



## Henderson County Capital Projects

100 North King Street, Suite 206

Hendersonville, North Carolina 28792

---

**Memorandum To:** Interested Bidders

**From:** Thad Ninnemann, Capital Projects Project Manager  
Henderson County, NC

**Subject:** Request for Proposals  
Blue Ridge Community College – Proposed Parking Expansion

**Date:** August 11, 2021

---

Blue Ridge Community College requests informal bids for the proposed parking expansion on the Flat Rock Campus Near the Innovative High School. Informal bids will be reviewed by the Owner and Engineer. No formal bid opening will be held. **\*\*\* BASE BID REQUESTS ALL WORK BE COMPLETED BY JUNE 17, 2022, WITH AN ADD/ALTERNATE TO COMPLETE ALL WORK BEFORE NOVEMBER 1, 2021\*\*\*.**

**Proposals are due:** Thursday, September 2, 2021, by 2:00  
PMWGLA Engineering, PLLC  
724 5<sup>th</sup> Avenue West  
Hendersonville, NC 28739  
(828) 687-7177

**Location of Work:** Blue Ridge Community College – Flat Rock Campus  
West Campus Drive, Flat Rock, NC

**Special Conditions:**

- **The project should start on or around March 14, 2022, and be substantially complete by June 17, 2022. At the date of substantial completion, all work should be completed with the final pay request submitted within one week. The owner is accepting an add/deduct to complete the work this fall by November 1, 2021.**
- A mandatory Prebid meeting will be held on Tuesday, August 24, 2021, at 10:00 am on site at Blue Ridge Community College. The meeting will be in the field at the location of the proposed parking area between the Innovative High School and the Baseball field.
- The contractor should be aware of existing utilities in and adjacent to the project area. Known underground utilities have been located and are shown on the plans. The Contractor is responsible for utility location prior to construction. If conflicts are identified, the Owner and Engineer must be identified immediately prior to any work taking place.
- All materials and standards shall meet NCDOT standards unless otherwise noted or approved by the Owner prior to construction.
- The Owner will contract separately with a geotechnical engineering firm of its choice to provide QA/QC testing for this project if necessary.

- Following the completion of paving, the Contractor shall place fill material behind the curbing for grade transition. The fill material shall be clean fill with no organic matter. The placement of this material shall be coordinated with the Owner. Material from the grading operation may be used.
- Restore any disturbed areas around the site and seed and straw.
- The work scope parameters are as defined on the included site drawings.
- The Contractor shall coordinate all work, site access and construction parking with the Owner.
- The Owner will also accept an add/alternate bid for milling, resurfacing and striping of the Killian Parking Lot. See attached bid form and project special conditions for additional information.

**The following information must be included in the proposal:**

1. Work Schedule for start and completion
2. Contractor's Licensure with North Carolina
3. A completed W-9 form and COI
4. Warranty on above work
5. Include Bid security in an amount equal to not less than five percent (5%) of the gross amount of the base bid.
6. Include pricing for all 3 alternates.
7. See "Doing Business with Henderson County" for general information and Henderson County Insurance and Bond Requirements, Purchase Order Terms and Conditions, and Minority Business Participation Guidelines at <https://www.hendersoncountync.gov/county/page/doing-business-henderson-county>

As a party wishing to contract or otherwise do business with Henderson County, you must understand that you have a duty (imposed by North Carolina Law in 2013), as a condition of payment for goods provided or services rendered, to Comply with the requirements of Article 2 of Chapter 64 of the North Carolina General Statutes (E-Verify). Further, if you provide the goods and services to the County utilizing a subcontractor, you must require the subcontractor to comply with the requirements of Article 2 of Chapter 64 of the General Statutes as well. You are required to verify, by affidavit, compliance of these terms of this Section upon the County's request.

**ELECTRONIC copies of the PLANS may be obtained from WGLA, PLLC. Hard copies of the plans will not be distributed.**

Henderson County reserves the right to reject any and / or all bids and to waive any bid informalities in so far as it is authorized to do so. Qualified contractors interested in bidding on the project can contact Will Buie, PE of WGLA, PLLC at (828) 687-7177 extension 302 or [wbuae@w gla.com](mailto:wbuie@w gla.com). Informal bids may be mailed, emailed or delivered to the office of WGLA Engineering, PLLC. At 724 5<sup>th</sup> Avenue West, Hendersonville, NC 28739.

**SPECIAL CONDITIONS TO:  
Henderson County, North Carolina  
Blue Ridge Community College – Proposed Parking Expansion**

The following special conditions are to be a part of the contact documents:

1. Existing Utilities: The contractor should be aware of existing utilities in and adjacent to the project area. All manholes, catch basins, water valve boxes, etc shall be adjusted to meet the new grade of the parking area.

2. Traffic Control: All work is proposed to take place on the Blue Ridge Community College campus. However, proper traffic control and signage measures should be provided during the course of construction. All costs associated with traffic control are considered incidental to the project. Contractors are REQUIRED to provide the College with a minimum of one weeks notice prior to mobilizing on site. Any road closures must be approved in advance by the College.

3. Technical Specifications: All materials and standards shall meet NCDOT standards unless otherwise noted or approved by the Owner prior to construction.

4. QA/QC Testing: The Owner will contract separately with a geotechnical engineering to provide QA/QC testing for this project.

5. Project Schedule: The date of availability for the project will be March 14, 2022, with the project to be **substantially complete by June 17, 2022**. At the date of substantial completion, all work should be completed with the final pay request submitted within one week. Note that work cannot begin until contract documents have been signed by all parties and performance and payment bonds have been provided by the successful bidder.

***The Owner is accepting an add/alternate price to complete the work this fall. The anticipated date of availability would be September 20, 2021, and all work would have to be completed by November 1, 2021.***

6. Liquidated Damages: The date of completion for the project is June 17, 2022. The Owner may access liquidated damages in the amount of \$200 per day for every day work has notbeen completed by the contract completion date.

7. Contract Documents: Standard EJCDC contract documents and general conditions will be included with the informal bid package by reference only. If an invited bidder wishes to review these documents, please contact the Engineering.

8. Erosion Control Maintenance: The Contractor will be responsible for the maintenance of all erosion control measures for the entire duration of the project. All costs associated with erosion control maintenance are considered incidental to the project.

9. Parking Lot Landscaping: The proposed parking lot trees shall be a minimum 2" in caliper and 12 – 14 feet in height. Planting soil shall be used to backfill around the root ball. 3" of mulch shall be placed around the tree planting areas within 5' of the tree. All trees should be Red Maples. Alternates or substitutions must be approved by the Owner. The Owner reserves the right to reject

any landscaping material that is damaged or is unsuitable.

10. All questions about the project must be submitted to the Project Engineer no later than Monday, August 30, 2021, at 5:00 PM. Questions received after this date and time may not be addressed prior to the bid date.

11. Parking lot lighting will be provided and installed by Duke Energy or their contractor. The parking lot Contractor shall coordinate with Duke Energy's contractor during the installation of the lighting.

12. The Owner will accept a deduct/alternate from bidders that will allow the project to be delayed until the spring of 2022. With the deduct/alternate all work should be completed prior to July 1, 2022.

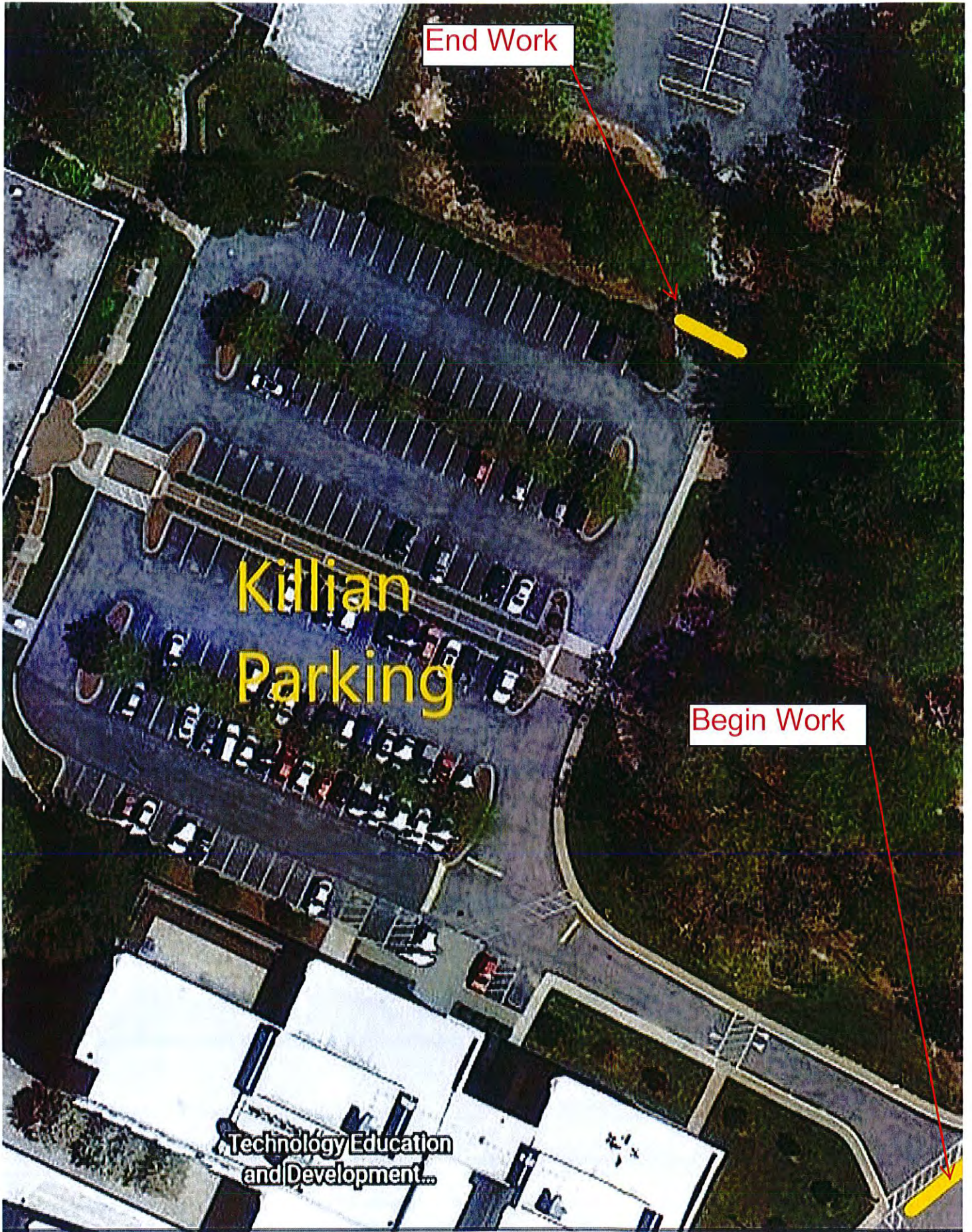
13. Killian Parking Lot Resurfacing: The Owner will accept an **add/alternate bid** for the milling, resurfacing, and restriping of the Killian Parking Lot at Blue Ridge Community College. The scope of work will include milling of 2" of the existing asphalt, applying tack, resurfacing with 2" of S9.5C and restriping of the parking areas, ADA areas, crosswalks, etc. Note that all existing brick and concrete pedestrian walkways will remain and should be undisturbed. Below is a more detailed summary of the scope of work:

Turnkey project for asphalt paving repairs. The project will include, but is not limited to milling, disposal of rubble offsite, adding ABC stone as needed, grading, wetting, and conditioning, applying hottar tac for bonding, resurfacing with S9.5C NCDOT approved asphalt, rebuilding speed bumps, striping. The scope will include all prep work, remedial work, and finish work that will result in a turnkey project.

Provide labor, machinery, and all materials for the following:

- o Mill 2" of existing asphalt
- o All existing brick and concrete pedestrian walkways to remain and be undisturbed.
- o Apply hot tar tac for bonding
- o Resurface with 2" SB9.5 type hot mix compacted
- o Re-stripe new paving per existing. This will include all existing parking spaces, ADA, directional and stop signage, stop bars, informational and crosswalks

The Killian parking lot serves as parking for both the Killian and TEDC building. Work must be done from start to finish on this parcel before work may start on the other parcel. The access road through the Killian parking lot serves as the only route of entry to the upper Killian parking lot, Henderson building, Arts & Science and General Studies building. Work involving the Killian parking lot will have to be coordinated with the BRCC Project Coordinator to prevent parking lot closure or access road closure during scheduled classes and events. This may involve the Contractor working at night or weekends. Be coordinated with the BRCC Project Coordinator to prevent parking lot closure or access road closure during scheduled classes and events. This may involve the Contractor working at night or weekends.



End Work

Killian  
Parking

Begin Work

Technology Education  
and Development...

**Blue Ridge Community College**  
**Proposed Parking Expansion**  
**Bid Schedule**

Bidder \_\_\_\_\_

Plans: Blue Ridge Community College - Proposed Parking Expansion

Bids Due:

Receipt of the following **addenda** is here acknowledged:

Addendum No.	Addendum Date	
_____	_____	
_____	_____	

No.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
<b>Proposed Parking Expansion - Site Work Improvements</b>					
1	Mobilization, Construction Staking, Bonds & Insurance	LS	1	_____	_____
2	Strip Topsoil and Stockpile for Curb Backfill	LS	1	_____	_____
3	Grading for New Parking Area	LS	1	_____	_____
4	Stone Base for New Parking Area (8" of CABC)	TN	650	_____	_____
5	New Asphalt Pavement (2" of S9.5C)	SY	1,300	_____	_____
6	18" Concrete Curb & Gutter	LF	600	_____	_____
7	Concrete Flume	EA	1	_____	_____
8	Gravel Construction Entrance	LS	1	_____	_____
9	Silt Fencing	LF	225	_____	_____
10	Permanent Clean Water Diversion Swale (with matting)	LF	150	_____	_____
11	Gravel Inlet Protection	EA	3	_____	_____
12	15" HDPE Storm Drainage Piping	LF	20	_____	_____
13	Curb Inlet	EA	2	_____	_____
14	Drop Inlet	EA	1	_____	_____
15	Conduit Installation	LF	80	_____	_____
16	Pavement Striping and Signage	LS	1	_____	_____
17	Temporary Seeding , Mulch and Stabilization	LS	1	_____	_____
18	Final Seeding, Mulch and Stabilization	LS	1	_____	_____
19	Parking Lot Landscaping Tree (To Include Mulch Bed)	EA	7	_____	_____
<b>TOTAL BID AMOUNT</b>					_____

Unit Price Items

No.	DESCRIPTION	UNIT	QTY	PRICE
<b>Proposed Parking Expansion - Site Work Improvements</b>				
1	BX 1100 Geogrid	SY	1	
2	Haul Off of Unsuitable Materials	CY	1	
3	Placement of Additional Stone	TN	1	

**Deduct/Add Alternate #1**

**Project to be completed by November 1, 2021**

**Amount to be added or deducted from the total bid above \_\_\_\_\_**

**Add/Alternate #2**

**Milling Resurfacing and Restriping of Killian Parking Lot**

No.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
1	Mobilization, Construction Staking, Bonds & Insurance	LS	1		
2	2" Milling of Asphalt Parking Lot	SY	6,110		
3	Recondition Existing Stone	LS	1		
4	2" of New S9.5C Asphalt Pavement	SY	6,110		
5	Install Concrete Speed Humps (match existing)	LS	1		
6	Restriping of Parking Area	LS	1		
<b>TOTAL ADD/ALTERNATE #2</b>					_____

**Add/Alternate #3 Payment and Performance Bond  
100% of Base Bid and Both Alternates**

**TOTAL ADD/ALTERNATE #3 \_\_\_\_\_**

**NOTES:**

- 1 **All items quantities are approximate & shall be verified by contractor prior to bidding.**
- 2 The Owner will be responsible for all testing.
- 3 NCDOT standards shall apply to all work.
- 4 All improved asphalt areas with existing asphalt paint shall be reapplied with paint striping to match existing layout with two coats of asphalt paint.
- 5 See project special conditions for additional details.

Submitted by: \_\_\_\_\_

\_\_\_\_\_ Date: \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_

License Number \_\_\_\_\_

Seal (if applicable)