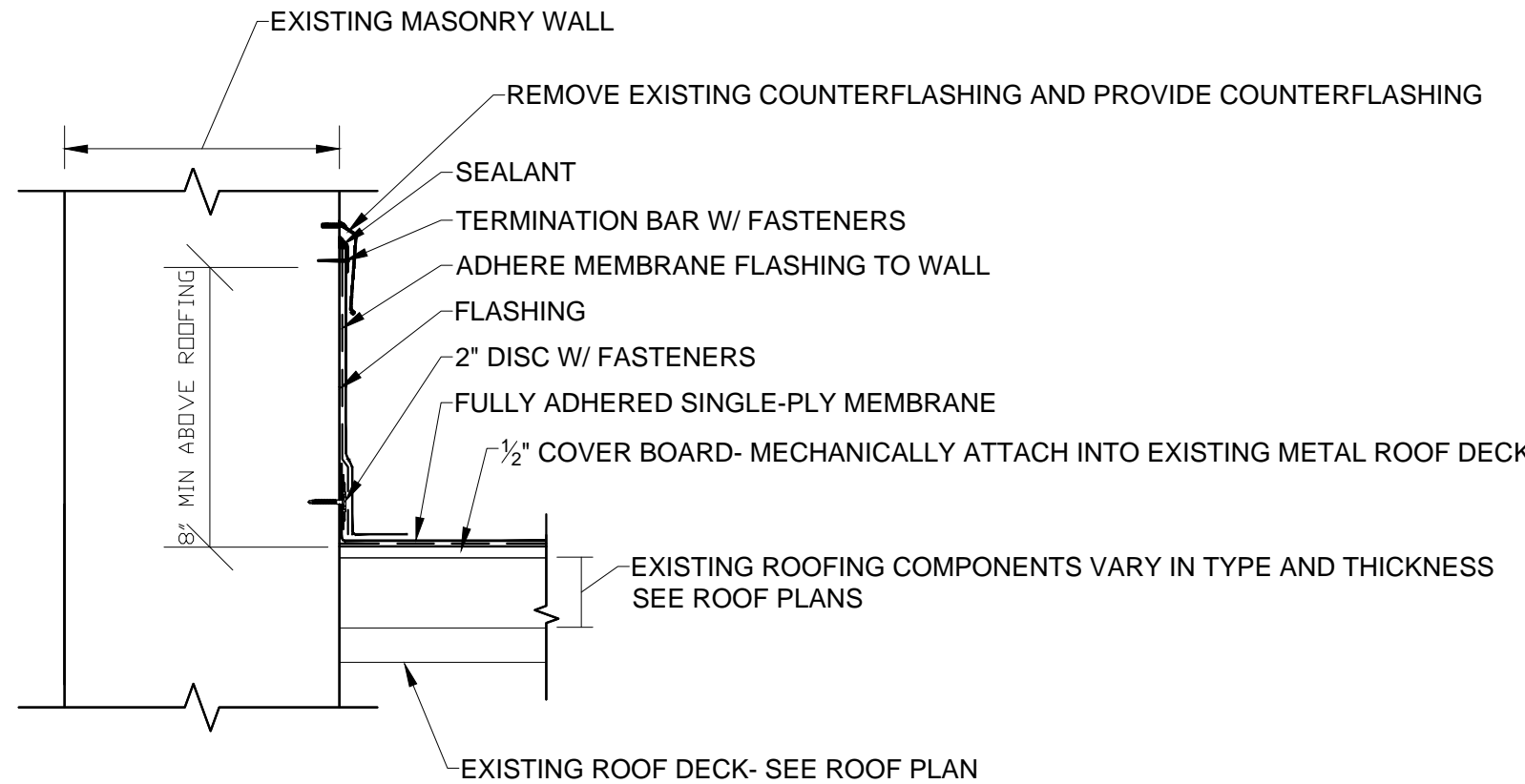
NOTE:
1. REMOVE EXISTING FLASHING

③ ROOF HATCH DETAIL
SCALE: 1 1/2" = 1'-0"



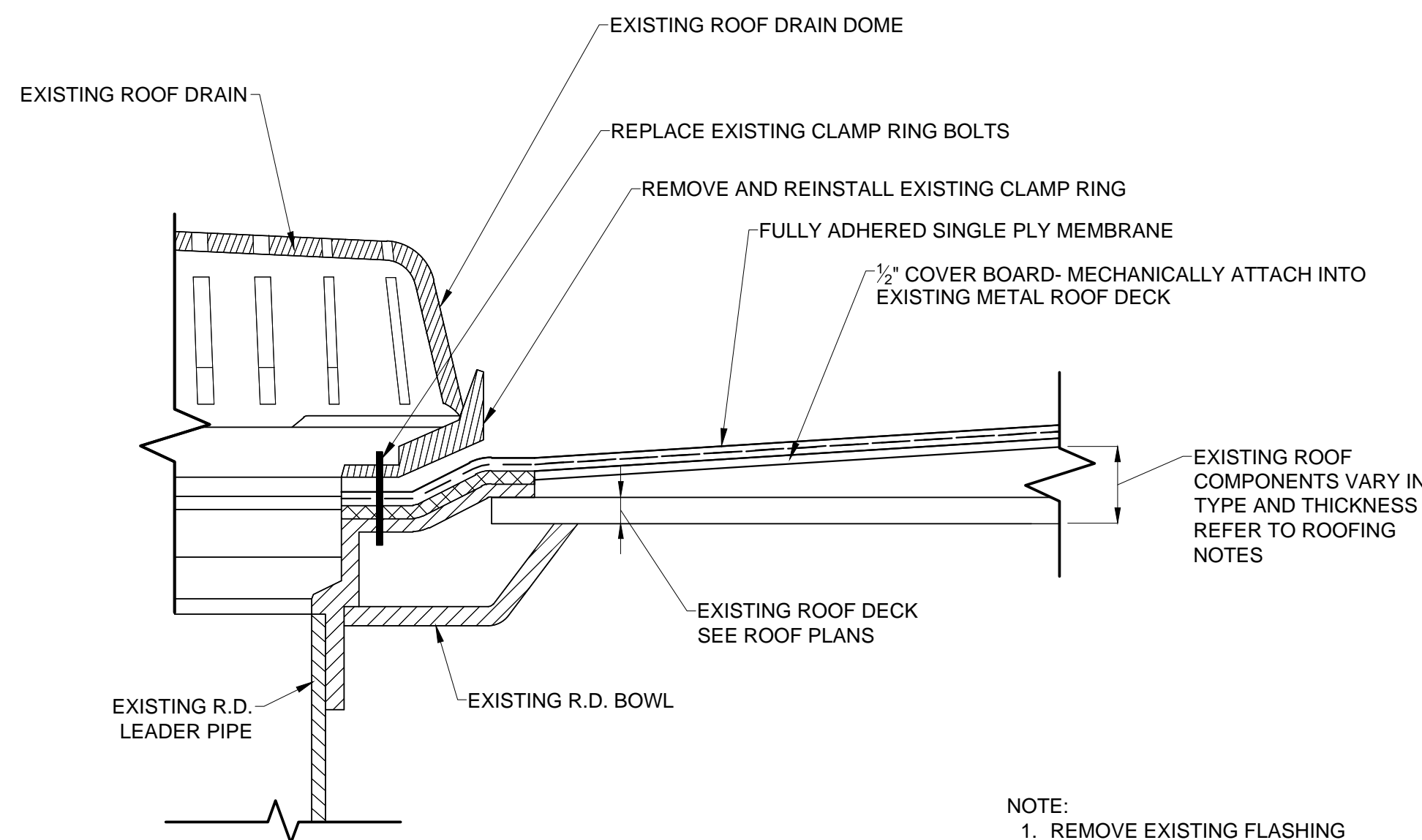
NOTE:
1. REMOVE EXISTING FLASHING

④ BASE OF WALL W/ EXPANSION JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



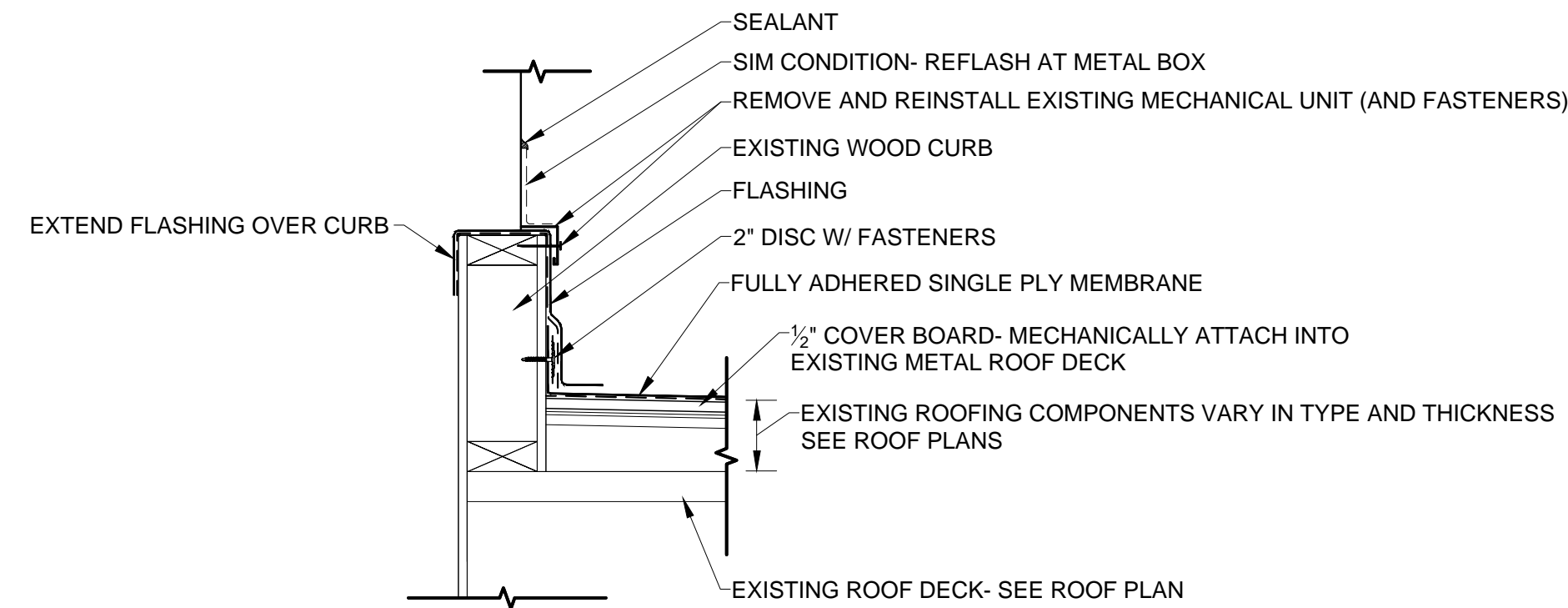
NOTE:
1. REMOVE EXISTING FLASHING

⑤ BASE OF WALL DETAIL
SCALE: 1 1/2" = 1'-0"



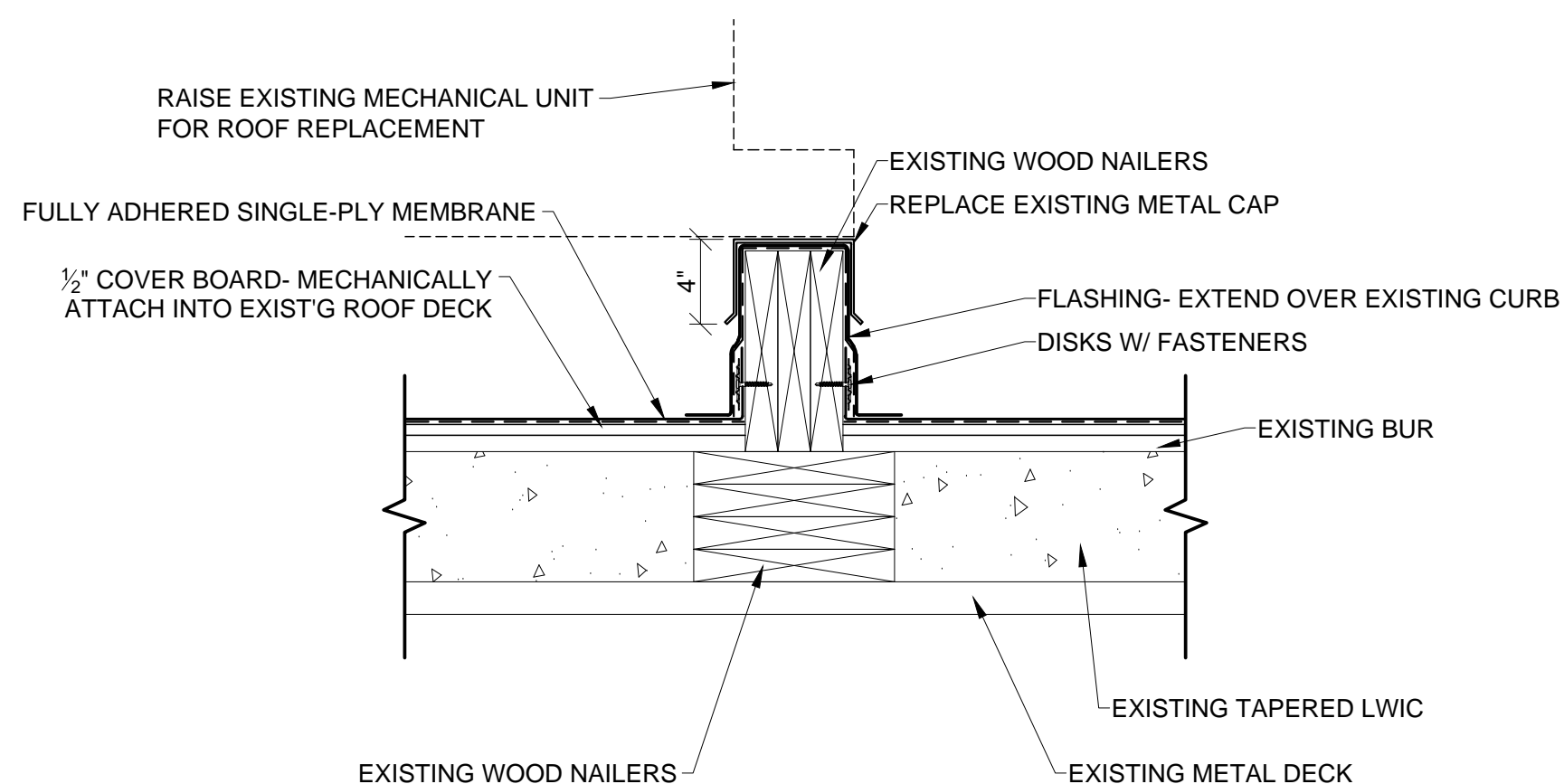
NOTE:
1. REMOVE EXISTING FLASHING

⑥ ROOF DRAIN DETAIL
SCALE: 1 1/2" = 1'-0"



NOTES:
1. REMOVE EXISTING FLASHING
2. RAISE CURB TO 8" ABOVE ROOFING AT ANY LOCATION WHERE EXISTING CONDITION IS LESS THAN 8"

⑦ MECHANICAL CURB DETAIL
SCALE: 1 1/2" = 1'-0"



NOTE:
1. REMOVE EXISTING MEMBRANE FLASHING
2. REMOVE EXISTING ROOFING- SEE ROOFING PLAN FOR NOTES

⑧ MECHANICAL SUPPORT CURB
SCALE: 1 1/2" = 1'-0"



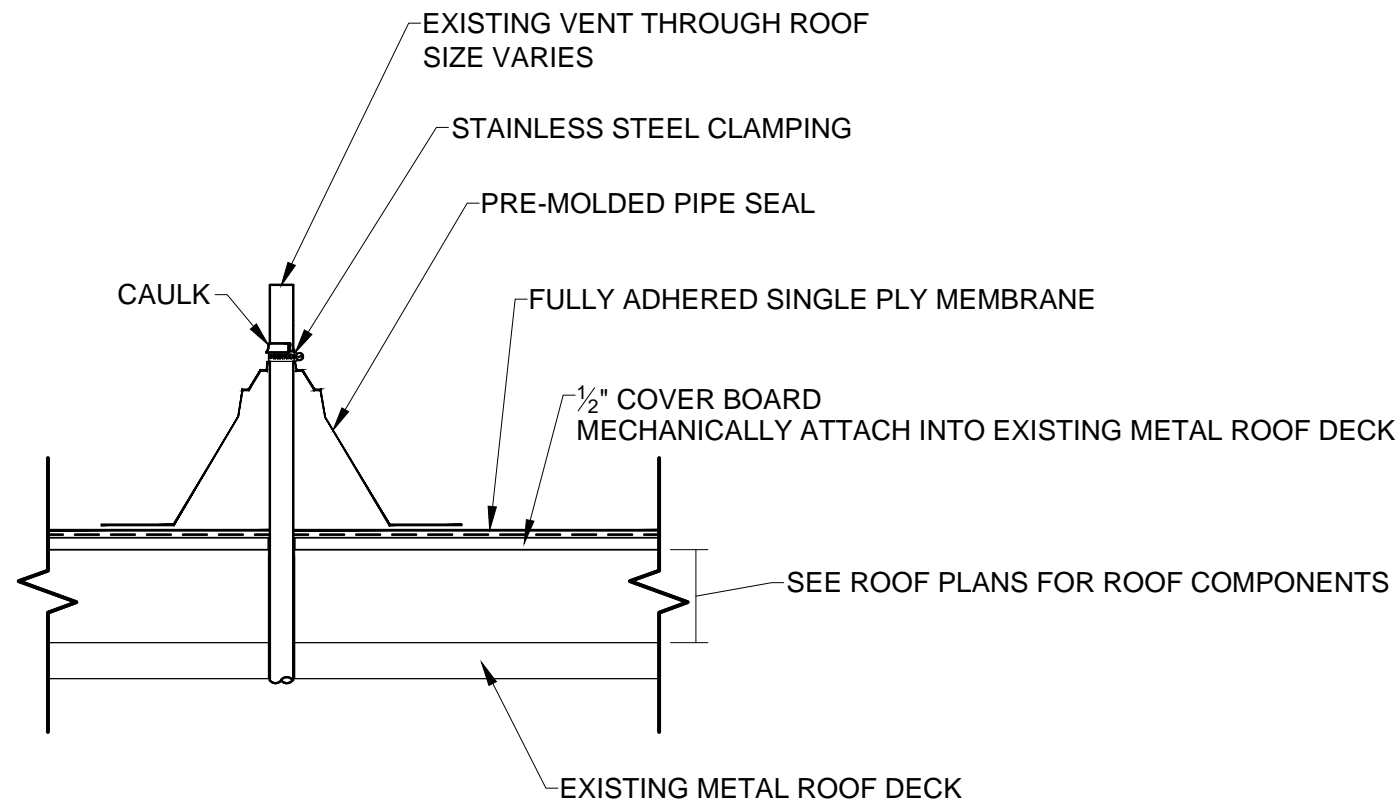
HCPS ROOF REPLACEMENTS AT WHHS/EHHS

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Drawn: A. Rognas
Date: 4/21/25
Revisions: _____

DETAILS

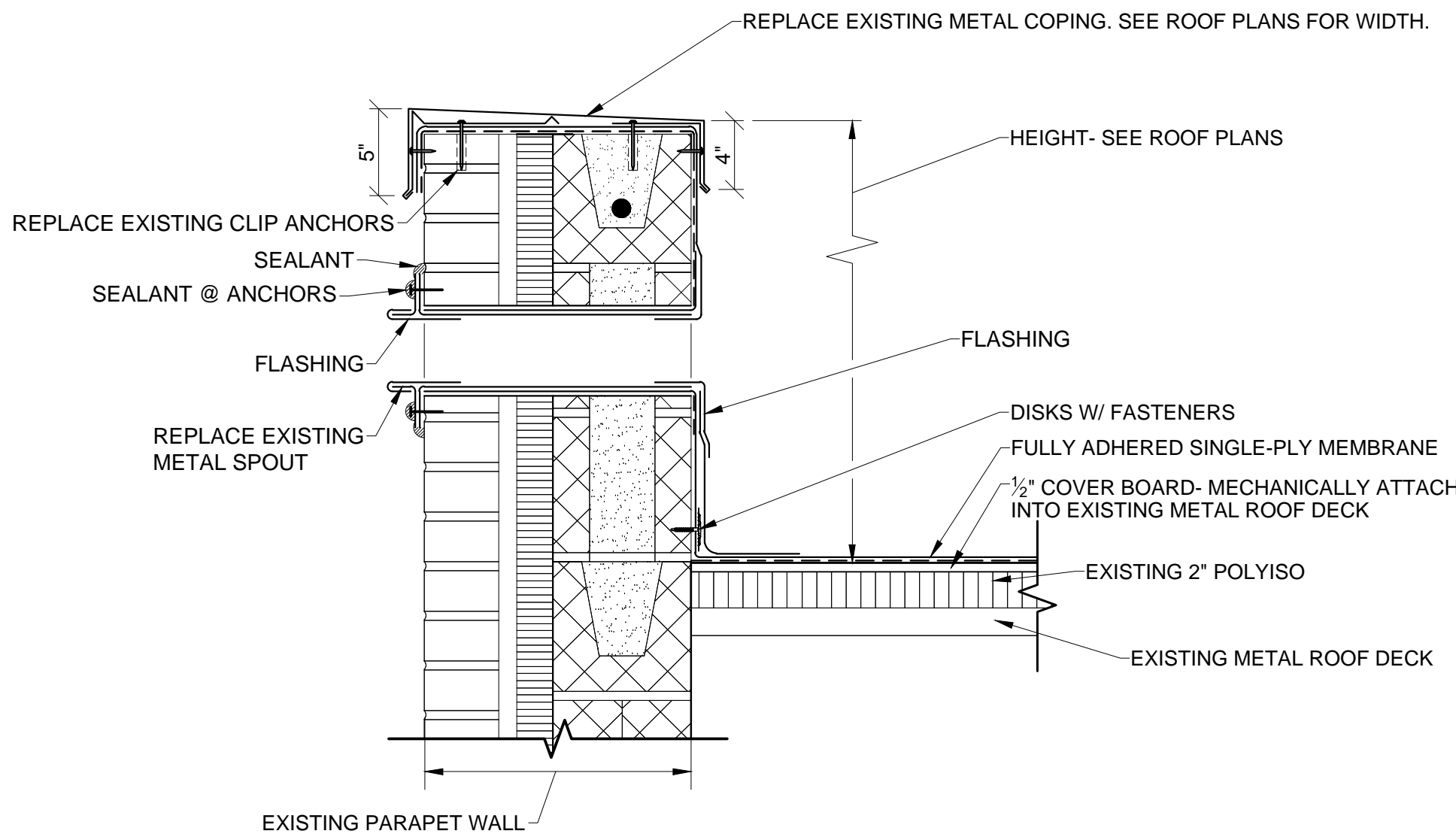
A301

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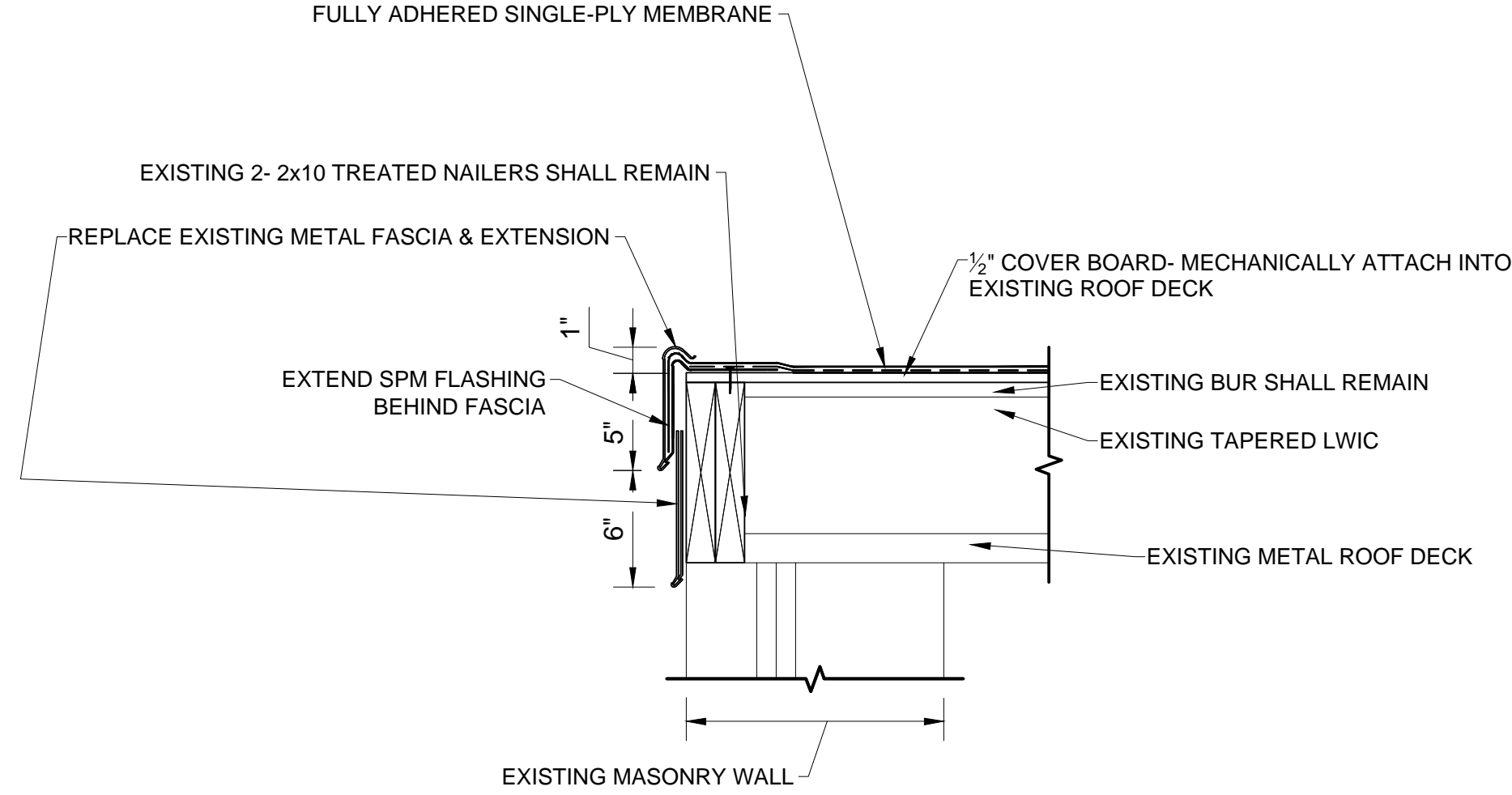
- NOTES:
1. RAISE VENT PIPE TO 8" ABOVE ROOFING
 2. REMOVE EXISTING PRE-MOLDED PIPE SEAL
 3. REMOVE EXISTING ROOFING- SEE ROOF PLAN ROOFING NOTES

① PLUMBING VENT DETAIL
SCALE: 1 1/2" = 1'-0"



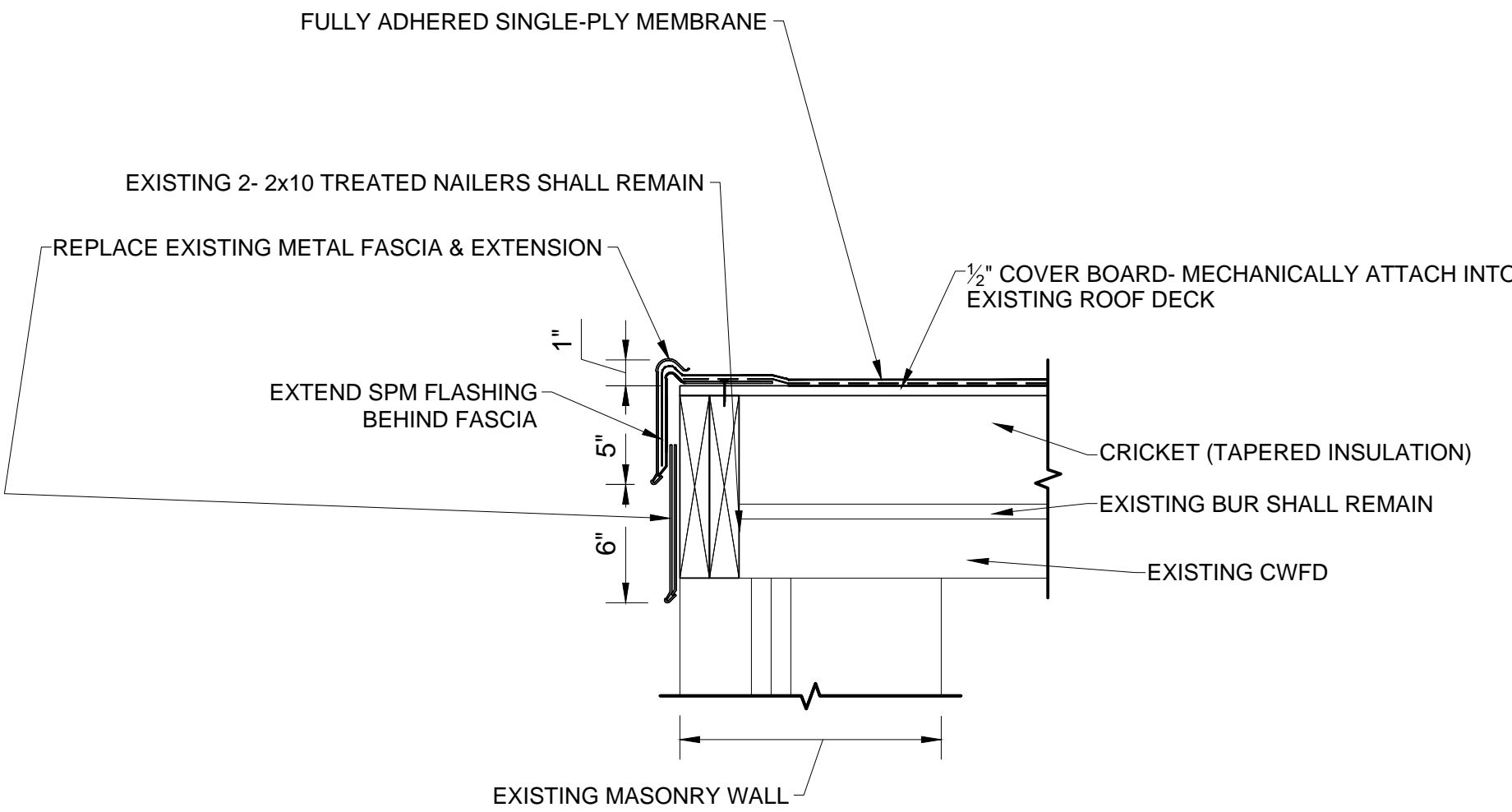
- NOTES:
1. REMOVE EXISTING ROOFING- SEE ROOF PLAN ROOFING NOTES
 2. SIM CONDITION- WITHOUT SCUPPER

② PARAPET WALL DETAIL
SCALE: 1 1/2" = 1'-0"



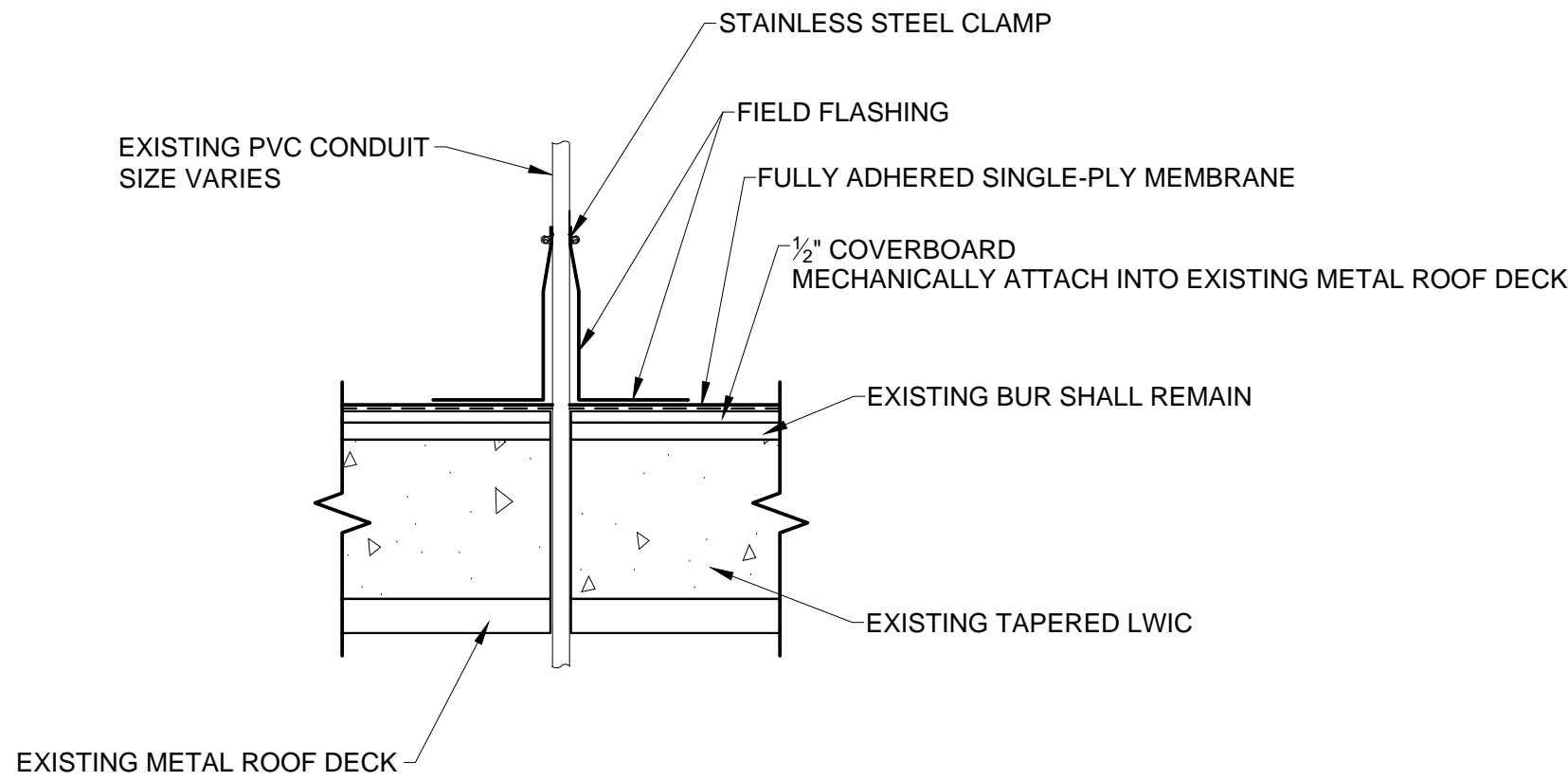
- NOTE:
- REMOVE EXISTING ROOFING- SEE ROOFING PLAN FOR NOTES

③ ROOF EDGE TERMINATION
SCALE: 1 1/2" = 1'-0"



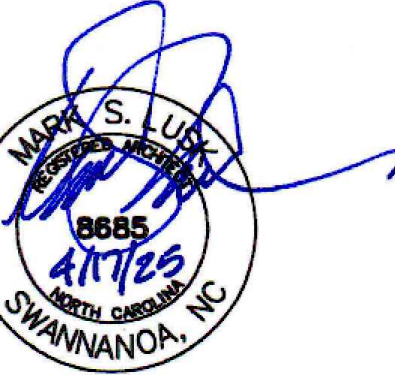
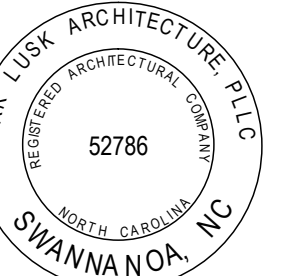
- NOTE:
- REMOVE EXISTING ROOFING- SEE ROOFING PLAN FOR NOTES

④ ROOF EDGE TERMINATION
SCALE: 1 1/2" = 1'-0"



- NOTE:
1. REMOVE EXISTING FIELD FLASHING

⑤ FIELD FLASHING PIPE DETAIL
SCALE: 1 1/2" = 1'-0"



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DETAILS

A302