HCPS ROOF REPLACEMENTS AT WHHS, NHHS, HMS & FRMS

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128 WOODBURN DR SWANNANOA, NC 28778

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OWNER

HENDERSON COUNTY
HENDERSON COUNTY PUBLIC SCHOOLS

CONTACTS

OWNER REPRESENTATIVE

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ARCHITECT

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LIST OF DRAWINGS	
T101	COVER SHEET
	ARCHITECTURAL
A201	BUILDING Z ROOF PLAN - WHHS
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NORTH CAROLINA BUILDING CODE SUMMARY

- 1. PER N.C.G.S. 143-138(b15): BUILDINGS CONSTRUCTED BEFORE 2012 ARE EXCLUDED FROM THE CURRENT CODE AND ARE SUBJECT TO THE 2009 NC ENERGY CONSERVATION CODE. R-VALUE MIN. SHALL BE R-15, FOR CLIMATE ZONE 4 (NON-MARINE)
- 2. NC ENERGY CONSERVATION CODE 503.1 EXCEPTION 2.e: REROOF SHALL NOT BE LESS THAN THE CONDITIONS/DESIGN PRIOR TO ROOF REPLACEMENT
- 3. 1511.1 EXCEPTIONS 1&2: REPLACEMENT SHALL NOT BE REQUIRED TO MEET THE SLOPE REQUIREMENT OF $\frac{1}{4}$ " PER FOOT OR PROVIDE SECONDARY DRAINS OR SCUPPERS
- 4. 1511.3.1.1 EXCEPTIONS 3: ROOF RECOVERING SHALL NOT BE PERMITTED OVER WATER SOAKED ROOFING OR OVER 2 OR MORE ROOF APPLICATIONS

NOTES:

- 1. WHHS BLDG Z APPROXIMATE ROOF SQUARE FOOTAGE: 15,800 SF
- 2. WHHS BLDG Z-1 APPROXIMATE ROOF SQUARE FOOTAGE: 4,500 SF
- 3. WHHS BLDG Y-1 APPROXIMATE ROOF SQUARE FOOTAGE: 8,500 SF
- 4. WHHS MEDIA CENTER APPROXIMATE ROOF SQUARE FOOTAGE: 7,300 SF
- 5. NHHS WEIGHT ROOM APPROXIMATE ROOF SQUARE FOOTAGE: 1,200 SF
- 6. FRMS WALKWAY CANOPY APPROXIMATE ROOF SQUARE FOOTAGE: 2,100 SF
- 7. HMS WALK/ENTRY APPROXIMATE ROOF SQUARE FOOTAGE: 2,300 SF

ABBREVIATIONS:

- 1. REPLACE= REMOVE EXISTING AND PROVIDE AS SHOWN AND SPECIFIED
- 2. RD= ROOF DRAIN
- 3. CMU= CONCRETE MASONRY UNITS
- 4. CWFD= CEMENTITIOUS WOOD FIBER DECK
- 5. POLYISO= POLYISOCYANURATE
- 6. DS= DOWNSPOUT
- 7. SPM= SINGLE PLY MEMBRANE
- 8. EPS= EXPANDED POLYSTYRENE
- 9. BUR= BUILT UP ROOFING

BID ALTERNATES

ALTERNATE NO. 1 - BUILDING Y-1 ROOF ALTERNATE NO. 2 - HMS WALK/ENTRY ROOFS





HCPS ROOF REPLACEMENTS AT WHHS, NHHS, HMS & FRMS

Project Number: 23002

Checked: Drawn: A. Rognas

Date: 9/5/23

COVER SHEET

T101

1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.

- 2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- 3. RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- 4. CRICKETS SHALL SLOPE AT ½" PER FOOT.
- 5. EXISTING ELECTRIC COMPONENTS, REFRIGERANT LINES, MECHANICAL UNITS, SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.
- 6. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 7. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 8. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- 9. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

FULLY ADHERED SPM (EPDM) MEMBRANE $\frac{1}{2}$ " FIBERBOARD BUILT-UP ROOFING

TAPERED PERLITE INSULATION $(1\frac{1}{2}$ "- $5\frac{1}{4}$ "±) VAPOR BARRIER CWFD

2. DEMOLITION: REMOVE EXISTING SPM & FIBERBOARD. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. THE EXISTING VAPOR BARRIER, PERLITE INSULATION, AND B.U. ROOFING SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND $\frac{1}{4}$ " COVER BOARD OVER EXISTING B.U. ROOFING. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.



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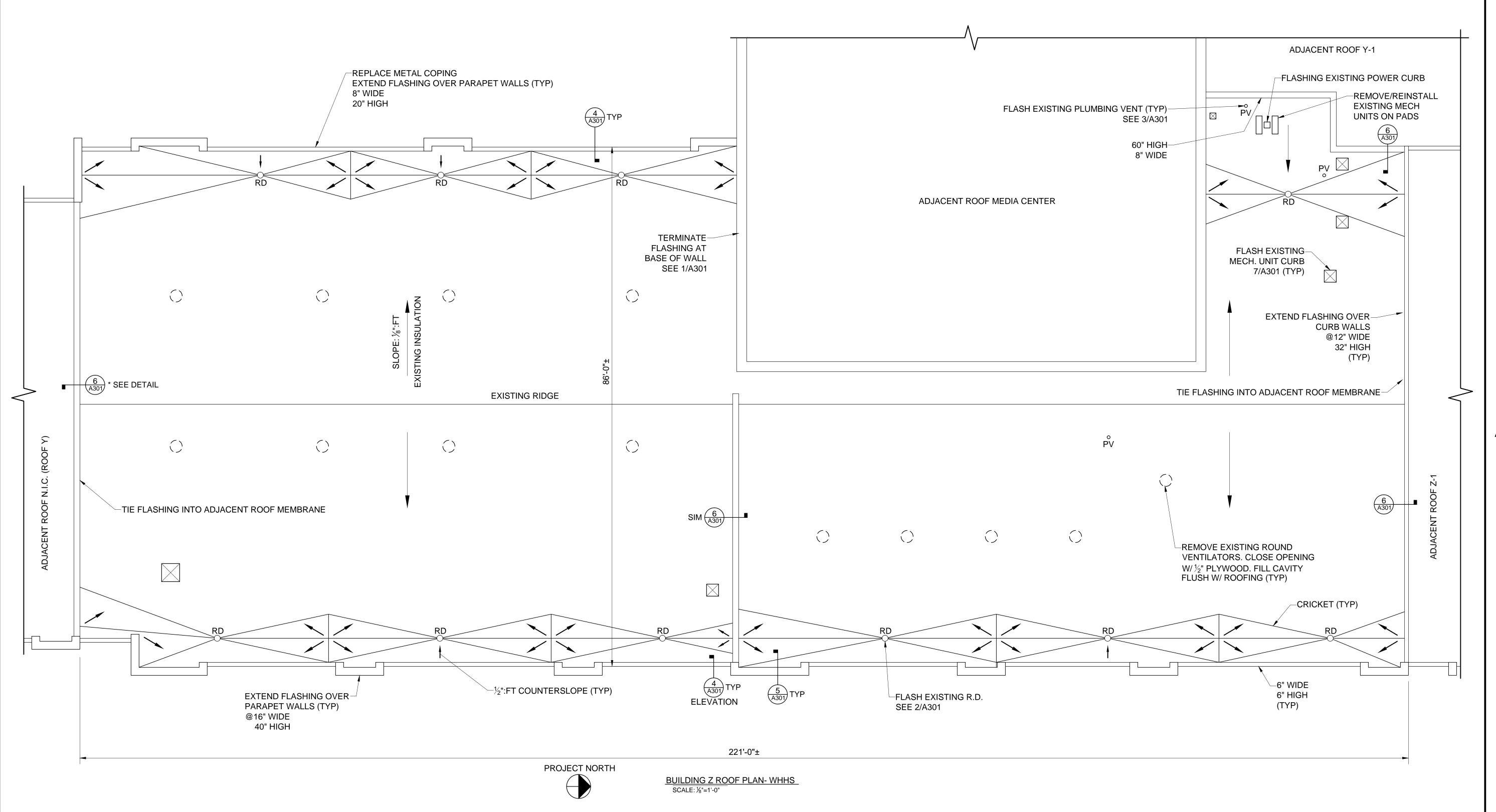
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BUILDING Z ROOF PLAN-WEST HENDERSON HIGH



- 1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- 2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- 3. RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- 4. CRICKETS SHALL SLOPE AT ½" PER FOOT.
- 5. EXISTING ELECTRIC COMPONENTS AND MECHANICAL UNITS SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.
- 6. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 7. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 8. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- 9. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

STONE BALLAST

- LOOSE LAID SPM (EPDM) MEMBRANE
- ½" FIBERBOARD
- 2" POLYISO INSULATION½" GYPSUM BOARD
- METAL ROOF DECK (SLOPES)
- 2. DEMOLITION: REMOVE EXISTING STONE BALLAST. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING SPM (AND BELOW) ROOFING SHALL REMAIN.
- 3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND $\frac{1}{4}$ " COVER BOARD OVER EXISTING SPM ROOFING. ATTACH $\frac{1}{4}$ " COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK. CUT OPEN EXISTING EPDM.



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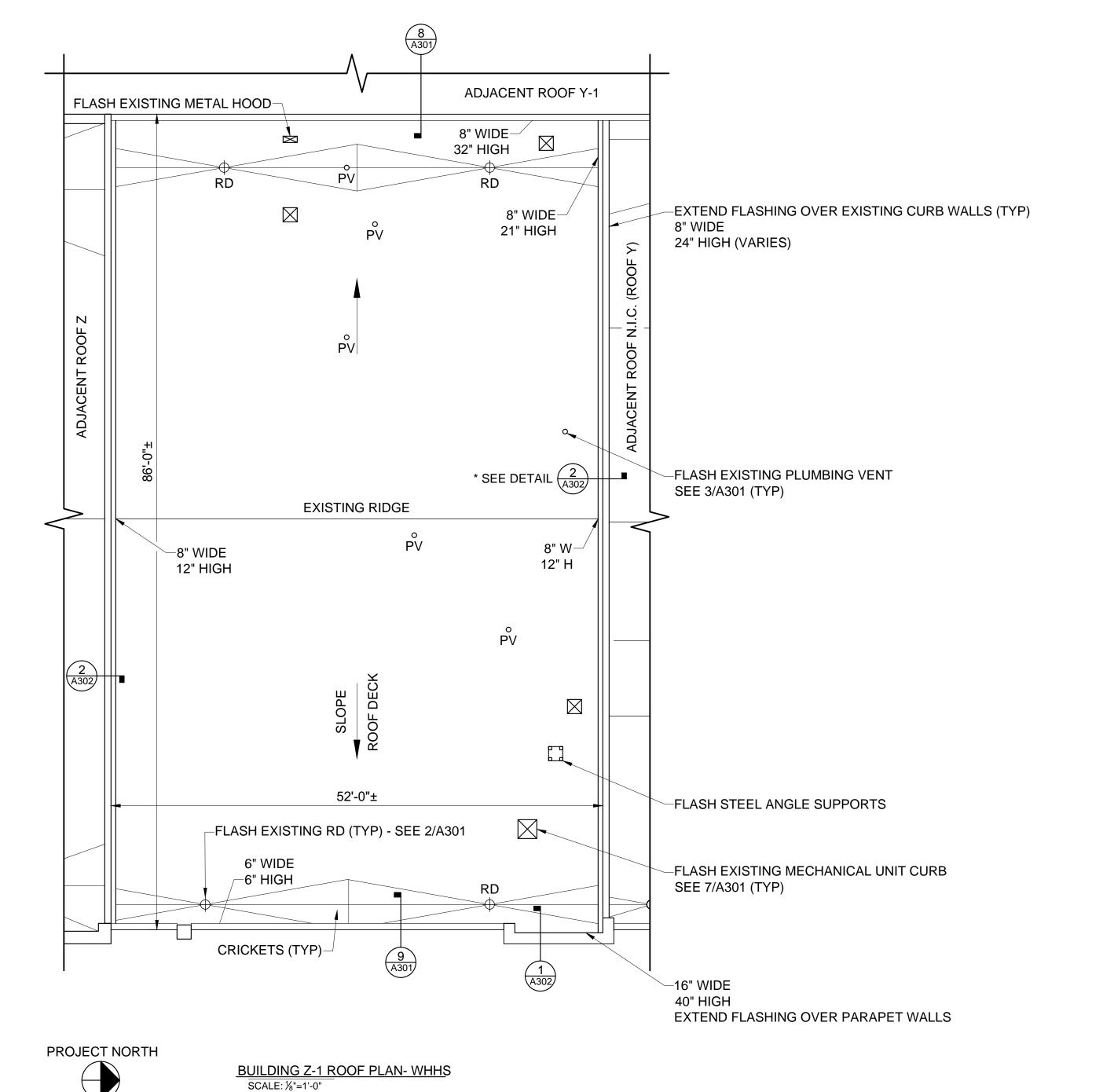
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Date: 9/5

BUILDING Z-1 ROOF PLAN-WEST HENDERSON HIGH



- 1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- 2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- 3. RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- 4. CRICKETS SHALL SLOPE AT ½" PER FOOT.
- 5. EXISTING ELECTRIC COMPONENTS AND MECHANICAL UNITS SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.
- 6. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 7. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 8. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- 9. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

STONE BALLAST

• LOOSE LAID SPM (EPDM) MEMBRANE

• ½" FIBERBOARD

ROOFING SHALL REMAIN.

• 1½" POLYISO INSULATION • ½" GYPSUM BOARD

• METAL ROOF DECK(SLOPES)

- 2. DEMOLITION: REMOVE EXISTING STONE BALLAST. REMOVE EXISTING ROOFING SYSTEM
- 3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 1/4" COVER BOARD OVER EXISTING SPM ROOFING. ATTACH $\frac{1}{4}$ " COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK. CUT OPEN EXISTING EPDM.

COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING SPM (AND BELOW)

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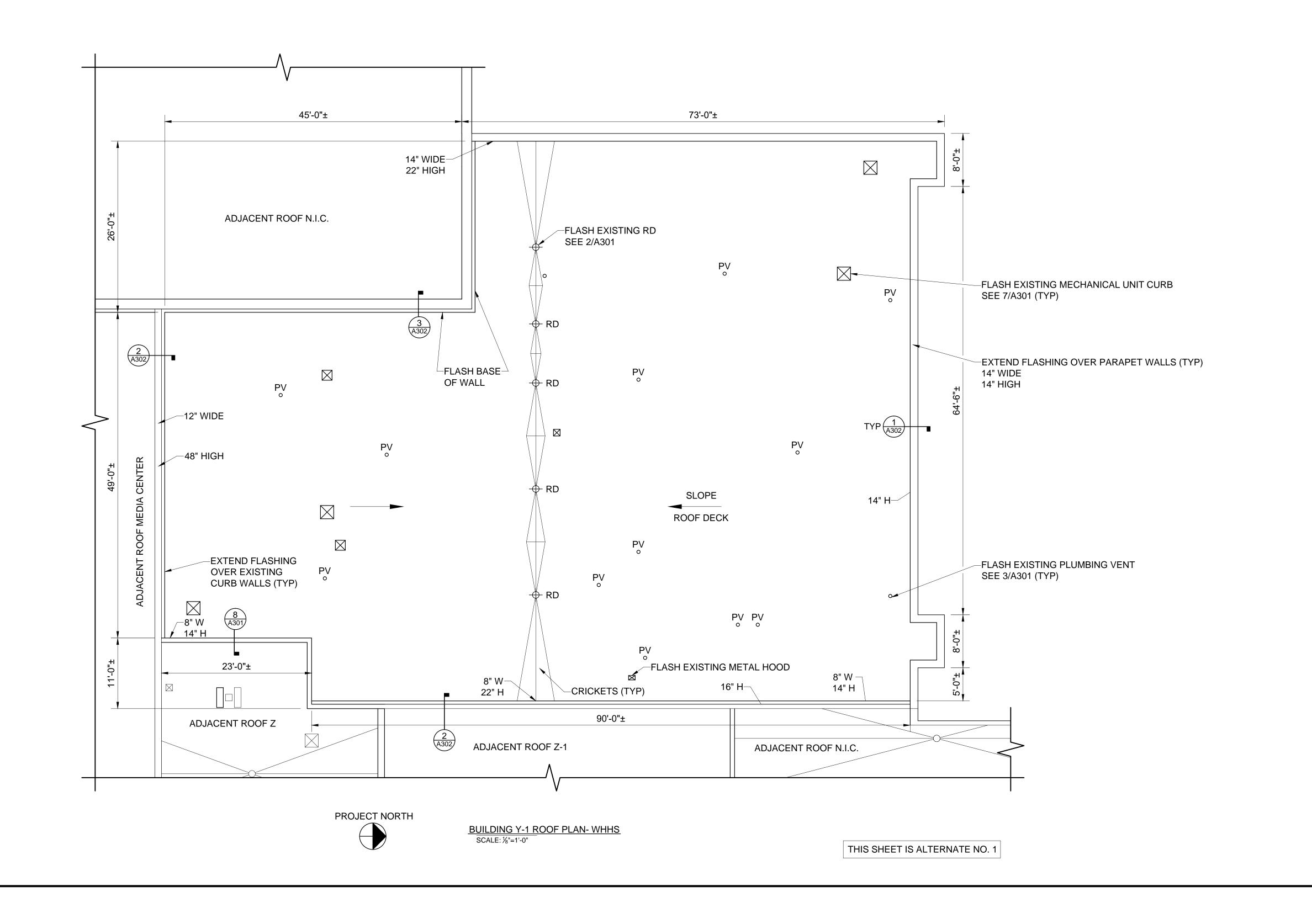




HCPS ROOF REPLACEMENTS AT WHHS, NHHS, HMS & FRMS

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BUILDING Y-1 ROOF PLAN-WEST HENDERSON HIGH



- 1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- 2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- 3. RAISE EXISTING VP'S TO 8" ABOVE ROOFING. .
- 4. CRICKETS SHALL SLOPE AT $\frac{1}{2}$ " PER FOOT.
- 5. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 6. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 7. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- 8. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

• STONE BALLAST

• LOOSE LAID SPM (EPDM) MEMBRANE

½"FIBERBOARDSPM (PVC) MEMBRANE

• ½" EPS

• 1½" POLYISO INSULATION

• 5%" GYPSUM BOARD • METAL ROOF DECK

- 2. DEMOLITION: REMOVE EXISTING STONE BALLAST, EPDM MEMBRANE, $\frac{1}{2}$ " FIBERBOARD, PVC MEMBRANE, AND $\frac{1}{2}$ " EPS. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING $\frac{1}{2}$ " POLYISO INSULATION (AND BELOW) SHALL REMAIN.
- 3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND $\frac{1}{4}$ " COVER BOARD OVER EXISTING $\frac{1}{2}$ " POLYISO INSULATION. ATTACH $\frac{1}{4}$ " COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK.



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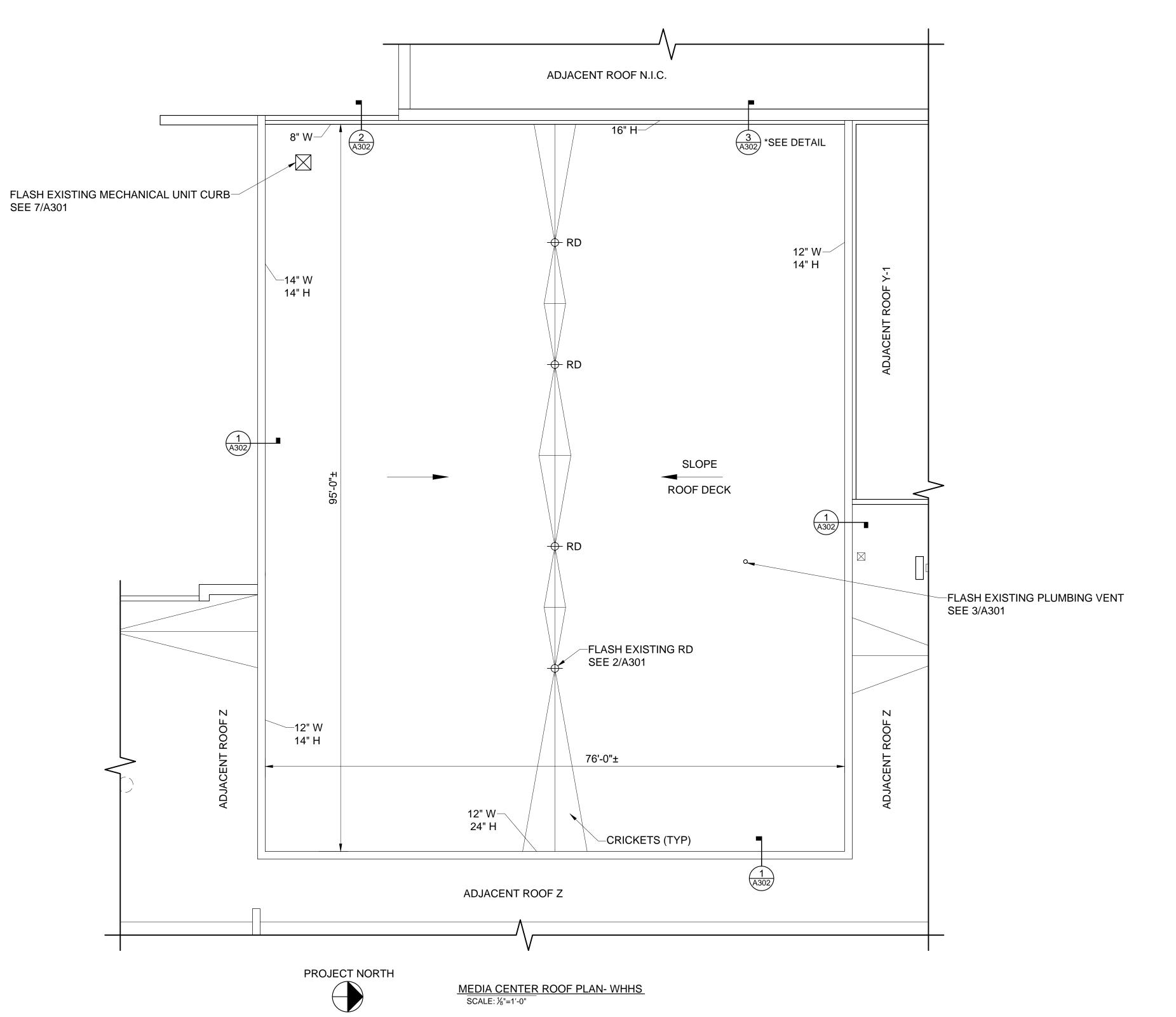
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MEDIA CENTER ROOF PLAN-WEST HENDERSON HIGH



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- 2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- 3. CRICKETS SHALL SLOPE AT ½" PER FOOT.
- 4. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 5. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 6. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

- FULLY ADHERED SPM (EPDM) MEMBRANE
- TAPERED INSULATION (3"-7½"±)
 METAL ROOF DECK
- 2. DEMOLITION: REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING SPM (AND BELOW) SHALL REMAIN.
- 3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND $\frac{1}{4}$ " COVER BOARD OVER EXISTING SPM ROOFING. ATTACH 1/4" COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK. CUT OPEN EXISTING EPDM.

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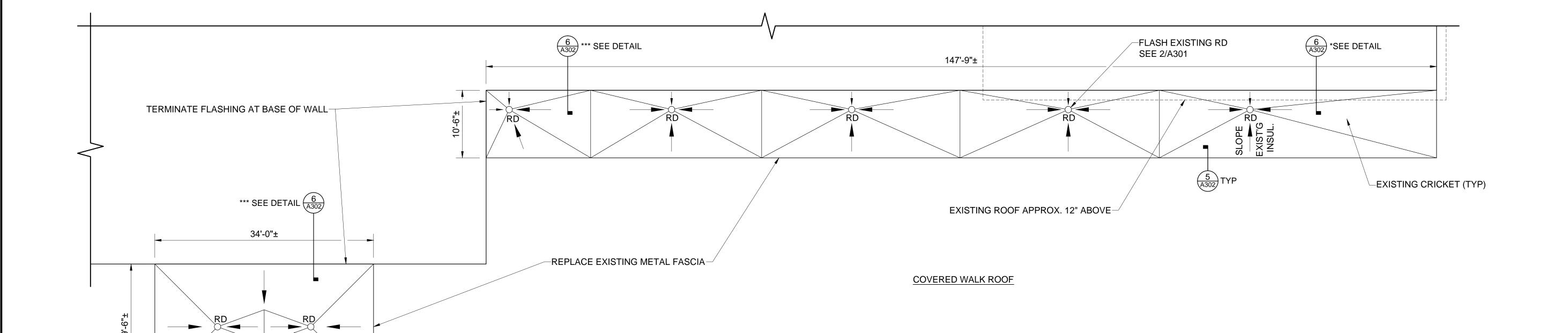


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> Project Number: 23002 Checked:_ Drawn: A. Rognas

HENDERSONVILLE MIDDLE WALK/ENTRY ROOFS

A205



ENTRY ROOF

EXISTING CRICKET

PROJECT NORTH

HENDERSONVILLE MIDDLE- WALK/ENTRY ROOFS SCALE: 1/8"=1'-0"

THIS SHEET IS ALTERNATE NO. 2

1. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.

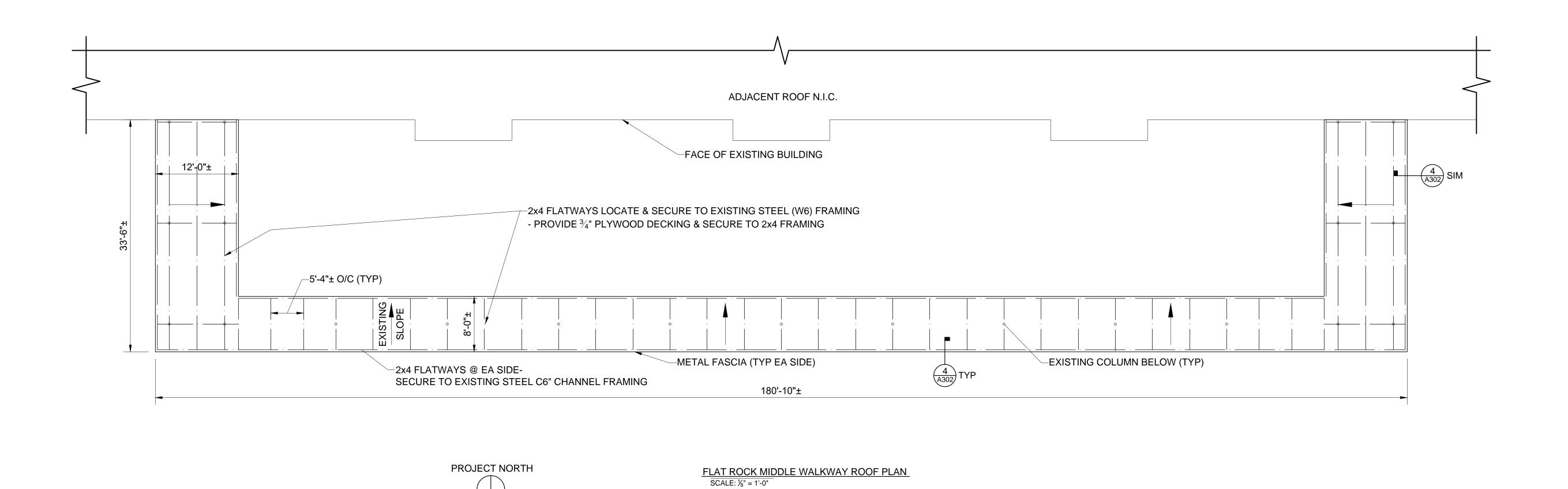
- 2. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 3. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 4. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

- 1. EXISTING ROOFING COMPONENTS:
 - BUILT-UP ROOFING
 - VAPOR BARRIER
- CWFD
- 2. A. EXISTING VAPOR BARRIER AND B.U. ROOFING SHALL REMAIN
- B. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND ¾" PLYWOOD. ATTACH ¾" PLYWOOD TO 2x4's THROUGH INTO EXISTING CWFD AND STEEL FRAMING.

METAL SOFFIT NOTES

- 1. PROVIDE PREFINISHED ALUMINUM SOFFIT BELOW WALKWAY ROOF STRUCTURE AND FASCIA CLADDING
- 2. ATTACH TO EXISTING STEEL STRUCTURE. PROVIDE PRESSURE TREATED WOOD BLOCKING AND NAILERS



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FLAT ROCK
MIDDLE
WALKWAY
ROOF PLAN

- 1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- 2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- 3. CRICKETS SHALL SLOPE AT $\frac{1}{2}$ " PER FOOT.
- 4. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- 5. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- 6. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

- FULLY ADHERED SPM (PVC) MEMBRANE
- FULLY ADHERED SPM (PVC) MEMBRANE (SECOND LAYER)
- 1½" POLYISO INSULATION
- METAL ROOF DECK
- 2. DEMOLITION: REMOVE EXISTING SPM (2 LAYERS). REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. EXISTING 1½" POLYISO INSULATION SHALL REMAIN.
- 3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND $\frac{1}{4}$ " COVER BOARD OVER EXISTING $\frac{1}{2}$ " POLYISO INSULATION. ATTACH $\frac{1}{4}$ " COVER BOARD THROUGH INTO EXISTING METAL ROOF DECK.



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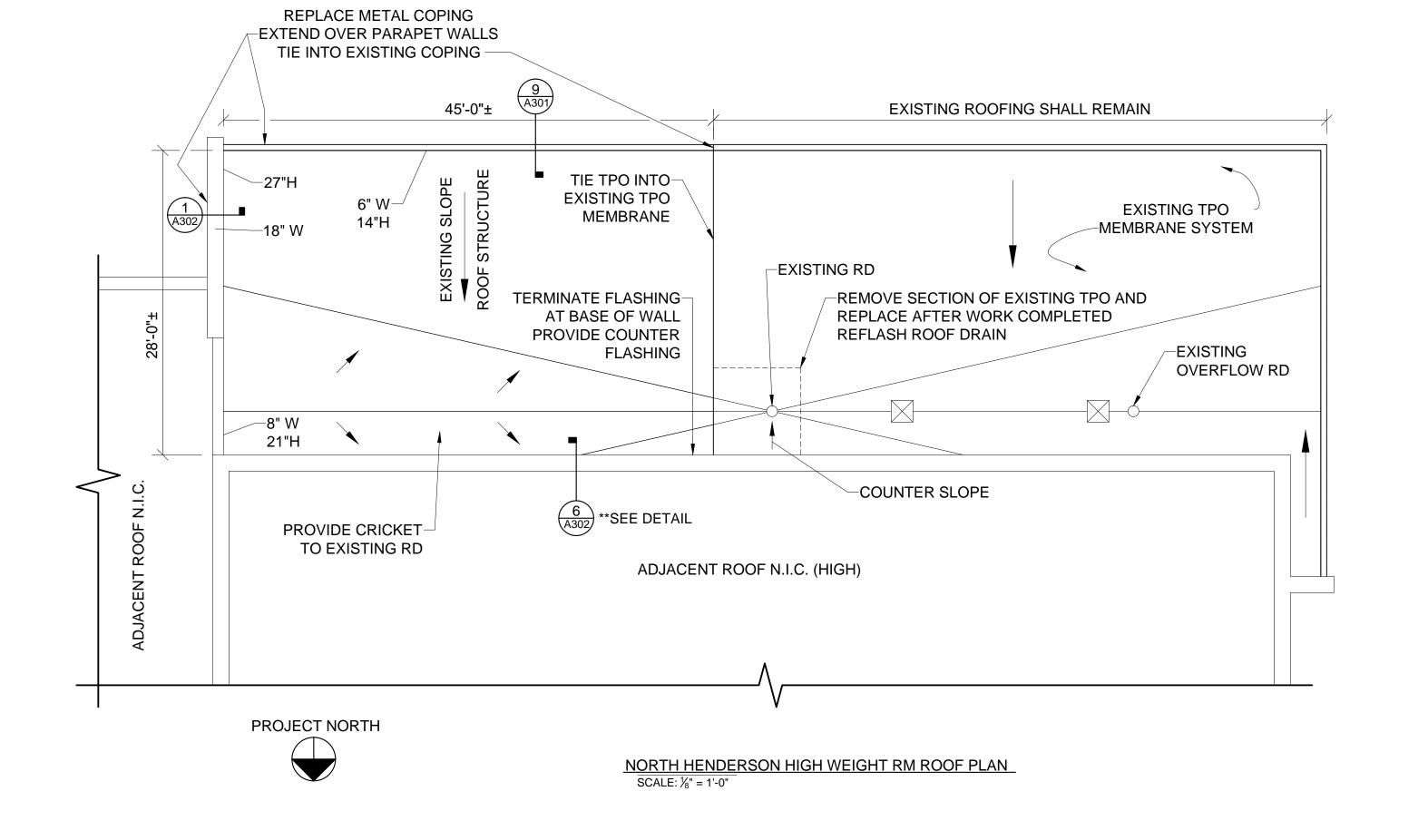
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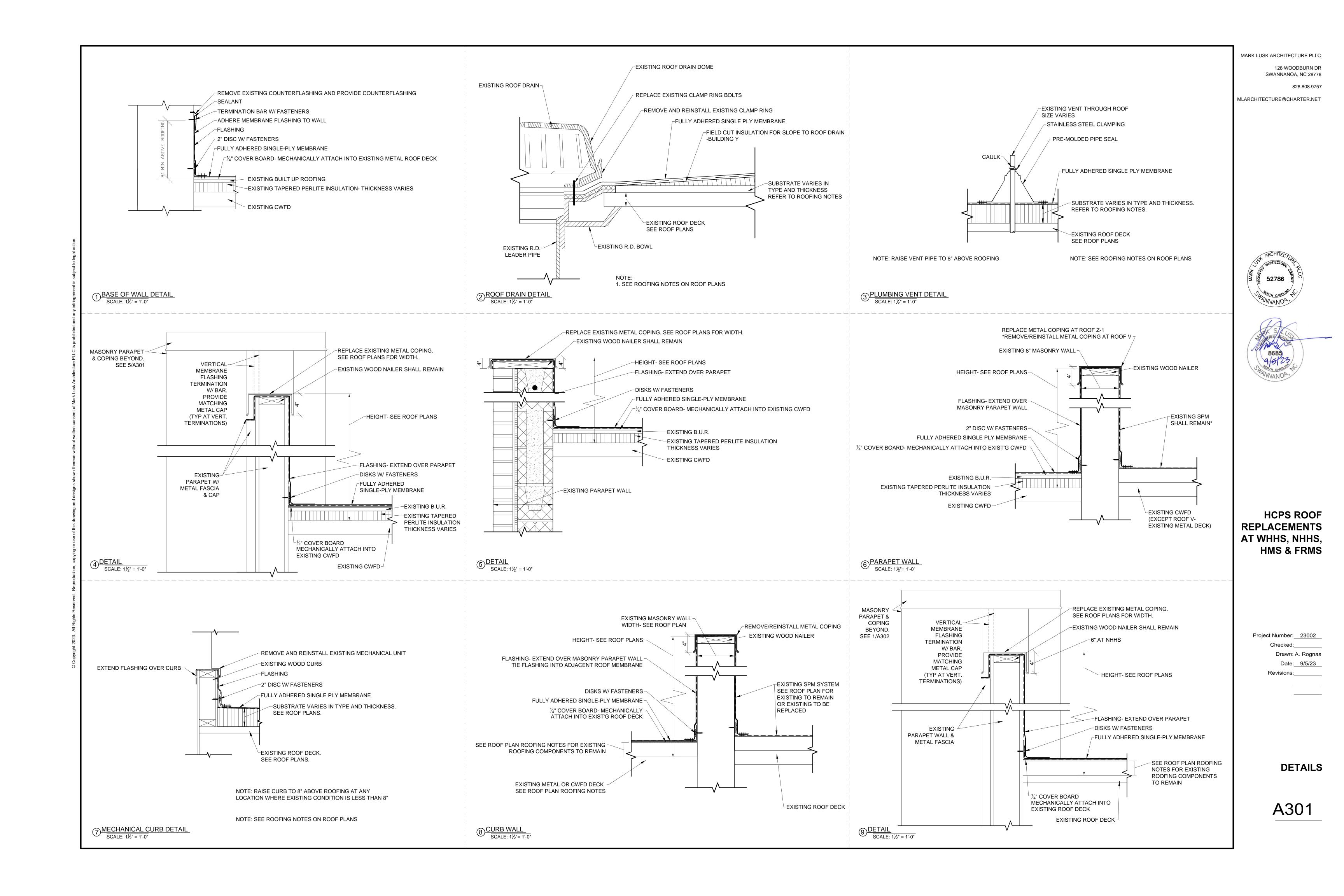
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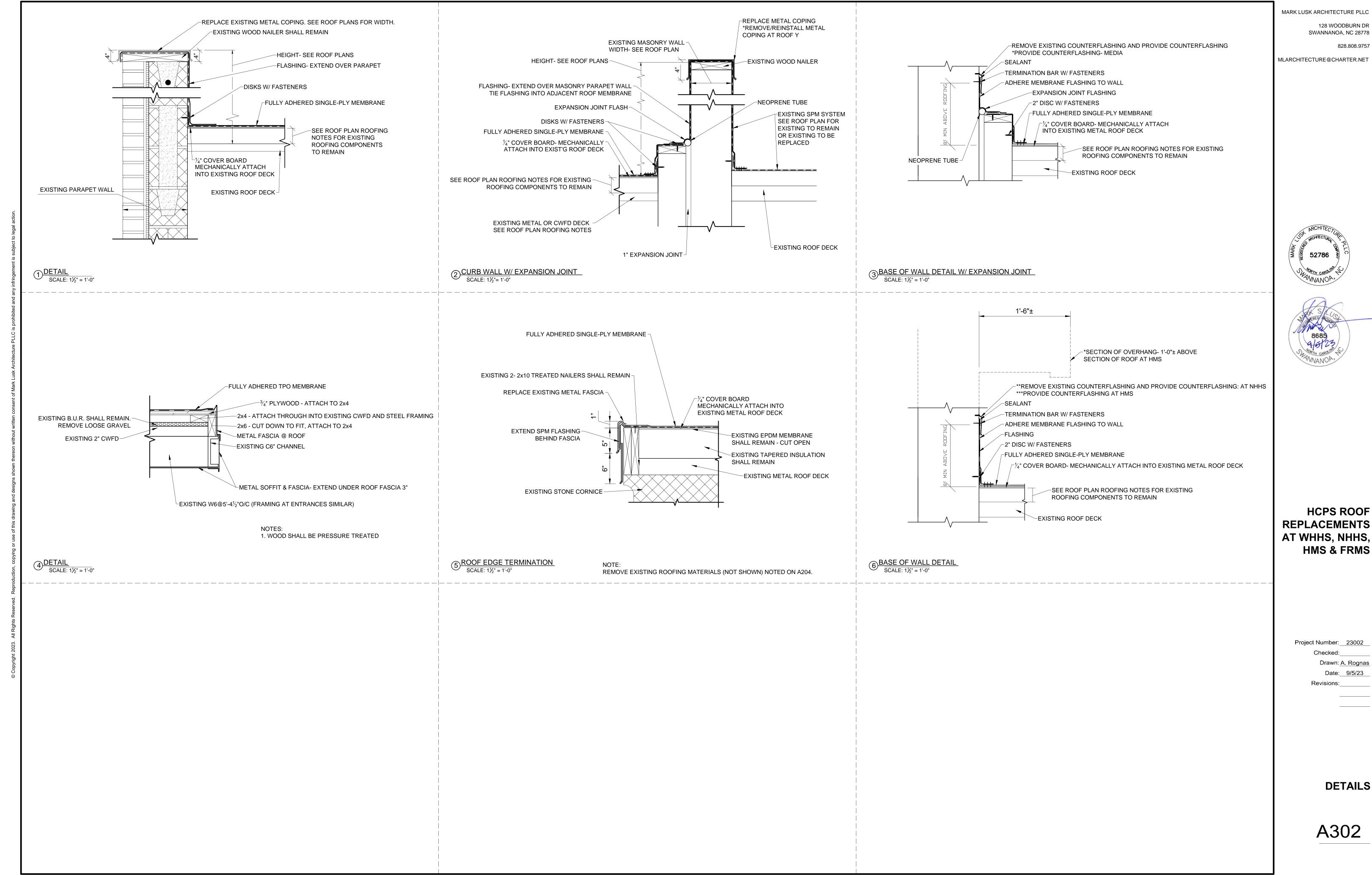
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NORTH HENDERSON HIGH WEIGHT RM ROOF PLAN







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> Checked:__ Drawn: A. Rognas Date: 9/5/23

> > **DETAILS**