

EHHS OLD GYM, WHHS BLDGS V, Y & Z ROOF REPLACEMENTS

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HENDERSON COUNTY PUBLIC SCHOOLS

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LIST OF DRAWINGS	
T101	COVER SHEET
ARCHITECTURAL	
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A202	BUILDING Z ROOF PLAN - WHHS
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NORTH CAROLINA BUILDING CODE SUMMARY

- PER N.C.G.S. 143-138(b15): BUILDINGS CONSTRUCTED BEFORE 2012 ARE EXCLUDED FROM THE CURRENT CODE AND ARE SUBJECT TO THE 2009 NC ENERGY CONSERVATION CODE. R-VALUE MIN. SHALL BE R-15, FOR CLIMATE ZONE 4 (NON-MARINE)
- NC ENERGY CONSERVATION CODE 503.1 EXCEPTION 2.e: REROOF SHALL NOT BE LESS THAN THE CONDITIONS/DESIGN PRIOR TO ROOF REPLACEMENT
- 1511.1 EXCEPTIONS 1&2: REPLACEMENT SHALL NOT BE REQUIRED TO MEET THE SLOPE REQUIREMENT OF $\frac{1}{4}$ " PER FOOT OR PROVIDE SECONDARY DRAINS OR SCUPPERS
- 1511.3.1.1 EXCEPTIONS 3: ROOF RECOVERING SHALL NOT BE PERMITTED OVER WATER SOAKED ROOFING OR OVER 2 OR MORE ROOF APPLICATIONS

NOTES:

- WHHS BLDG V APPROXIMATE ROOF SQUARE FOOTAGE: 11,300 SF
- WHHS BLDG Z APPROXIMATE ROOF SQUARE FOOTAGE: 15,800 SF
- WHHS BLDG Y APPROXIMATE ROOF SQUARE FOOTAGE: 9,500 SF
- EHHS OLD GYM APPROXIMATE ROOF SQUARE FOOTAGE: 19,000 SF

ABBREVIATIONS:

- REPLACE= REMOVE EXISTING AND PROVIDE AS SHOWN AND SPECIFIED
- RD= ROOF DRAIN
- CMU= CONCRETE MASONRY UNITS
- CWFD= CEMENTITIOUS WOOD FIBER DECK
- POLYISO= POLYISOCYANURATE
- DS= DOWNSPOUT

EHHS OLD GYM, WHHS BLDGS V, Y & Z ROOF REPLACEMENTS

Project Number: 21012
Checked: _____
Drawn: A. Roginas
Date: 8/12/21
Revisions: _____

COVER SHEET

T101

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GENERAL NOTES

- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

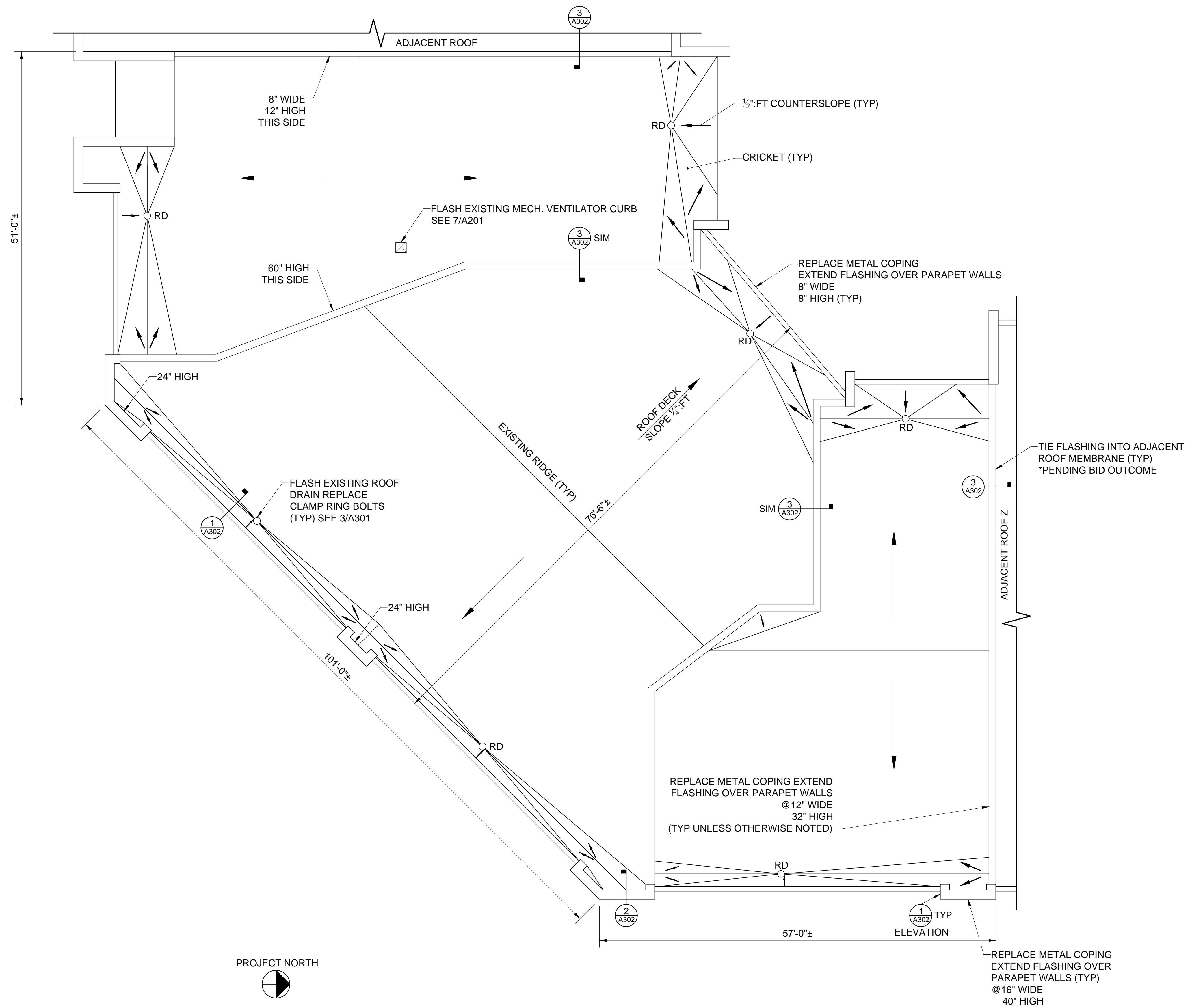
ROOFING NOTES

- EXISTING ROOFING COMPONENTS:

- FULLY ADHERED SPM MEMBRANE
- 1/2" UNDERLAYMENT BOARD
- 2" POLYISO INSULATION
- 5/8" GYPSUM BOARD
- METAL ROOF DECK- SLOPES

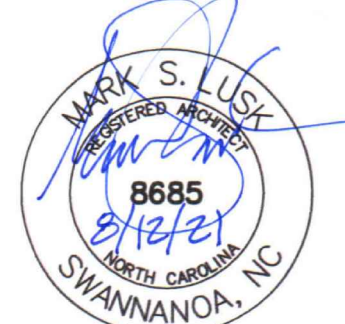
- DEMOLITION: CUT OPEN EXISTING SPM- SHALL REMAIN. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS AND FLASHING.

- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND COVER BOARD OVER EXISTING SPM. ATTACH INSULATION THROUGH INTO EXISTING ROOF DECK.



BUILDING V ROOF PLAN- WHHS
SCALE: 1/8"=1'-0"

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**EHHS OLD GYM,
WHHS BLDGS
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ROOF
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**BUILDING V
ROOF PLAN-
WEST
ENDERSON
HIGH**

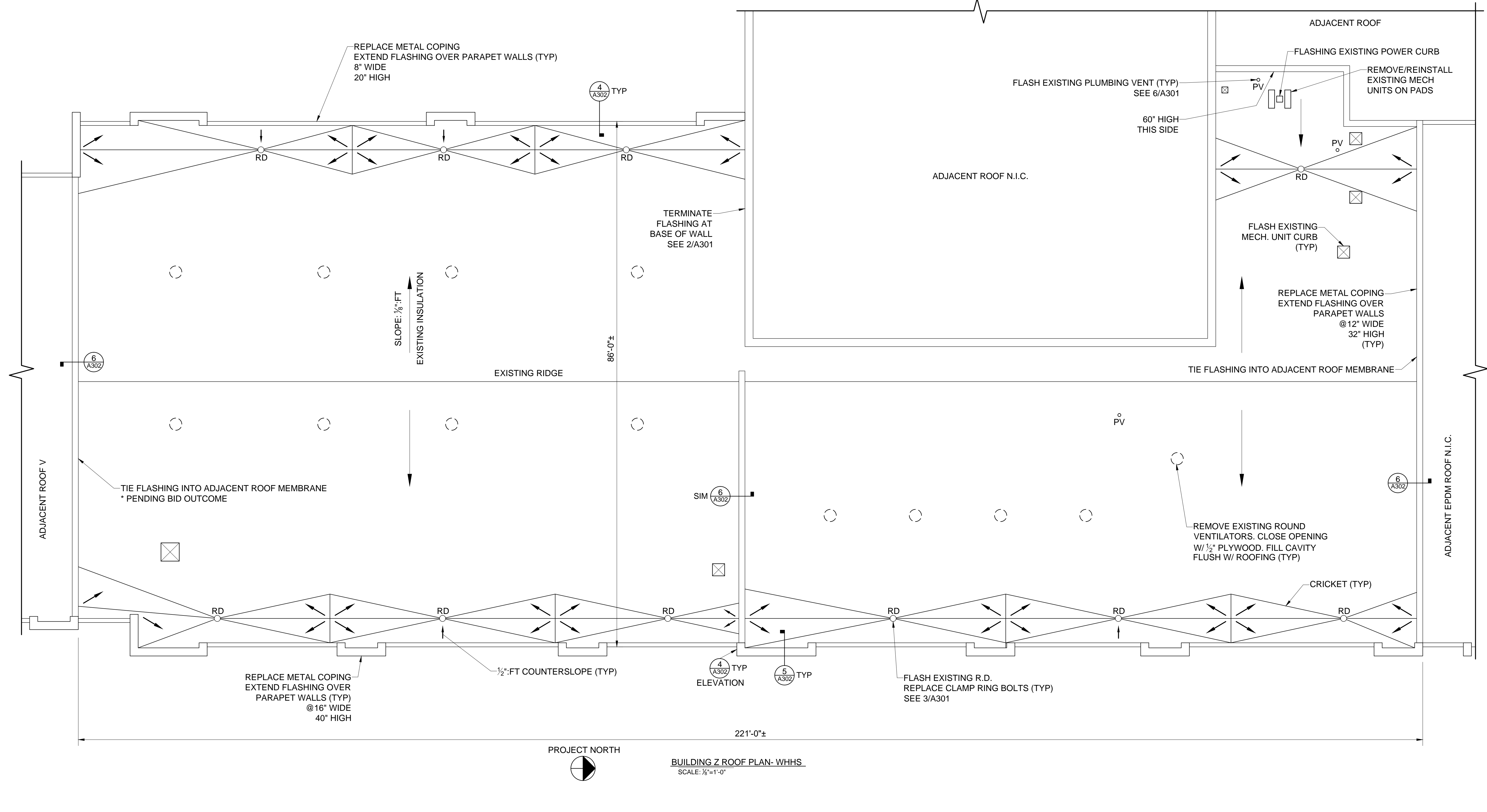
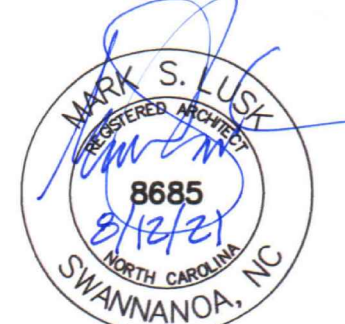
A201

GENERAL NOTES

- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- CRICKETS SHALL SLOPE AT 1/2" PER FOOT.
- EXISTING ELECTRIC COMPONENTS, REFRIGERANT LINES, MECHANICAL UNITS, SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.
- SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

- EXISTING ROOFING COMPONENTS:
 FULLY ADHERED SPM (EPDM) MEMBRANE
 1/2" FIBERBOARD
 BUILT-UP ROOFING
 TAPERED PERLITE INSULATION (1 1/2"-5 1/4"±)
 VAPOR BARRIER
 CWFD
- DEMOLITION: REMOVE EXISTING SPM & FIBERBOARD. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS & FLASHING. THE EXISTING VAPOR BARRIER, PERLITE INSULATION, AND B.U. ROOFING SHALL REMAIN.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 1/4" COVER BOARD OVER EXISTING B.U. ROOFING. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.



**EHHS OLD GYM,
 WHHS BLDGS
 V, Y & Z
 ROOF
 REPLACEMENTS**

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**BUILDING Z
 ROOF PLAN-
 WEST
 HENDERSON
 HIGH**

A202

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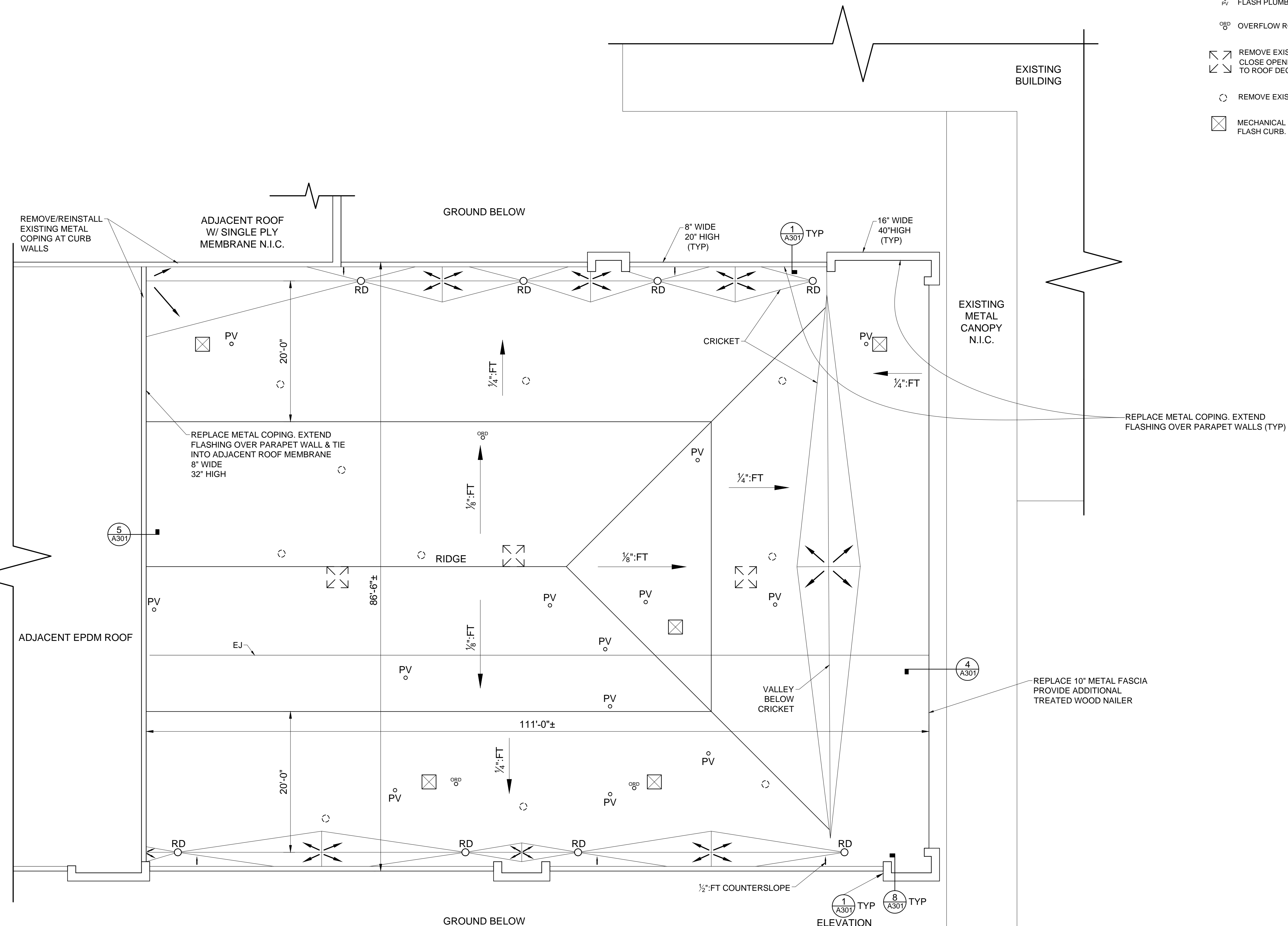
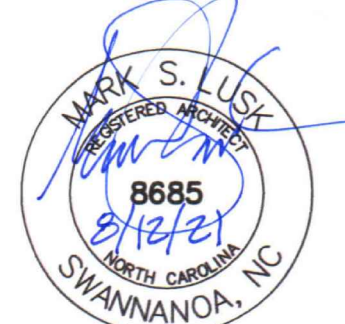
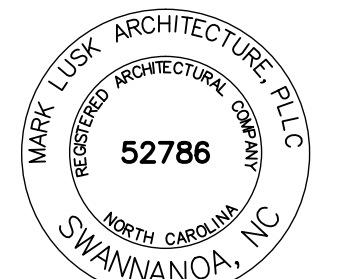
GENERAL NOTES

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- RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- CRICKETS SHALL SLOPE AT 1/2" PER FOOT.
- EXISTING ELECTRIC COMPONENTS, REFRIGERANT LINES, MECHANICAL UNITS, SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.
- SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOF PLAN LEGEND

- ⊕ FLASH PLUMBING VENT. SEE 6/301.
- ⊕ OVERFLOW ROOF DRAIN. SEE 6/301 SIMILAR
- ↗ REMOVE EXISTING CAPPED CURB AND CLOSE OPENING WITH 1/2" PLYWOOD. FASTEN TO ROOF DECK AT CORNERS W/ AUGERS.
- REMOVE EXISTING ROUND VENTS
- ⊠ MECHANICAL VENTILATOR ON CURB. FLASH CURB. SEE 7/A301.

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ROOFING NOTES

- EXISTING ROOFING COMPONENTS:
 - FULLY ADHERED SPM MEMBRANE
 - 1/2" UNDERLAYMENT BOARD
 - BUILT-UP ROOFING
 - 3/4" PERLITE INSULATION
 - VAPOR BARRIER
 - CWFD
- DEMOLITION: REMOVE ALL EXISTING ROOFING COMPONENTS DOWN TO VAPOR BARRIER. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING. THE EXISTING VAPOR BARRIER SHALL REMAIN.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND TAPERED INSULATION OVER EXISTING VAPOR BARRIER. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.
- MINIMUM INSULATION THICKNESS AT RD'S & VALLEY'S SHALL BE 2.6"

BUILDING Y ROOF PLAN- WHHS
SCALE: 1/8"=1'-0"

**EHHS OLD GYM,
WHHS BLDGS
V, Y & Z
ROOF
REPLACEMENTS**

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Drawn: A. Rognas
Date: 8/12/21
Revisions:

**BUILDING Y
ROOF PLAN-
WEST
ENDERSON
HIGH**

A203

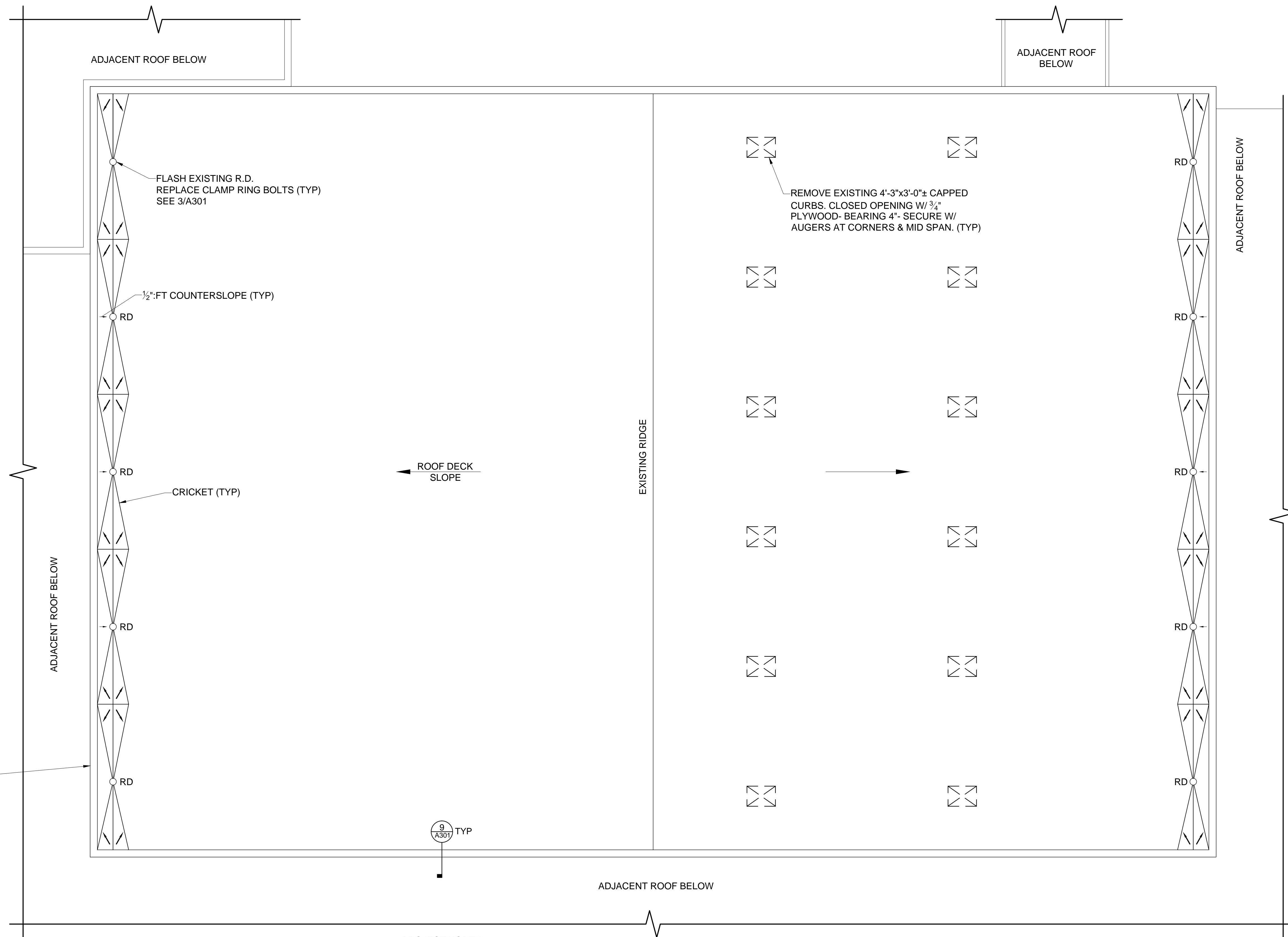
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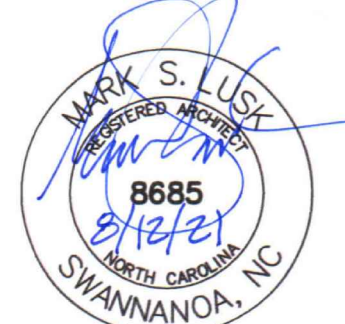
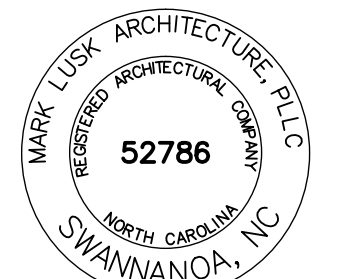
ROOFING NOTES

- EXISTING ROOFING COMPONENTS:
 - LOOSE LAID SPM MEMBRANE
 - 1/2" EXTRUDED POLYSTYRENE BOARD
 - BUILT-UP ROOFING
 - 1" INSULATION BOARD
 - VAPOR BARRIER
 - CWFD
- DEMOLITION: REMOVE EXISTING SPM MEMBRANE. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING. THE EXISTING EPS & B.U. ROOFING SHALL REMAIN.
- PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND COVER BOARD OVER EPS & EXISTING B.U. ROOFING. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.



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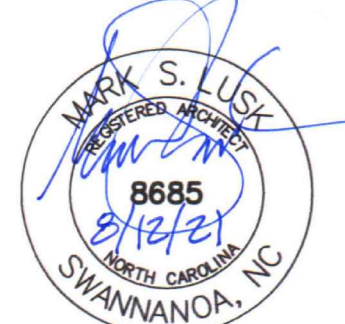
**EHHS OLD GYM,
 WHHS BLDGS
 V, Y & Z
 ROOF
 REPLACEMENTS**

Project Number: 21012
 Checked:
 Drawn: A. Rognas
 Date: 8/12/21
 Revisions:

**OLD GYM ROOF
 PLAN- EAST
 HENDERSON
 HIGH**

A204

OLD GYM ROOF PLAN- EHHS
 SCALE: 1/8"=1'-0"

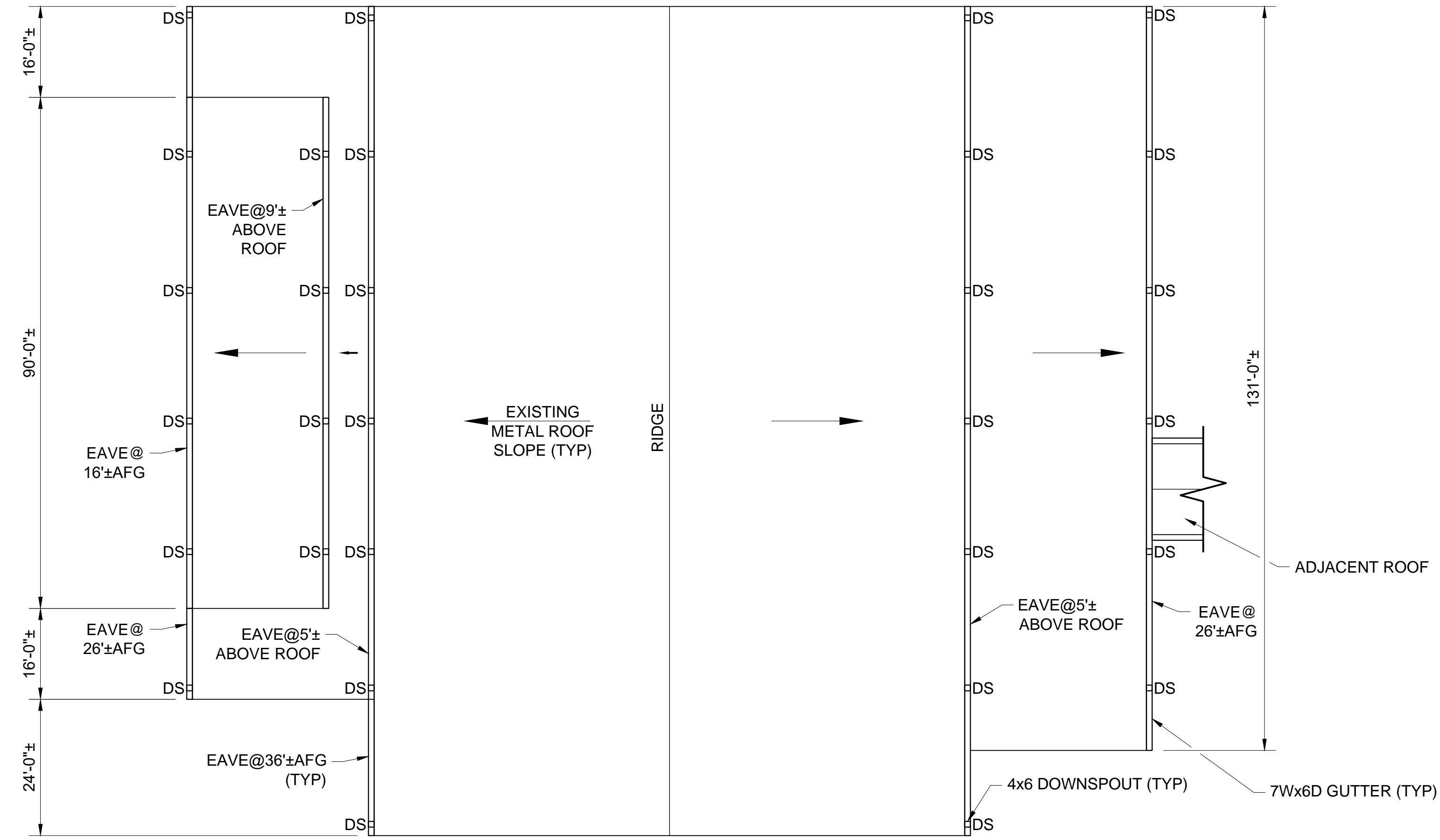


**EHHS OLD GYM,
 WHHS BLDGS
 V, Y & Z
 ROOF
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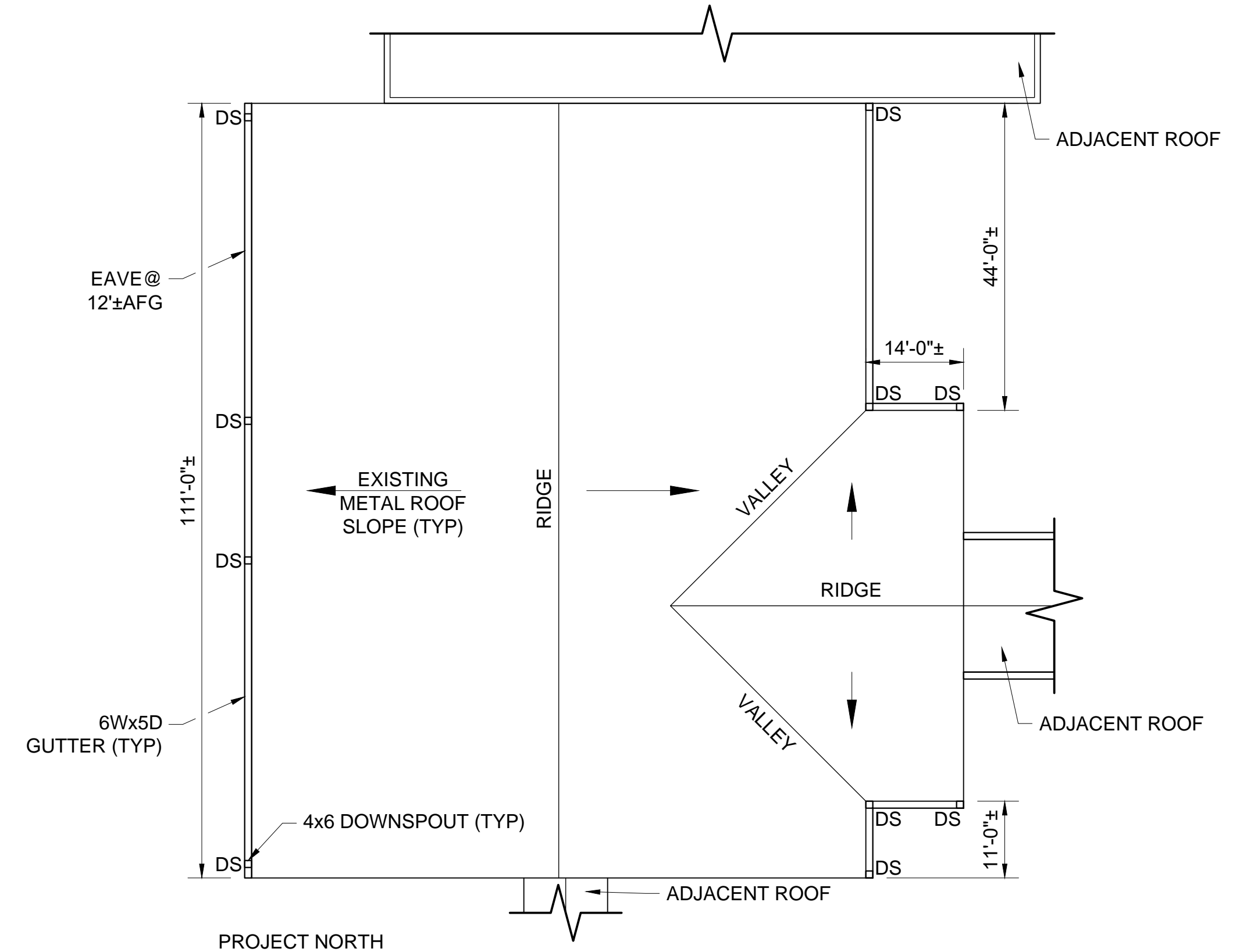
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**NEW GYM &
 OFFICE
 ROOF/GUTTER
 PLANS**

A205



NEW GYM ROOF/GUTTER PLAN
 SCALE: 1/16"=1'-0"



OFFICE ROOF/GUTTER PLAN
 SCALE: 1/16"=1'-0"

ALTERNATE NO.1

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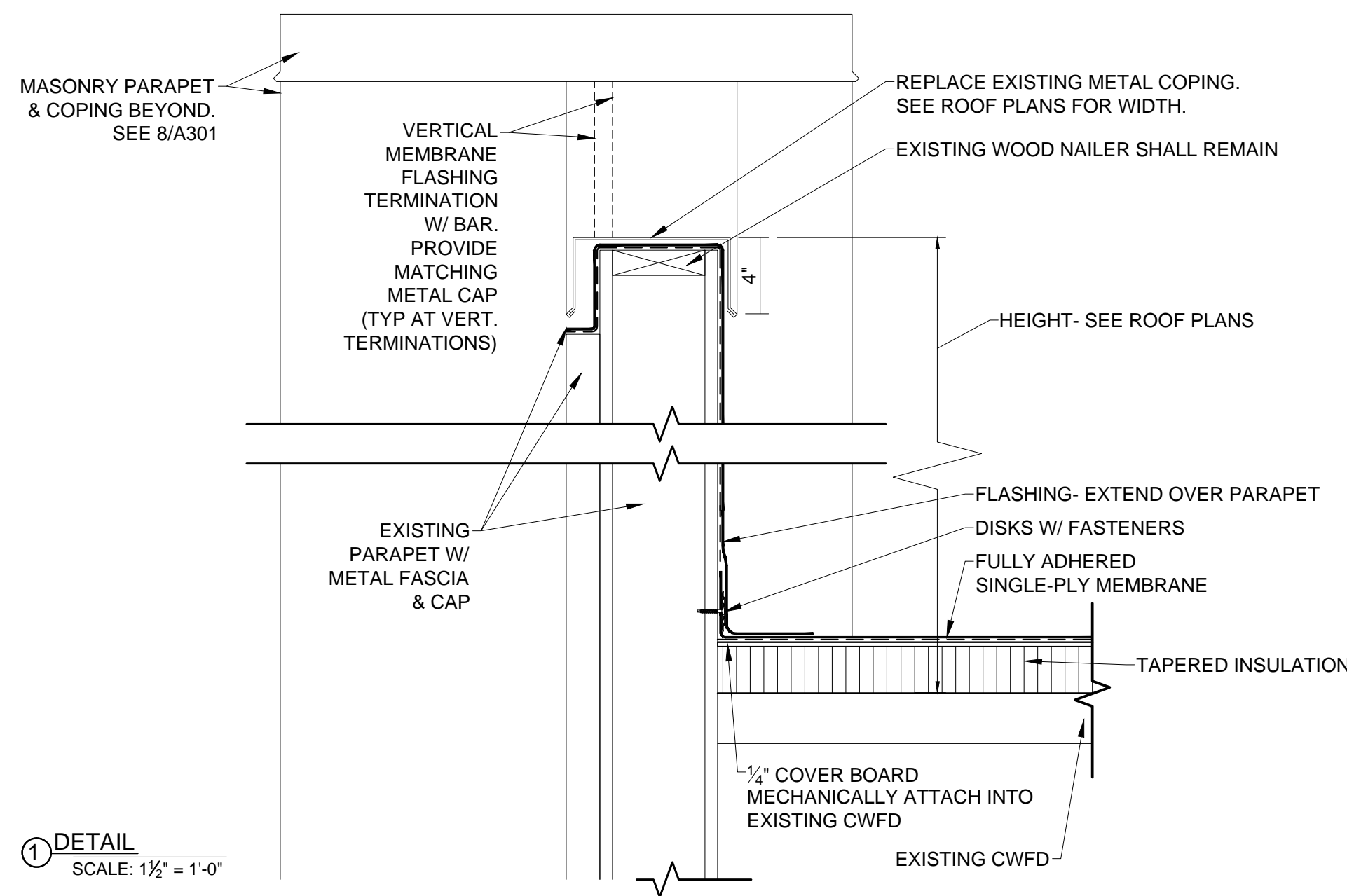
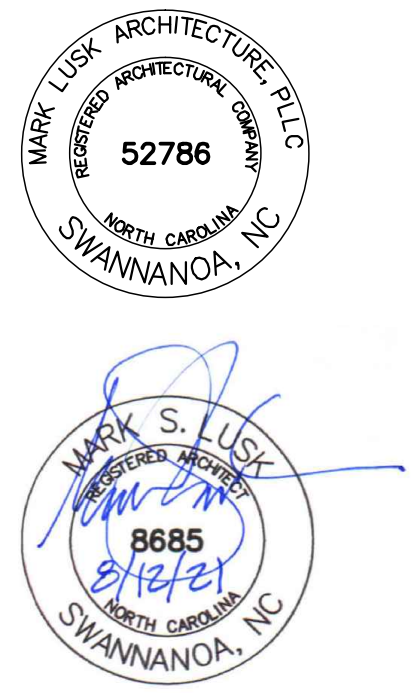
NOTES

1. REMOVE EXISTING GUTTERS AND DOWNSPOUTS
2. DOWNSPOUTS SHALL:
 - TRANSITION AND TERMINATE INTO EXISTING 6"Ø PIPE AT 7'-4"± AFG.
 - TERMINATE W/ ELBOW WHERE LOCATED ABOVE EXISTING METAL ROOF
3. REPLACEMENT DOWNSPOUTS SHALL:
 - BE INSTALLED AT SAME LOCATIONS AS EXISTING
 - MATCH EXISTING TRANSITION BELOW METAL FASCIA AT BRICK VENEER AND AT 6"Ø PIPE

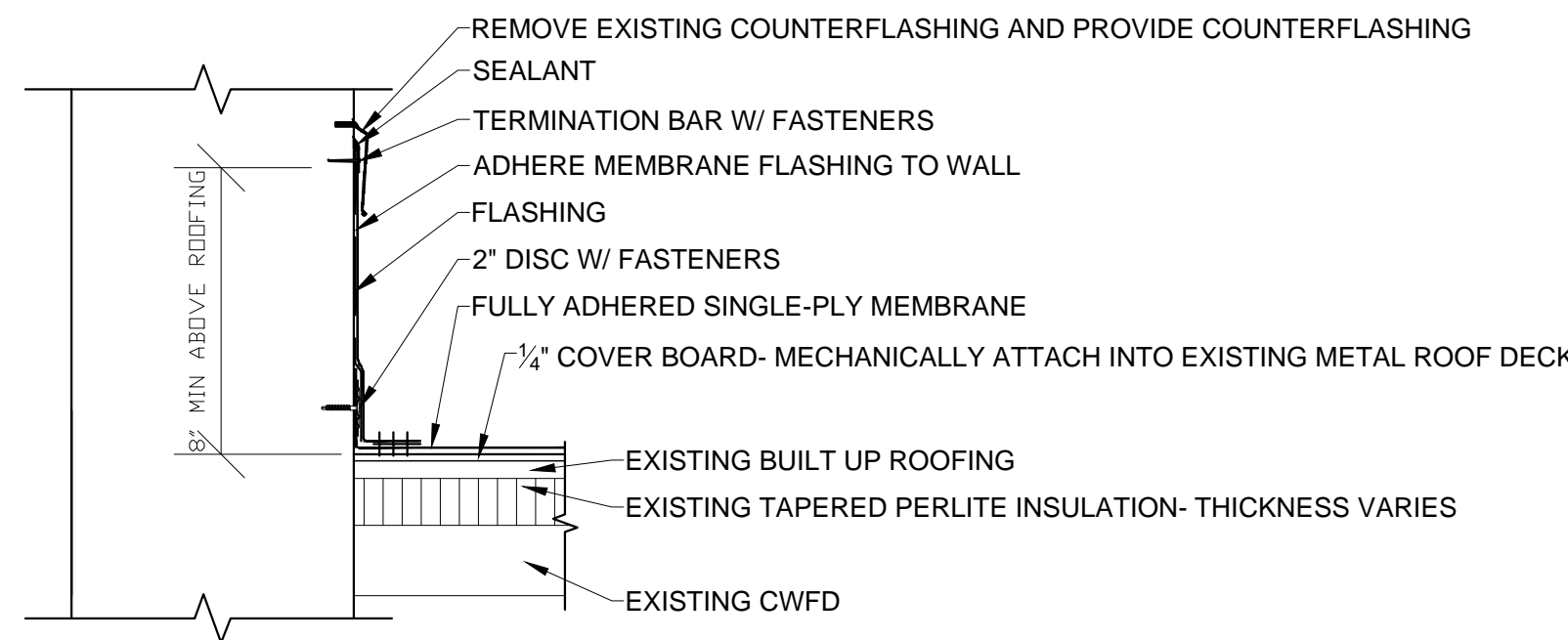
GUTTER EXPANSION JOINTS:
 GUTTERS SHALL BE BOX STYLE SEAMLESS 0.032" ALUMINUM W/
 EXPANSION JOINTS AT 50FT OC MAX. HANGERS SHALL BE 1½" WIDE
 0.063" THICK 3105 ALLOY ALUMINUM AT 12" O/C, PER SMACNA

DOWNSPOUTS:
 PROVIDE NEW 0.032" ALUMINUM PREFIN. DOWNSPOUTS. CONNECT TO
 SUB-GRADE STORM DRAINAGE SYSTEM. PROVIDE STANDOFF TYPE
 ATTACH TO STRUCTURE PROVIDING MIN 3/4" GAP BETWEEN BUILDING &
 DOWNSPOUT

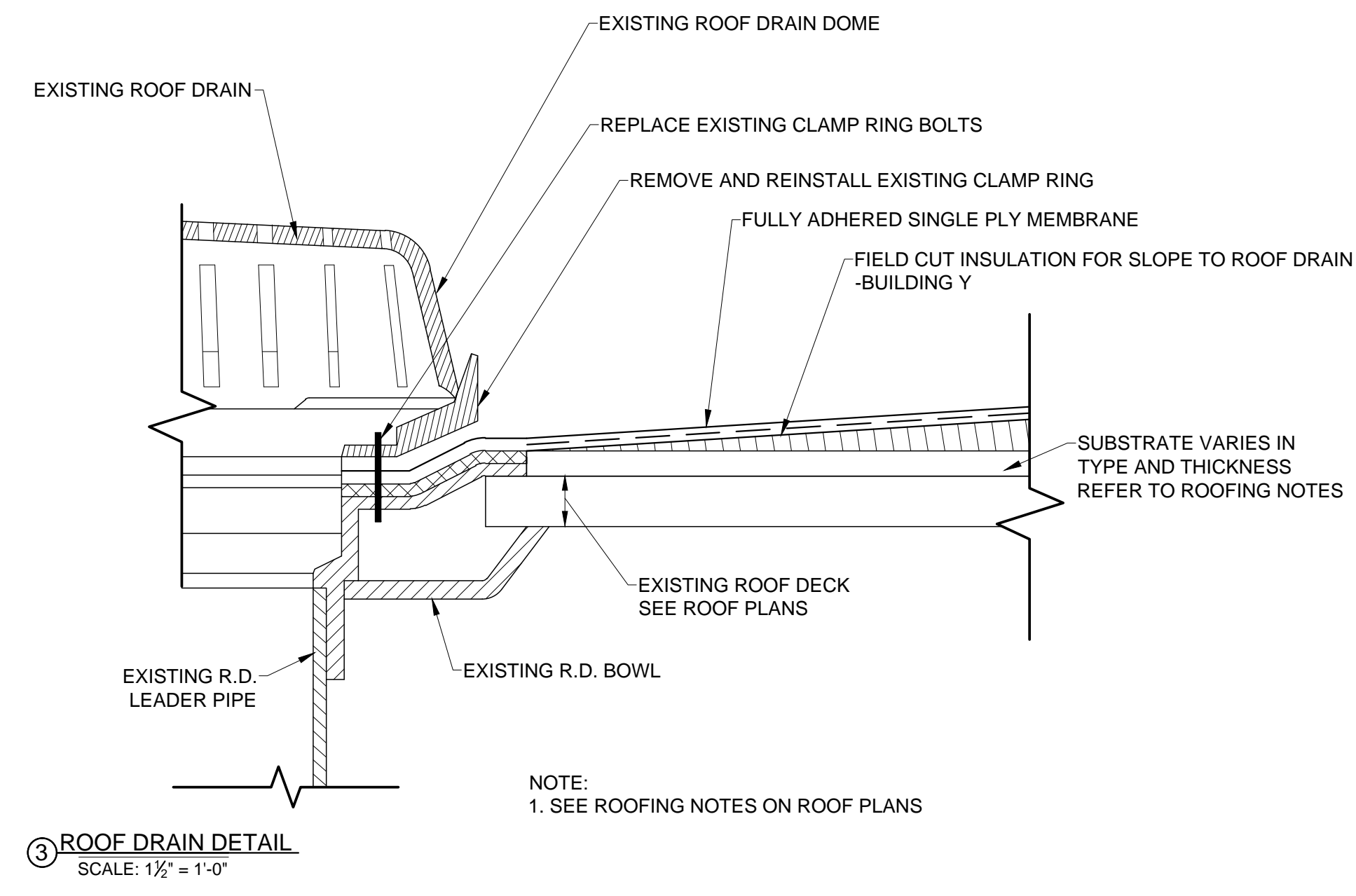
COLOR:
 PROVIDE SELECTION OF MANUFACTURER'S STANDARD COLORS.



1 DETAIL
 SCALE: 1/2" = 1'-0"

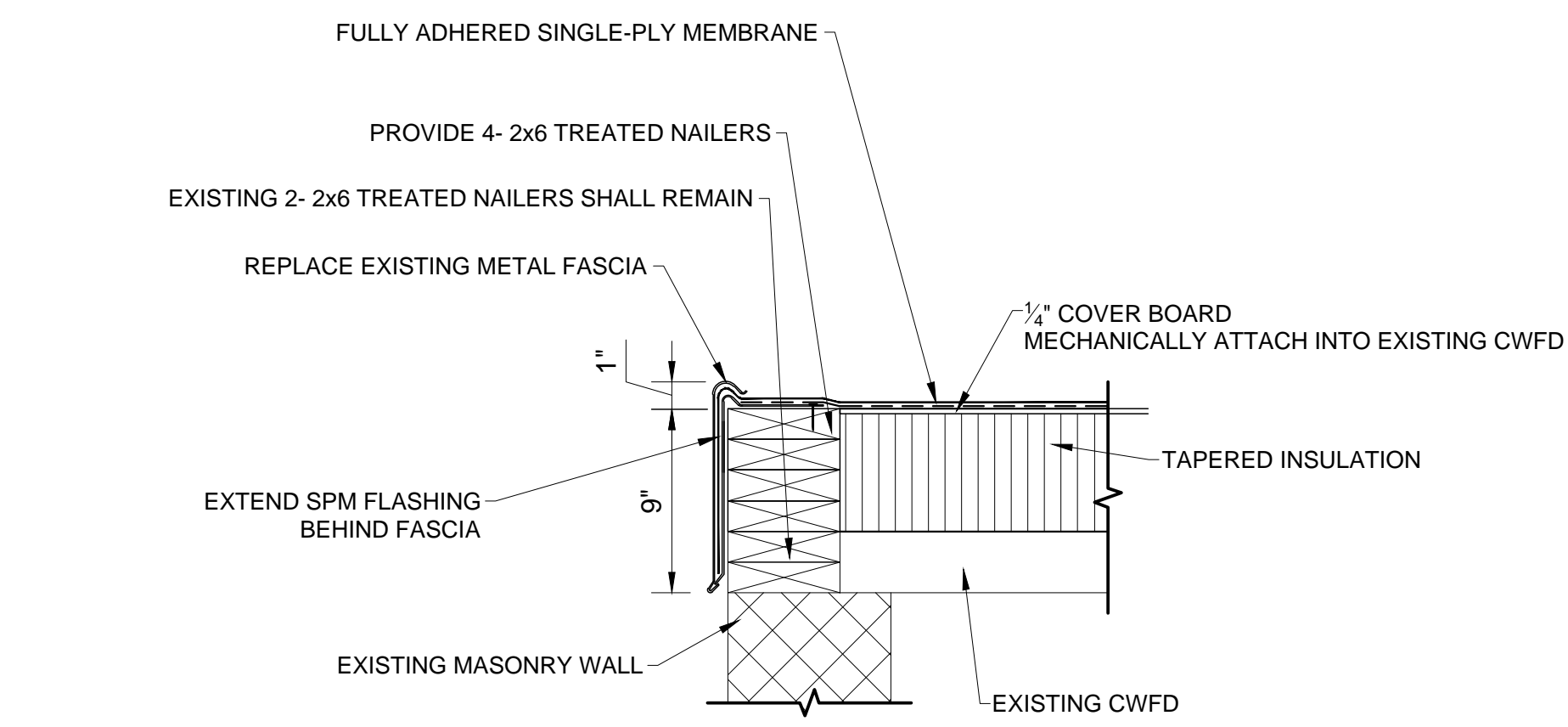


2 BASE OF WALL DETAIL
 SCALE: 1/2" = 1'-0"



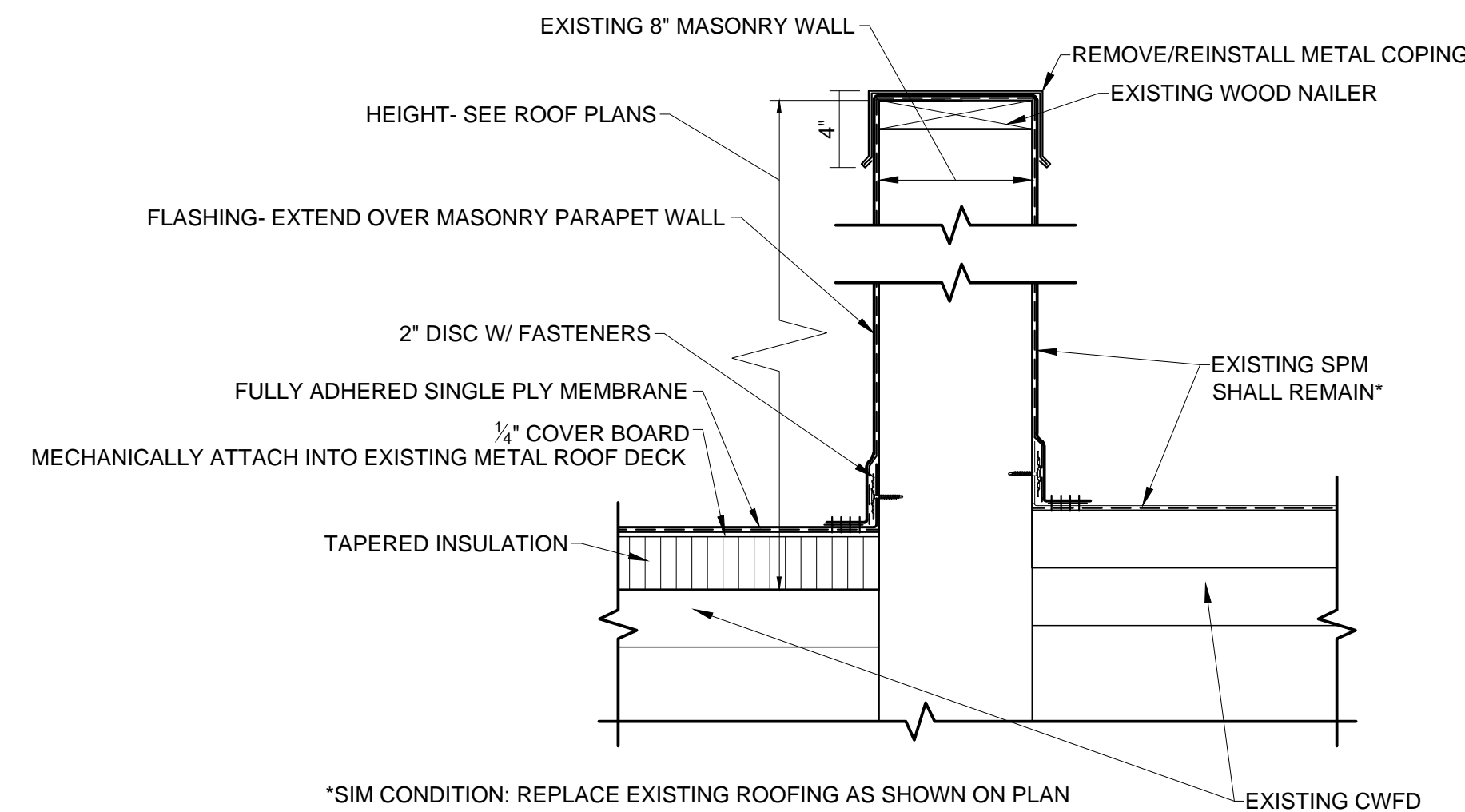
3 ROOF DRAIN DETAIL
 SCALE: 1/2" = 1'-0"

NOTE:
 1. SEE ROOFING NOTES ON ROOF PLANS



4 ROOF EDGE TERMINATION
 SCALE: 1/2" = 1'-0"

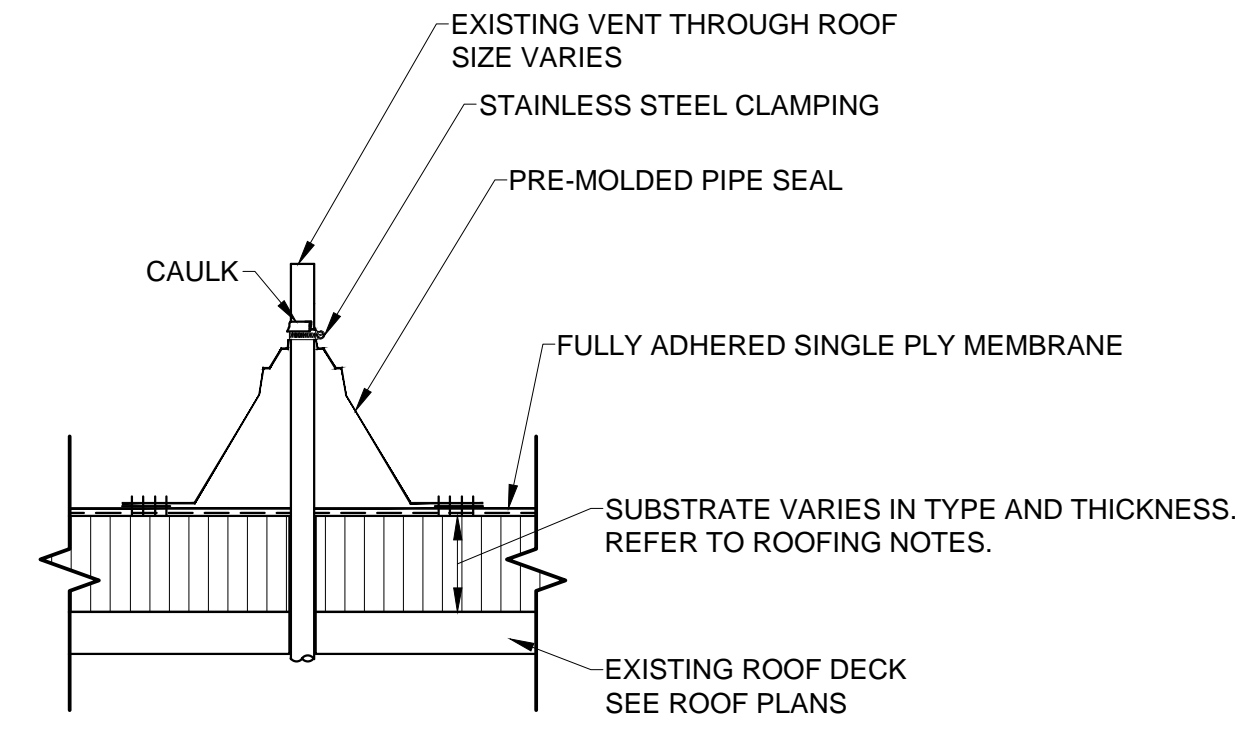
NOTE:
 REMOVE EXISTING ROOFING MATERIALS (NOT SHOWN) NOTED ON A204.



5 PARAPET WALL
 SCALE: 1/2" = 1'-0"

NOTE:
 REMOVE EXISTING ROOFING MATERIALS (NOT SHOWN) NOTED ON A204.

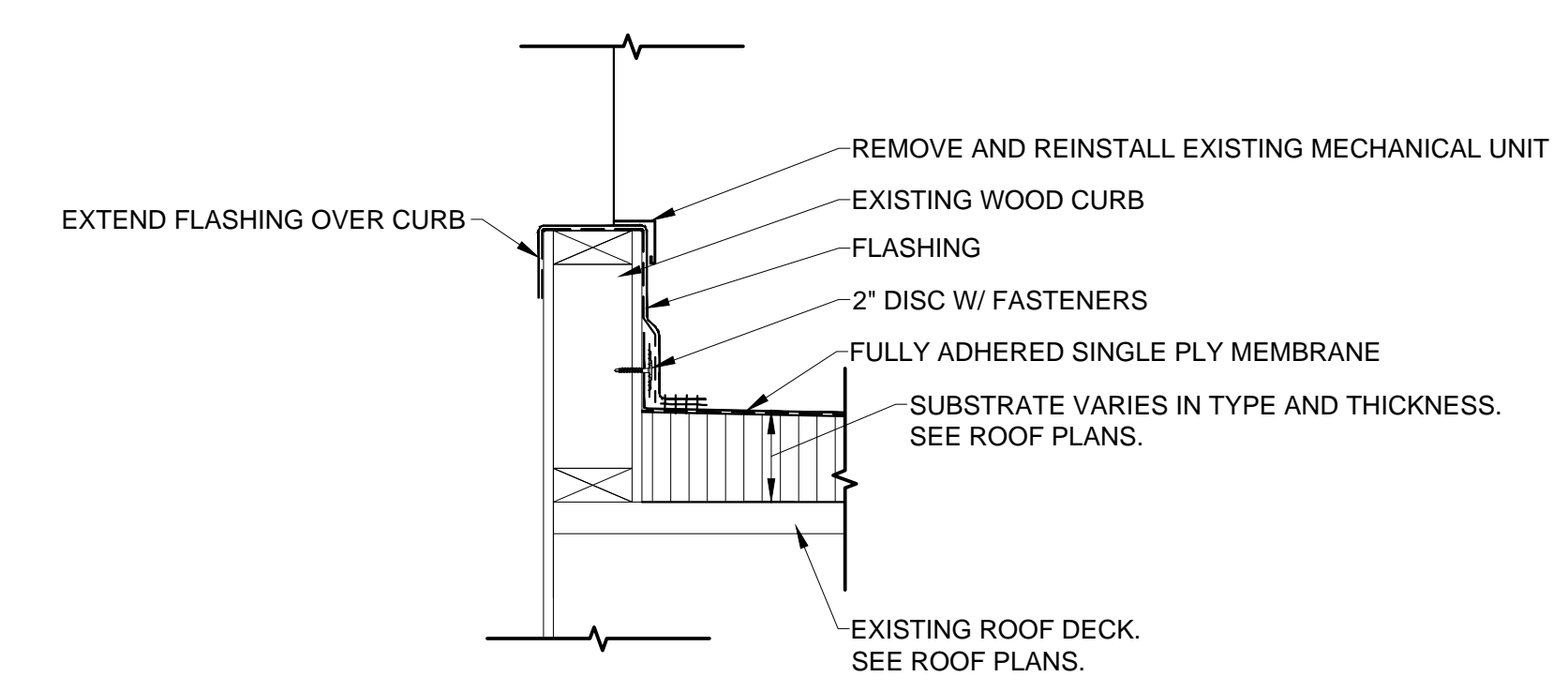
*SIM CONDITION: REPLACE EXISTING ROOFING AS SHOWN ON PLAN



6 PLUMBING VENT DETAIL
 SCALE: 1/2" = 1'-0"

NOTE: RAISE VENT PIPE TO 8" ABOVE ROOFING

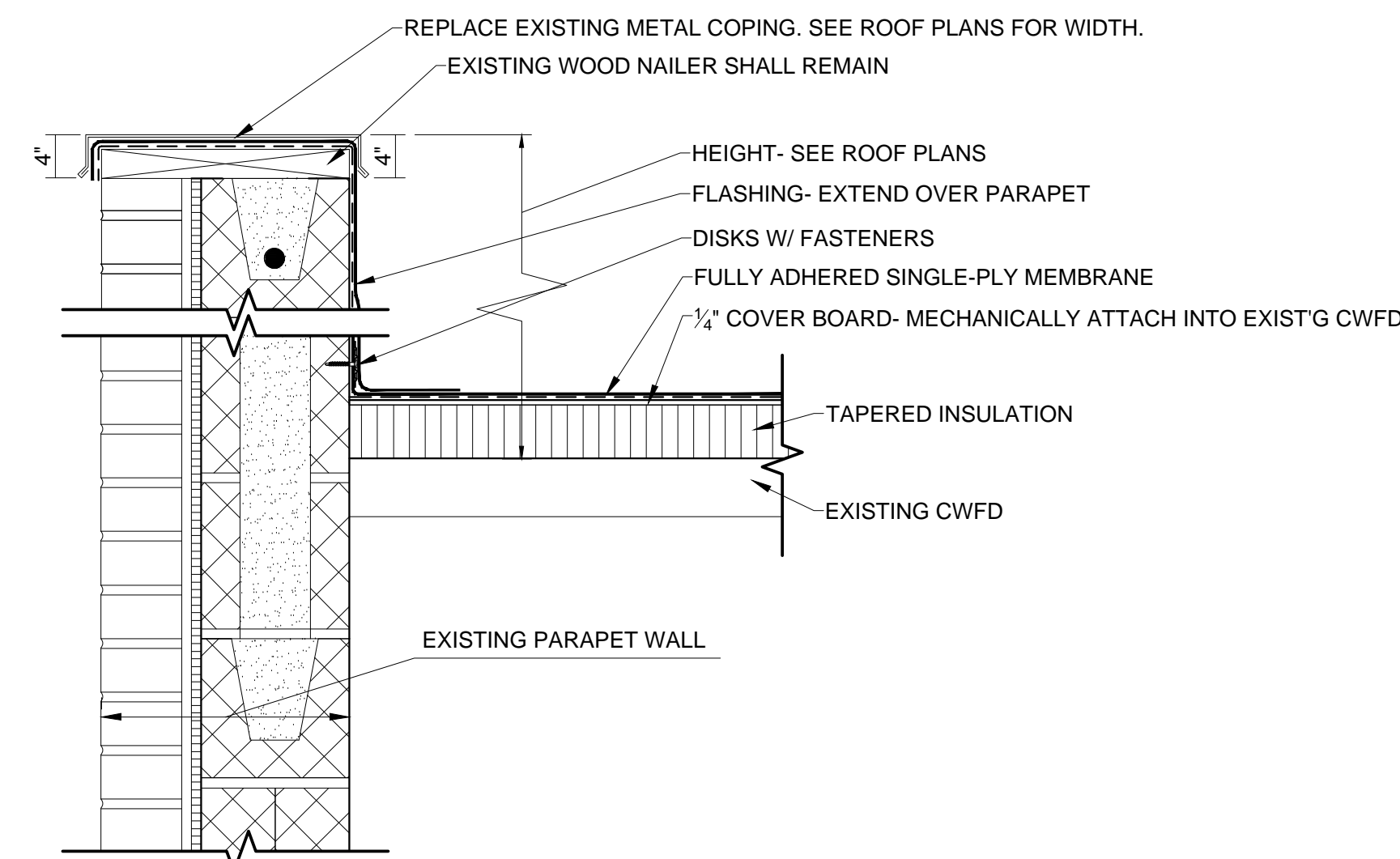
NOTE: SEE ROOFING NOTES ON ROOF PLANS



7 MECHANICAL CURB DETAIL
 SCALE: 1/2" = 1'-0"

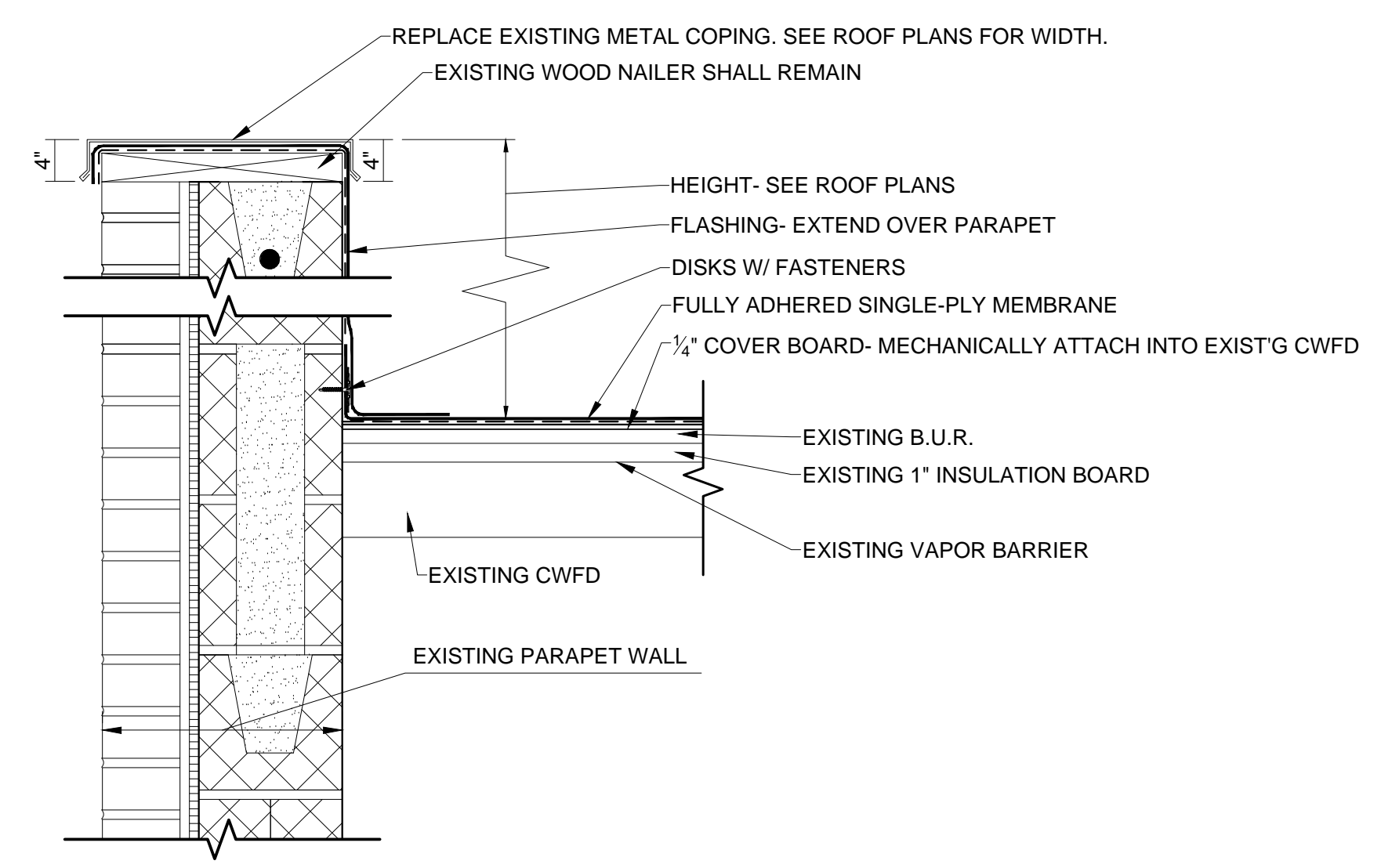
NOTE: RAISE CURB TO 8" ABOVE ROOFING AT ANY LOCATION WHERE EXISTING CONDITION IS LESS THAN 8"

NOTE: SEE ROOFING NOTES ON ROOF PLANS



8 DETAIL
 SCALE: 1/2" = 1'-0"

NOTE:
 REMOVE EXISTING ROOFING MATERIALS (NOT SHOWN) NOTED ON A204.



9 DETAIL
 SCALE: 1/2" = 1'-0"

**EHHS OLD GYM,
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 ROOF
 REPLACEMENTS**

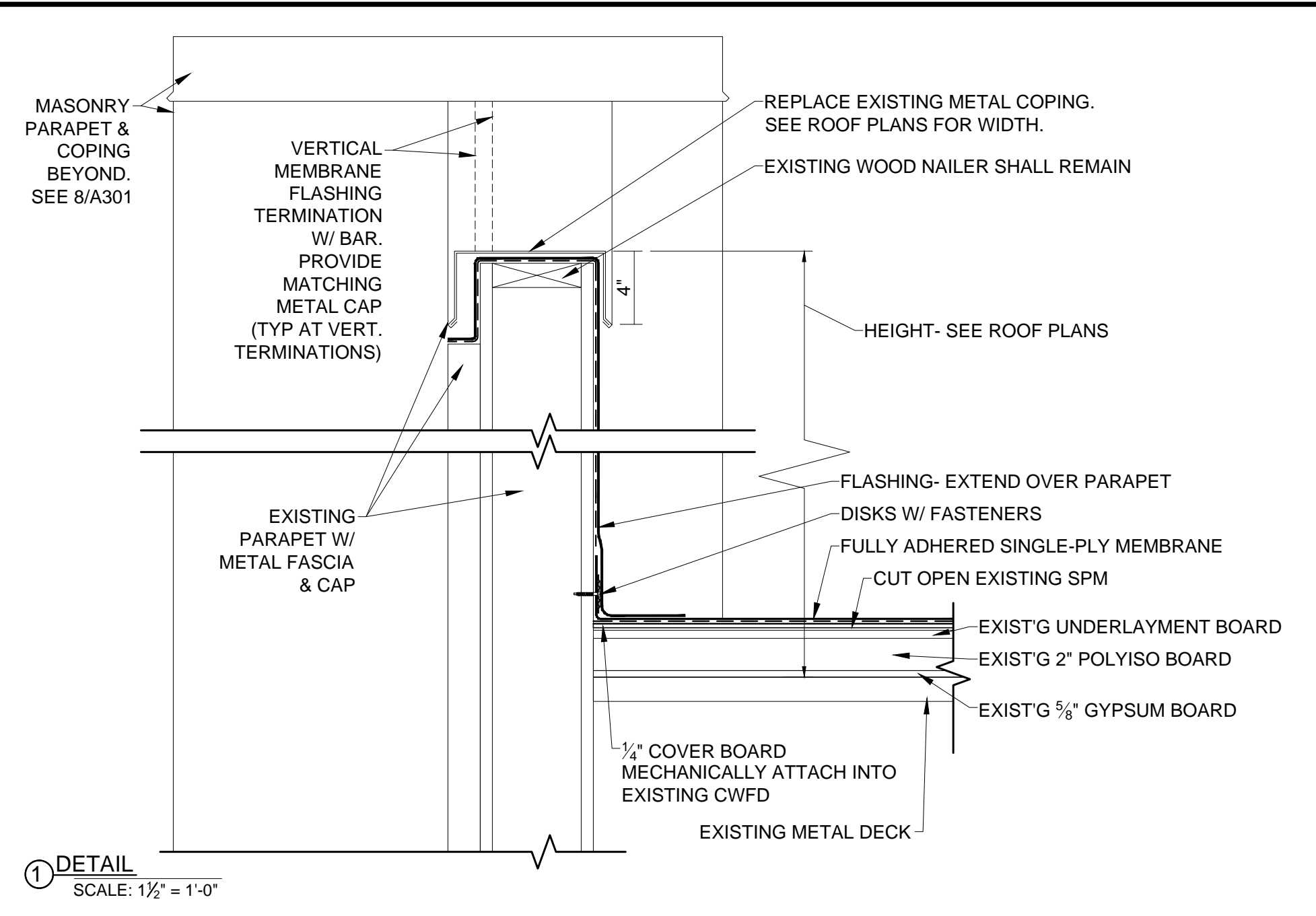
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DETAILS

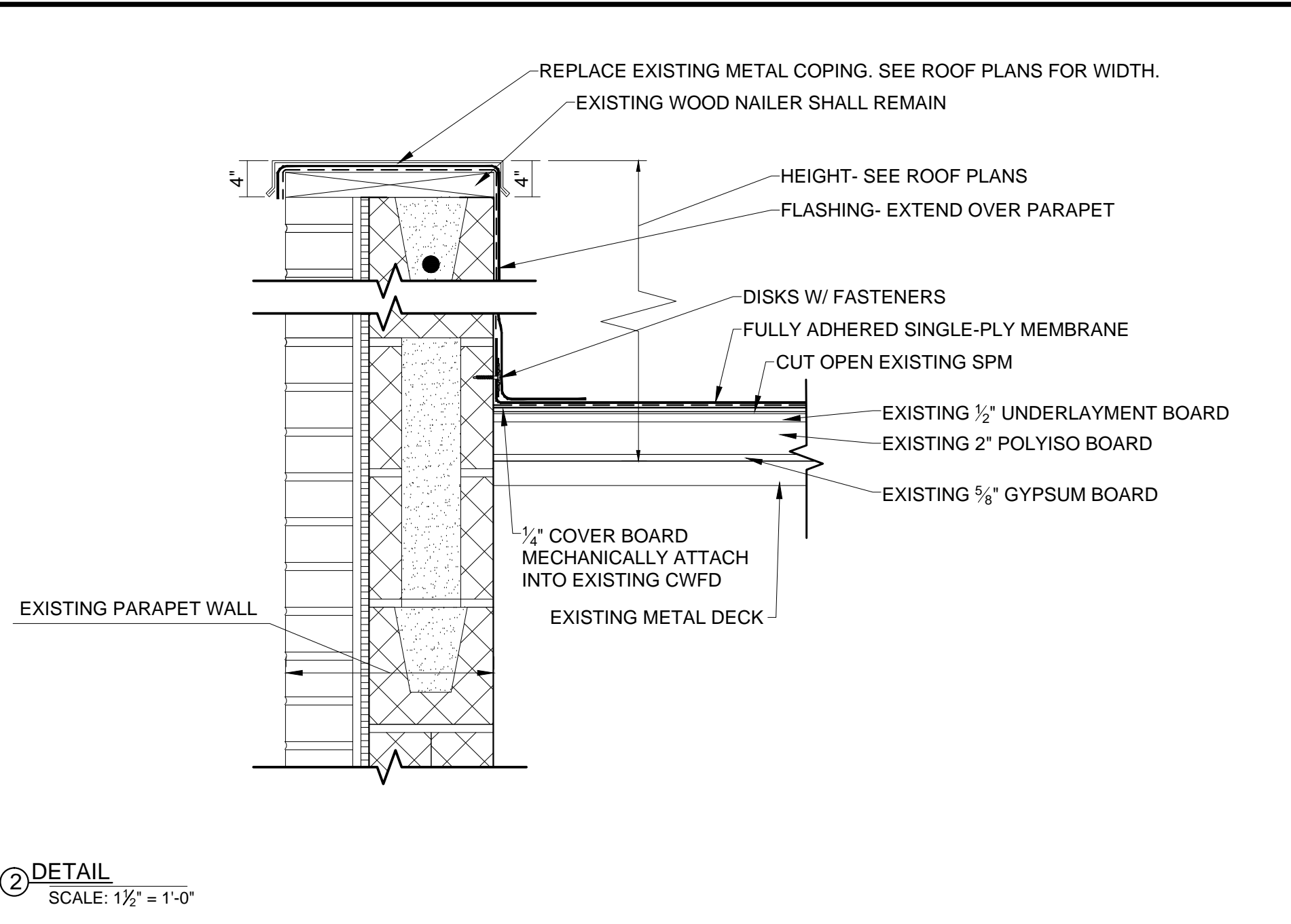
A301

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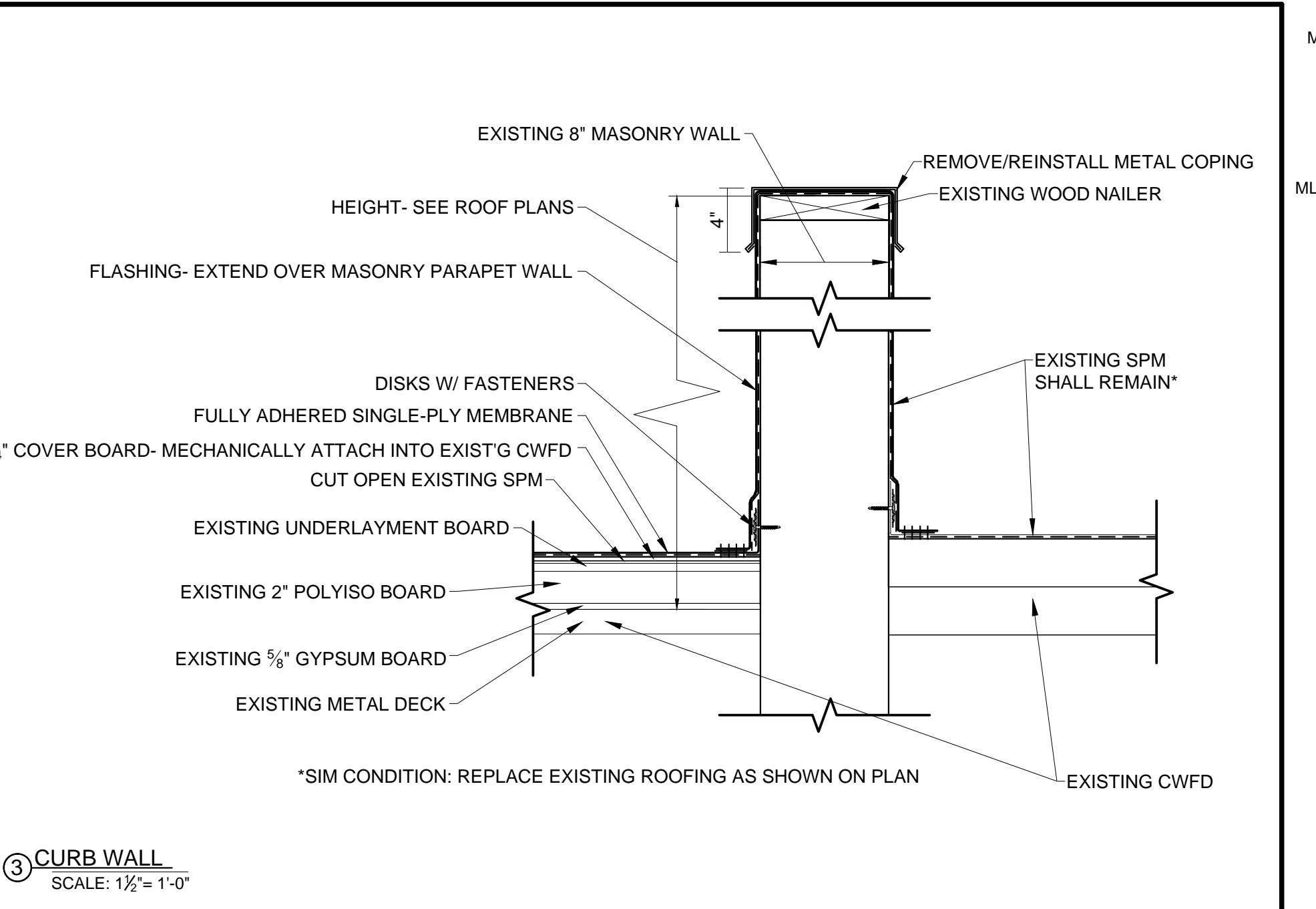
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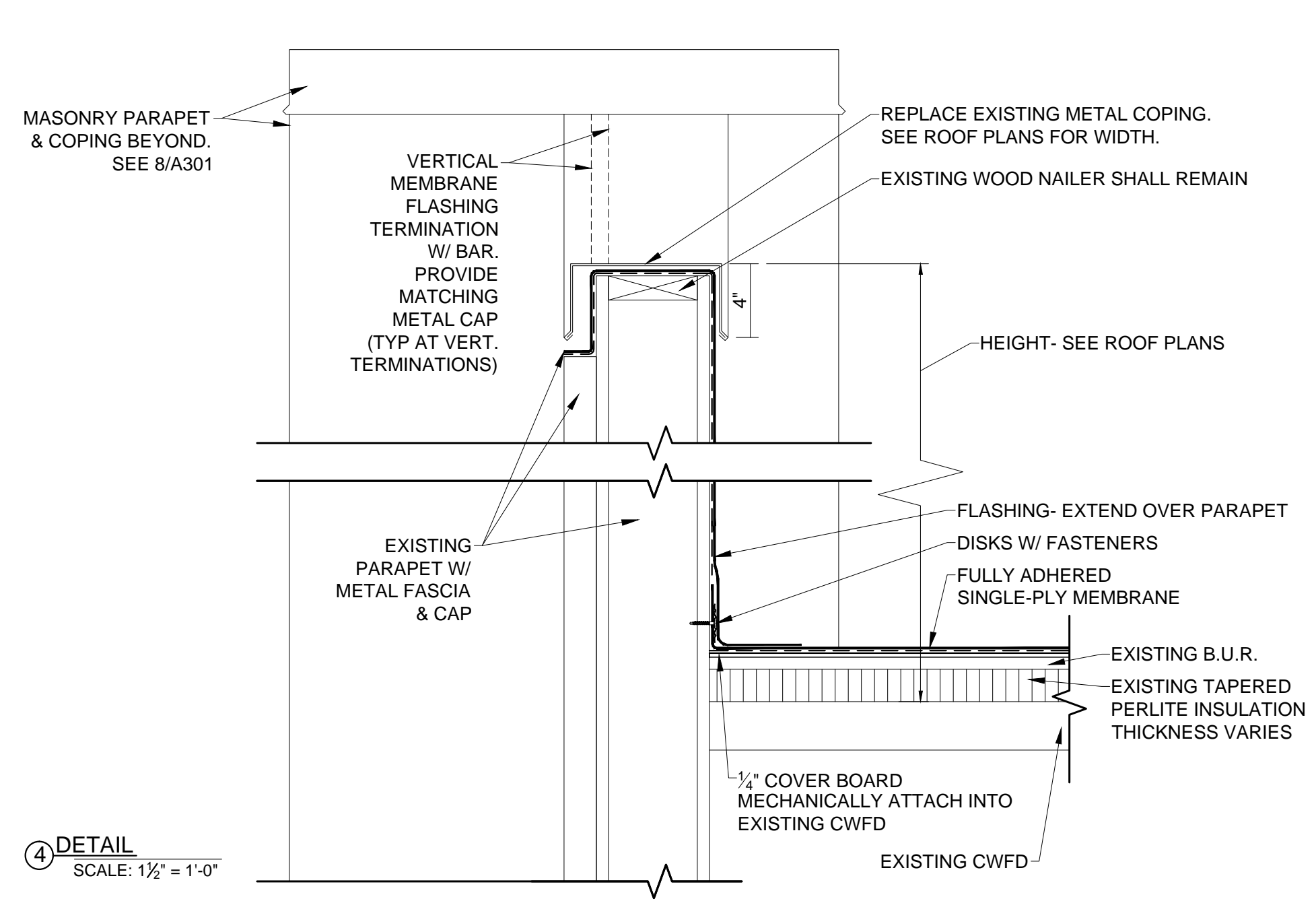
1 DETAIL
SCALE: 1/2" = 1'-0"



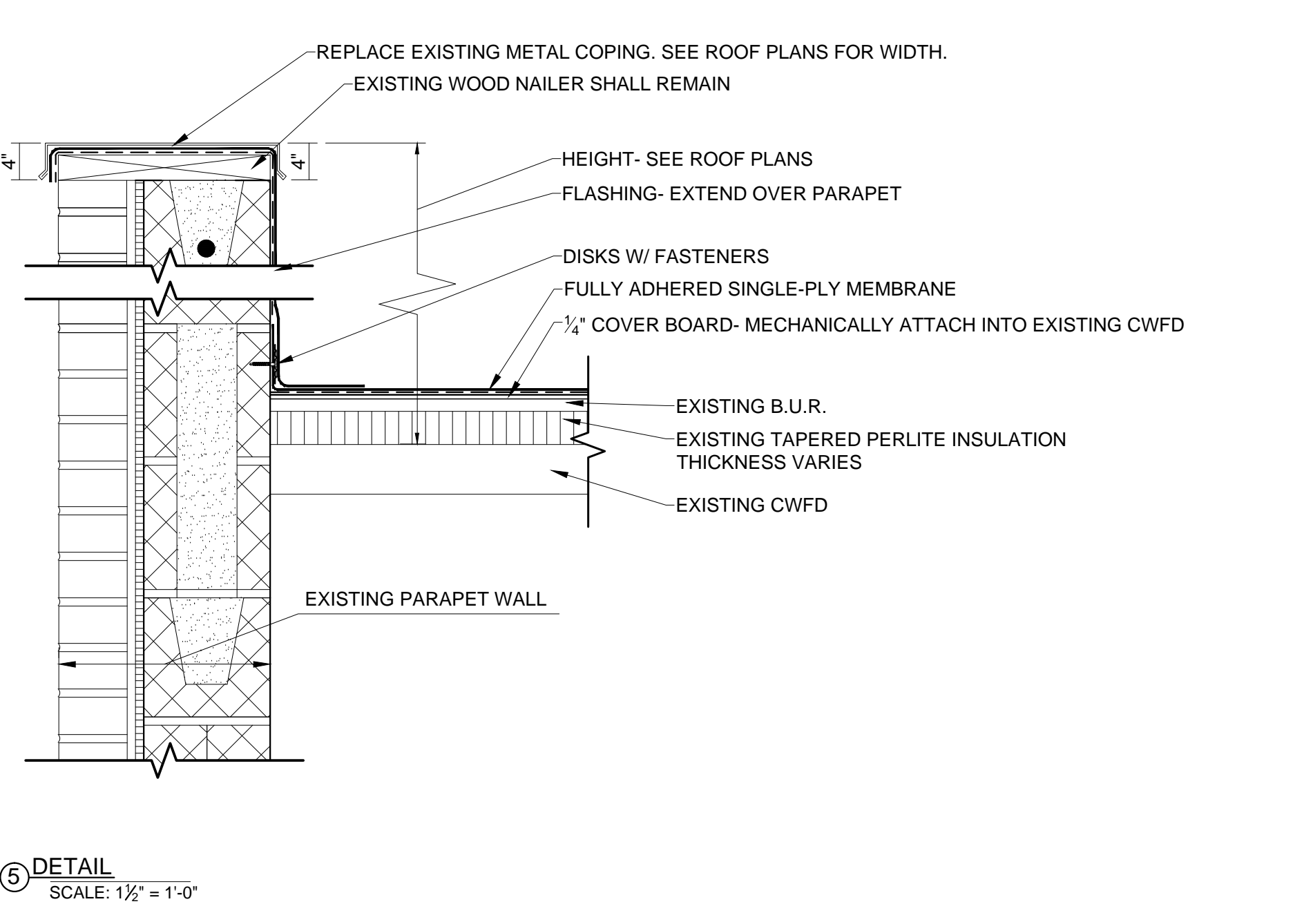
2 DETAIL
SCALE: 1/2" = 1'-0"



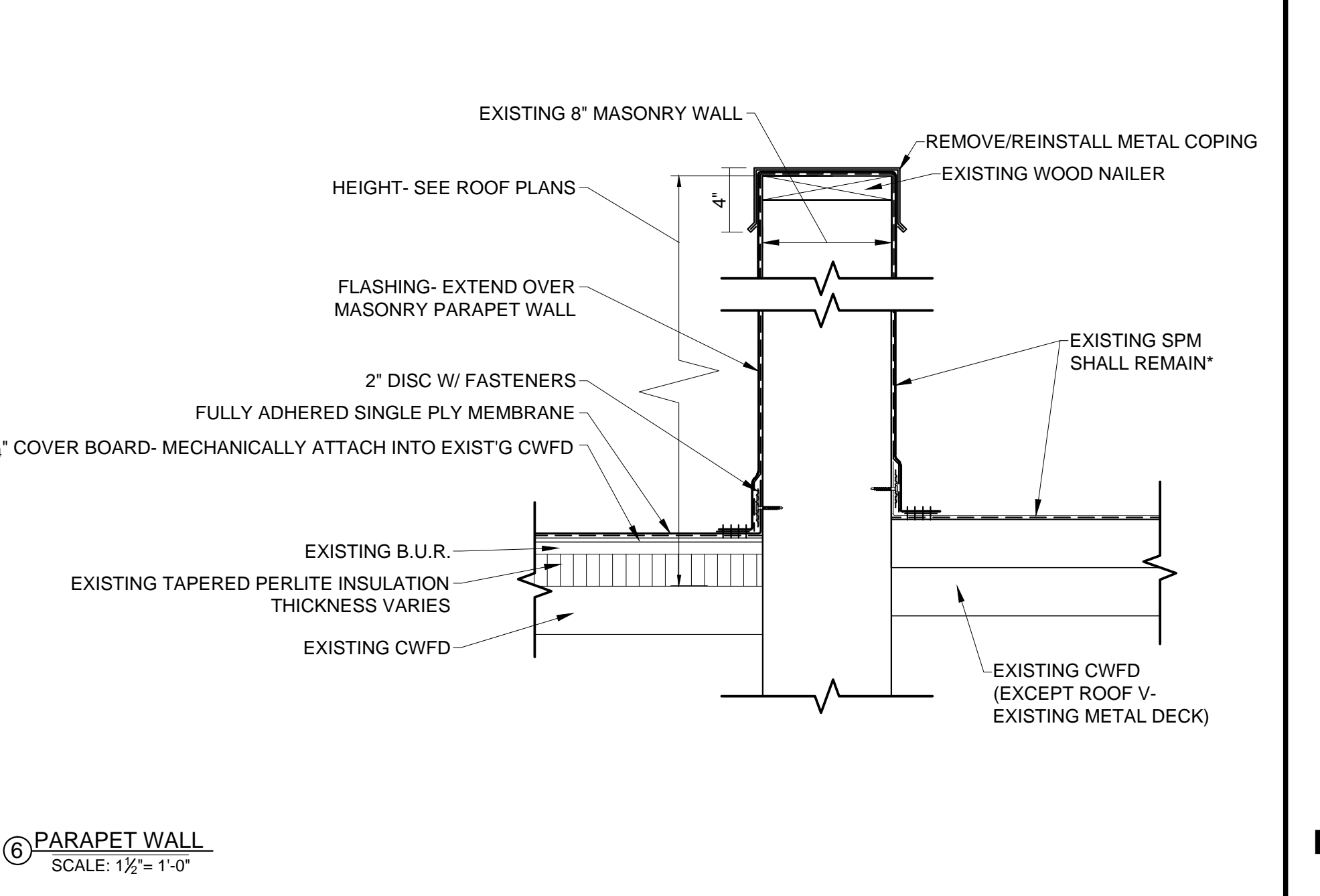
3 CURB WALL
SCALE: 1/2" = 1'-0"



4 DETAIL
SCALE: 1/2" = 1'-0"

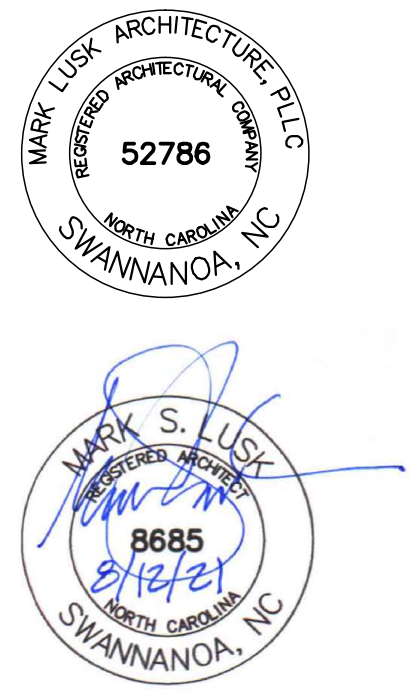


5 DETAIL
SCALE: 1/2" = 1'-0"



6 PARAPET WALL
SCALE: 1/2" = 1'-0"

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**EHHS OLD GYM,
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Project Number: 21012
Checked:
Drawn: A. Rognas
Date: 8/12/21
Revisions:

DETAILS

A302