

EDNEYVILLE LIBRARY PORCH ENCLOSURE

HENDERSON COUNTY

2 FIREHOUSE RD
HENDERSONVILLE, NC 28792

CONSTRUCTION DOCUMENTS
02.19.21

PROJECT TEAM

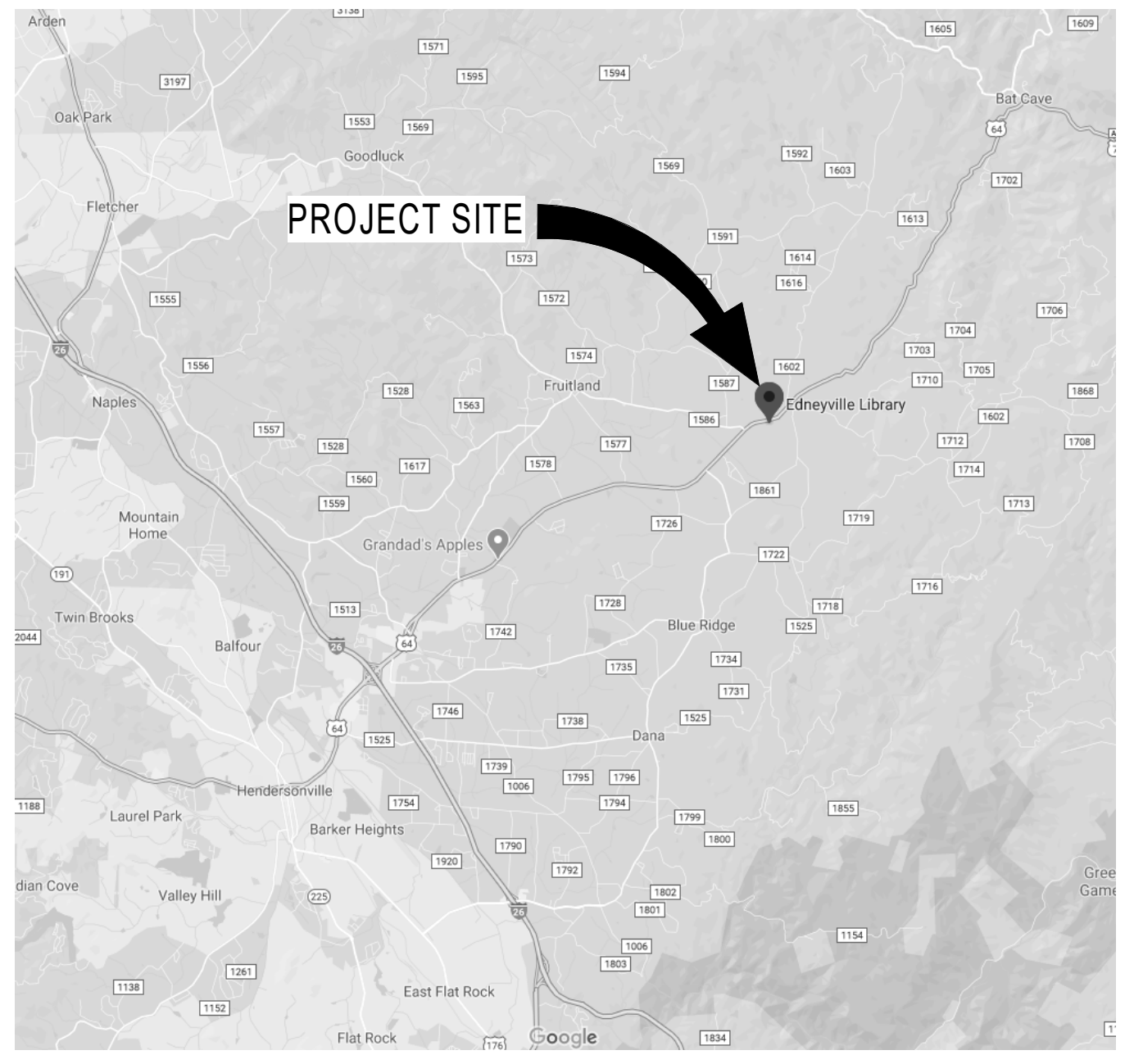
OWNER
HENDERSON COUNTY

ARCHITECT
CLARK NEXSEN
301 COLLEGE STREET, SUITE 300
ASHEVILLE, NC 28801
T: 828.232.0608

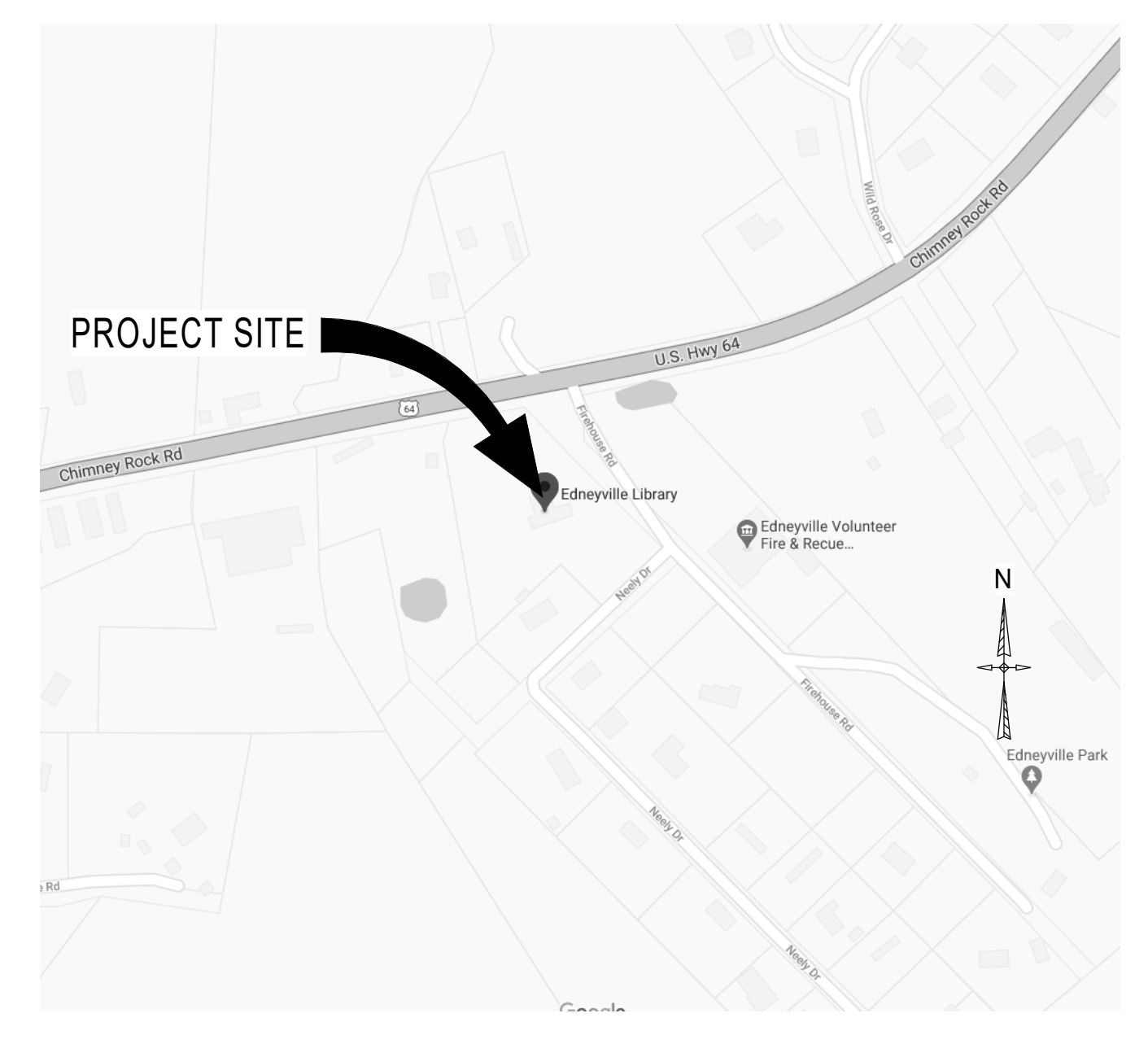
DRAWING INDEX

SHEET NUMBER	SHEET NAME
GENERAL GI001	COVER SHEET
ARCHITECTURAL A-001	ARCHITECTURAL LEGENDS AND NOTES
AD101	FIRST FLOOR DEMOLITION PLAN
AE101	FIRST FLOOR PLAN & LIFE SAFETY PLAN
AE201	EXTERIOR ELEVATIONS & WALL SECTION

VICINITY MAP



SITE MAP



2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(Except 1 and 2-family dwellings and townhouses)
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: EDNEYVILLE LIBRARY PORCH ENCLOSURE
Address: 2 FIREHOUSE RD, HENDERSONVILLE, NC Zip Code 28792
Owner / Authorized Agent: HENDERSON COUNTY
Phone # (828) 694 - 4100 E-Mail: tminnemann@hendersoncountync.gov
Owned By: City / County Private State
Code Enforcement Jurisdiction: City: County: State

DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural	CLARK NEXSEN	CHAD ROBERSON	8270	828.232.0308	croberson@clarknexsen.com
Civil					
Electrical					
Fire Alarm					
Plumbing					
Mechanical					
Sprinkler-Standpipe					
Structural					
Retaining Wall >5' High					
Other					

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completions
 Shell / Core: Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell / Core: Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: Existing: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTED: (date) 1998 CURRENT OCCUPANCY(S) (Ch 3): B
RENOVATED: (date) PROPOSED OCCUPANCY(S) (Ch 3):
RISK CATEGORY (Table 1604.5): Current: I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
(check all that apply) I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I Class II Class III Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements)

FLOOR	EXISTING (SQ FT)	RENOVATION (SQ FT)	NEW (SQ FT)	SUB-TOTAL (SQ FT)
FIRST FLOOR	3405 SF	0 SF	0 SF	3,405 SF
TOTAL	3405 SF	0 SF	0 SF	3,405 SF

ALLOWABLE AREA

Primary Occupancy Classification(s):
 A-1 A-2 A-3 A-4 A-5
 F-1 Moderate F-2 Low H-3 Combust H-4 Health H-5 HPM
 H-1 Detonate H-2 Deflagrate
 I-1 Condition 1
 I-2 Condition 1
 I-3 Condition 1
 I-4 Condition 1
 2
 3
 4
 5
 R-1 R-2 R-3 R-4
 S-1 Moderate S-2 Low High-piled Enclosed Repair Garage
 Parking Garage Open
 Utility and Miscellaneous

Accessory Occupancy Classification(s): N/A
Incidental Uses (Table 509): N/A
Special Uses (Chapter 4 - List Code Sections): N/A
Special Provisions (Chapter 5 - List Code Sections): N/A
Mixed Occupancy: No Yes Separation: ___ Hr Exception: ___

Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply the entire building.
 Separated Use (508.3)
See below area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$+ \dots = \dots \leq 1.00$$

ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE ¹
Building Height in Feet (Table 504.3) ²	65'	32'	N/A
Building Height in Stories (Table 504.4) ³	2	1	N/A

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
2. The maximum height of air traffic control towers must comply with Table 412.3.1.
3. The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS
NOT APPLICABLE

PERCENTAGE OF WALL OPENING CALCULATIONS
NOT APPLICABLE

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: Yes No
Exit Signs: Yes No
Fire Alarm: Yes No
Smoke Detection Systems: Yes No Partial
Carbon Monoxide Detection: Yes No

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: ___
 Fire and / or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.6)
 Occupancy use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS
(SECTION 1107)
NOT APPLICABLE

ACCESSIBLE PARKING
(SECTION 1106)
NOT APPLICABLE

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)
NOT APPLICABLE

SPECIAL APPROVALS
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
N/A

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)

Exempt Building: No Yes (Provide code or statutory reference): _____

Climate Zone: 3A 4A 5A

Method of Compliance: Energy Code (Prescriptive)
 Energy Code (Performance)
 ASHRAE 90.1 (Prescriptive)
 ASHRAE 90.1 (Performance)
(If "Other" specify source here: _____)

THERMAL ENVELOPE (Prescriptive Method Only)

Roof / Ceiling Assembly
Description of assembly: Existing wood joist framing with Shingle Roof
U-Value of total assembly: _____
R-Value of insulation: R-38 (New)
Skylights in each assembly: _____
U-Value of skylight: _____
Total square footage of skylights in each assembly: _____

Exterior Walls
Description of assembly: Existing wood framing (2x4 @ 16 O.C. w/ 1/2" Plywood & Wood Siding)
U-Value of total assembly: _____
R-Value of insulation: R-20 (New)
Openings (windows or doors with glazing): _____
U-Value of assembly: _____
Solar heat gain coefficient: _____
Projection factor: _____
Door R-Values: _____

Walls below grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____

Floors over unconditioned space Existing 2x10 wood joist framing
Description of assembly: Existing 2x10 wood joist framing
U-Value of total assembly: _____
R-Value of insulation: R-38 (New)

Floors slab on grade
Description of assembly: _____
U-Value of total assembly: _____
R-Value of insulation: _____
Horizontal/vertical requirement: _____
Slab heated: _____

STRUCTURAL SUMMARY

SEE STRUCTURAL DRAWINGS
NOT APPLICABLE

ELECTRICAL SUMMARY

SEE ELECTRICAL DRAWINGS
NOT APPLICABLE

MECHANICAL SUMMARY

SEE MECHANICAL DRAWINGS
NOT APPLICABLE

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

MECHANICAL DESIGN
(Provide on the mechanical sheets if applicable)

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS, AND EQUIPMENT

Thermal Zone
winter dry bulb: 14.7
summer dry bulb: 88.3

Interior design conditions
winter dry bulb: 70
summer dry bulb: 75
relative humidity: 50%

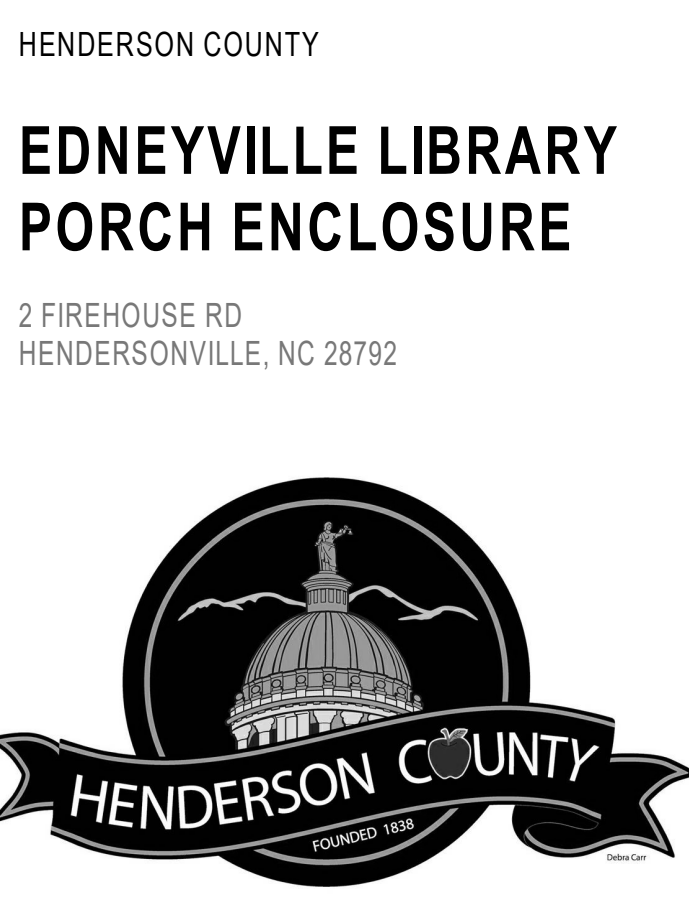
Building heating load: 19.1 MBH
Building cooling load: 25.2 MBH

Mechanical Spacing Conditioning System
Unitary
description of unit: Electrically Operated Unitary Heat Pump
heating efficiency: 8 HSFP
cooling efficiency: 14 SEER
size of category of unit: > 65,000 Btu/h

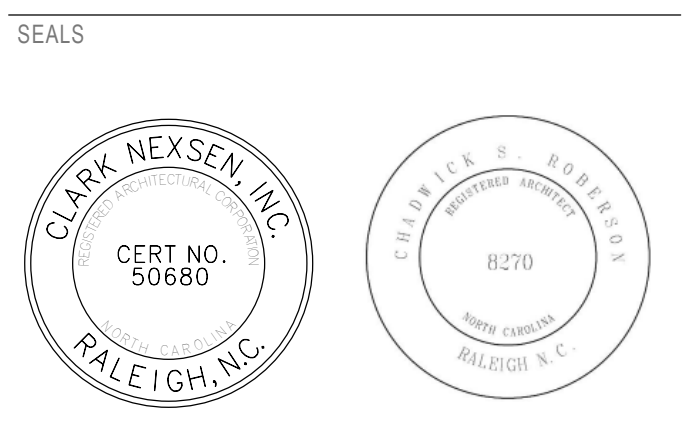
Boiler
Size category. If oversized, state reason: N/A

Chiller
Size category. If oversized, state reason: N/A

List equipment efficiencies: _____



DESIGNER
CLARK NEXSEN
301 College Street, Suite 300
Asheville, North Carolina 28801
828.232.0608
www.clarknexsen.com



SUBMITTAL
02.19.21
CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION

SHEET
COVER SHEET

GI001

DESIGN: Designer
DRAWN: Author
REVIEW: Checker
CN 9122

2/19/2021 1:33:46 PM
 C:\rent\Projects\192_ED_LD_UB\192_ED_LD_UB.dwg
 20210219 132556 v1

1
 E
 D
 C
 B
 A

2
 MECHANICAL
 ELECTRICAL
 FIRE PROTECTION
 ARCHITECTURAL

ARCHITECTURAL SYMBOLOGY

<p>NEW WORK KEYNOTE</p>	<p>DEMOLITION KEYNOTE</p>
<p>WINDOW / LOUVER / CURTAIN WALL / STOREFRONT DESIGNATION</p>	<p>SPECIALTY ITEM DESIGNATION</p>
<p>FLOOR DRAIN</p>	<p>REVISION TAG</p>
<p>COLUMN GRID LINE</p>	<p>EXISTING COLUMN GRID LINE</p>
<p>ROOM NAME ROOM DESIGNATION</p>	<p>FIRST FLOOR +12'-0" ELEVATION DATUM</p>
<p>DIRECTION OF SLOPE</p>	<p>ROOF SLOPE</p>
<p>FIRE EXTINGUISHER CABINET</p>	<p>FIRE EXTINGUISHER BRACKET</p>
<p>ACCESSIBLE BEDROOMS - MOBILITY FEATURES</p>	<p>ACCESSIBLE BEDROOMS - COMMUNICATION FEATURES</p>
<p>ADJACENT AREA REFERENCE MATCHLINE</p>	<p>CONTROL JOINT BUILDING SEPARATION JOINT EXPANSION JOINT</p>

<p>SPRINKLER HEAD</p>	<p>A1 NAME SCALE: _____</p> <p>DETAIL, SECTION, ELEVATION TITLE</p>
<p>FIRE ALARM STROBE / FIRE ALARM HORN STROBE</p>	<p>PLAN NORTH INDICATOR TRUE NORTH INDICATOR</p> <p>A1 NAME SCALE: _____</p> <p>PLAN TITLE AND NORTH ARROW</p>
<p>SMOKE DETECTOR</p>	<p>DETAIL / PLAN NUMBER</p> <p>DETAIL / ENLARGED PLAN</p>
<p>SPEAKER / SPEAKER W/ STROBE</p>	<p>SHEET WHERE SHOWN</p> <p>ELEVATION NUMBER</p> <p>INTERIOR ELEVATION</p>
<p>CARBON MONOXIDE SENSOR</p>	<p>SHEET WHERE SHOWN</p> <p>ELEVATION NUMBER</p> <p>EXTERIOR ELEVATION</p>
<p>HEAT SENSOR / PHOTO SENSOR</p>	<p>SHEET WHERE SHOWN</p> <p>SECTION NUMBER</p> <p>BUILDING SECTION</p>
<p>EXPOSED CEILING</p>	<p>SHEET WHERE SHOWN</p> <p>SECTION NUMBER</p> <p>DETAIL / WALL SECTION</p>
<p>CEILING HEIGHT</p>	<p>DETAIL NUMBER</p> <p>DETAIL SECTION</p> <p>SHEET NUMBER NOTED IN GENERAL NOTES ON SHEET</p>
<p>ACCESS PANEL</p>	<p>PHOTOGRAPH / 3D VIEW REFERENCE</p>
<p>CEILING FAN</p>	<p>PARTITION / WALL TYPE</p>
<p>2' x 2' ACOUSTICAL TILE LAY-IN CEILING</p>	<p>DOOR NUMBER</p>
<p>2' x 4' ACOUSTICAL TILE LAY-IN CEILING</p>	<p>PHOTOGRAPH / 3D VIEW REFERENCE</p>
<p>4' x 4' ACOUSTICAL TILE LAY-IN CEILING</p>	<p>PARTITION / WALL TYPE</p>
<p>GWB CEILING / SOFFIT</p>	<p>DOOR NUMBER</p>
<p>WOOD CEILING / SOFFIT</p>	<p>PARTITION / WALL TYPE</p>
<p>METAL PANEL CEILING / SOFFIT</p>	<p>DOOR NUMBER</p>

ARCHITECTURAL GENERAL NOTES

1. PLAN DIMENSIONS SHOWN ARE TO FACE OF FRAMING MEMBERS, FACE OF MASONRY, FACE OF EXISTING WALL AND TO CENTERLINE OF COLUMNS.
2. ALL NOTES, DETAILS, AND FEATURES DRAWN AS APPLICABLE FOR ONE CONDITION ARE APPLICABLE TO SIMILAR CONDITIONS, WHETHER OR NOT SPECIFICALLY INDICATED.
3. IN STUD WALLS, LOCATE ALL INTERIOR DOOR FRAMES A DISTANCE OF 4" (FOUR) INCHES FROM THE THROAT RETURN TO THE CLOSEST ADJACENT PERPENDICULAR PARTITION, UON. IN CMU WALLS, LOCATE MASONRY OPENING AT DOORS 8" (EIGHT) FROM THE PERPENDICULAR WALL.
4. ALL ELEVATIONS ARE MEASURED FROM THE REFERENCE ELEVATION +0'-0", WHICH IS THE TOP OF THE FIRST FLOOR SLAB, UON.
5. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS OR SIZES OF BUILDING ELEMENTS.
6. ALL WOOD BLOCKING AND MISCELLANEOUS STEEL SHOWN IN DETAILS AND SECTIONS SHALL BE CONTINUOUS, UON.
7. USE FIRE-RETARDANT TREATED WOOD PRODUCTS FOR ALL CONCEALED WOOD BLOCKING, UON.
8. USE PRESERVATIVE-TREATED WOOD PRODUCTS FOR ALL WOOD BLOCKING IN CONTACT WITH EXTERIOR MASONRY OR CONCRETE WALLS, AND FOR ALL WOOD BLOCKING IN CONTACT WITH CONCRETE SLABS ON GRADE.
9. VERIFY ALL DIMENSIONS. BRING ANY DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
10. NOTIFY ARCHITECT OF ANY DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS AND/OR EXISTING CONDITIONS.
11. PROVIDE WOOD OR METAL BLOCKING BEHIND GWB AT THE FOLLOWING LOCATIONS:
 - A. ALL WALL-MOUNTED OR CEILING-MOUNTED DOOR STOPS, DOOR HOLD-OPEN DEVICES, AND OTHER HARDWARE.
 - B. ALL WALL-MOUNTED TOILET ACCESSORIES, AT GRAB BARS, PROVIDE BLOCKING CAPABLE OF RESISTING A MINIMUM LOAD OF 250 POUNDS APPLIED VERTICALLY OR HORIZONTALLY AT ANY POINT ON THE GRAB BAR.
 - C. ALL WALL-MOUNTED PLUMBING FIXTURES, INCLUDING BUT NOT LIMITED TO LAVATORIES, SINKS, URINALS, WATER CLOSETS, AND WATER COOLERS. PROVIDE BLOCKING CAPABLE OF RESISTING A MINIMUM LOAD OF 400 POUNDS APPLIED VERTICALLY AT ANY POINT ON THE PLUMBING FIXTURE.
 - D. ALL WALL-MOUNTED CABINETS, SHELVING, AND SIMILAR ITEMS.
 - E. ALL WALL-MOUNTED VIDEO MONITORS, AND SIMILAR ITEMS.
12. ALL MATERIALS USED IN THE PROJECT SHALL BE NEW AND PROVIDED BY THE CONTRACTOR, UON.
13. USE BITUMINOUS MEMBRANE TO SEPARATE PRESERVATIVE-TREATED WOOD PRODUCTS FROM CONTACT WITH ANY METAL SURFACE.

ARCHITECTURAL ABBREVIATIONS

<p>& AND</p> <p>@ AT</p> <p>ACT ACOUSTICAL CEILING TILE</p> <p>ADJ ADJUSTABLE, ADJUST</p> <p>AFF ABOVE FINISH FLOOR</p> <p>AFS ABOVE FINISH SLAB</p> <p>ALT ALTERNATE</p> <p>ALUM ALUMINUM</p> <p>APPROX APPROXIMATE</p> <p>APC ARCHITECTURAL PRECAST CONCRETE</p> <p>BD BOARD</p> <p>BLDG BUILDING</p> <p>BLKG BLOCKING</p> <p>BRG BEARING</p> <p>BUR BUILT-UP ROOFING</p> <p>C CENTER LINE</p> <p>CG CORNER GUARD</p> <p>CJ CONTROL JOINT</p> <p>CLR CLEAR</p> <p>CLG CEILING</p> <p>CMU CONCRETE MASONRY UNIT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CONST CONSTRUCTION</p> <p>CONT CONTINUOUS</p> <p>CPT CARPET</p> <p>CT CERAMIC TILE</p> <p>D DEPTH / DRYER</p> <p>DBL DOUBLE</p> <p>DIA DIAMETER</p> <p>DIAG DIAGONAL</p> <p>DIM DIMENSION</p> <p>DISP DISPENSER</p> <p>DN DOWN</p> <p>DS DOWNSPOUT</p> <p>DWG DRAWING</p> <p>EJ EXPANSION JOINT</p> <p>ELEC ELECTRICAL</p> <p>ELEV ELEVATION</p> <p>EOS EDGE OF SLAB</p> <p>EPS EXPANDED POLYSTYRENE</p> <p>EQ EQUAL</p> <p>EQUIP EQUIPMENT</p> <p>EXIST EXISTING</p> <p>EXP EXPANSION / EXPOSED</p> <p>EXT EXTERIOR</p> <p>FD FLOOR DRAIN</p> <p>FEB FIRE EXTINGUISHER BRACKET</p> <p>FEC FIRE EXTINGUISHER CABINET</p> <p>FF FINISH FLOOR</p> <p>FGL FIBERGLASS</p> <p>FIN FINISH</p> <p>FLR FLOOR</p> <p>FO FACE OF</p> <p>FP FIRE PROTECTION</p> <p>FRT FIRE RETARDANT TREATED</p> <p>GA GAUGE</p> <p>GALV GALVANIZED</p> <p>GC GENERAL CONTRACTOR</p> <p>GFRG GLASS FIBER REINFORCED GYPSUM</p> <p>GL GLASS</p> <p>GWB GYPSUM WALLBOARD</p> <p>GYP GYPSUM</p> <p>HDW HARDWARE</p> <p>HWOD HARDWOOD</p> <p>HM HOLLOW METAL</p> <p>HORIZ HORIZONTAL</p> <p>HT HEIGHT</p> <p>HVAC HEATING, VENTILATION, & AIR CONDITIONING</p> <p>ID INSIDE DIAMETER</p> <p>IGU INSULATING GLASS UNIT</p> <p>INSUL INSULATION</p> <p>INT INTERIOR</p> <p>JT JOINT</p> <p>KO KNOCK OUT</p> <p>L LENGTH / LONG</p> <p>MATL MATERIAL</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MFR MANUFACTURER</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>MO MASONRY OPENING</p> <p>MTG MOUNTING</p> <p>MTL METAL</p> <p>NIC NOT IN CONTRACT</p> <p>NO NUMBER</p> <p>NOM NOMINAL</p> <p>NTS NOT TO SCALE</p> <p>OC ON CENTER</p> <p>OD OUTSIDE DIAMETER</p> <p>OFCI OWNER FURNISHED CONTRACTOR INSTALLED</p> <p>OFDI OWNER FURNISHED OWNER INSTALLED</p> <p>OH OPPOSITE HAND</p> <p>OPNG OPENING</p> <p>OPP OPPOSITE</p> <p>ORD OVERFLOW ROOF DRAIN</p> <p>PH PANIC HARDWARE</p> <p>PL PLATE</p> <p>PLAM PLASTIC LAMINATE</p> <p>PLYWD PLYWOOD</p> <p>POLYISO POLYISOCYANURATE INSULATION</p> <p>PR PAIR</p> <p>PTD PAINTED</p> <p>R RADIUS</p> <p>RD ROOF DRAIN</p> <p>REF REFRIGERATOR</p> <p>REINFORCING REINFORCING</p> <p>REQD REQUIRED</p> <p>RM ROOM</p> <p>RO ROUGH OPENING</p> <p>RWL RAIN WATER LEADER</p> <p>SAB SOUND ATTENUATING BLANKET</p> <p>SABF SOUND ATTENUATING FIRE BLANKET</p> <p>SF SQUARE FEET</p> <p>SIM SIMILAR</p> <p>SQ SQUARE</p> <p>SS STAINLESS STEEL</p> <p>STRUCT STRUCTURAL</p> <p>STD STANDARD</p> <p>STL STEEL</p> <p>SUSP SUSPENDED</p> <p>T & B TOP & BOTTOM</p> <p>TELE TELECOMMUNICATION</p> <p>THR THRESHOLD</p> <p>TOC TOP OF CONCRETE</p> <p>TOW TOP OF WALL</p> <p>TP TOILET PARTITION</p> <p>TTL TOTAL</p> <p>TYP TYPICAL</p> <p>UON UNLESS OTHERWISE NOTED</p> <p>VB VINYL BASE</p> <p>VCT VINYL COMPOSITION TILE</p> <p>VERT VERTICAL</p> <p>VIF VERIFY IN FIELD</p> <p>VTR VENT THRU ROOF</p> <p>W WIDTH / WASHER</p> <p>W/ WITH</p> <p>W/O WITHOUT</p> <p>WC WALLCOVERING</p> <p>WD WOOD</p> <p>WDW WINDOW</p> <p>WO WINDOW OPENING</p> <p>WP WORK POINT</p> <p>WT WEIGHT</p> <p>XPS EXTRUDED POLYSTYRENE</p>

MATERIAL LEGEND

	ALUMINUM		GRAVEL		SPANDEL GLAZING
	BRICK		GW B / GROUT / SPRAY FIREPROOFING		STEEL
	CONCRETE		INSULATION - BATT / LOOSE / BLANKET		WOOD BLOCKING / FRAMING - CONTINUOUS
	CONCRETE MASONRY UNIT (CMU)		INSULATION - MINERAL WOOL		WOOD BLOCKING - INTERRUPTED
	EARTH		INSULATION - RIGID		
	FILL - GRANULAR		INSULATION - SPRAY FOAM		
	FILL - POROUS		PLYWOOD / MDF		

RATED PARTITION LEGEND

	ONE HALF HOUR FIRE RATING
	ONE HOUR FIRE RATING
	TWO HOUR FIRE RATING
	THREE HOUR FIRE RATING
	FOUR HOUR FIRE RATING
	SMOKE BARRIER (SB), SMOKE PARTITION (SP), OR PARTITION CAPABLE OF RESISTING THE PASSAGE OF SMOKE (S)

NOT ALL ABBREVIATIONS, SYMBOLS, AND LEGEND GRAPHICS LISTED ARE NECESSARILY USED ON THIS PROJECT. REFER TO DOCUMENTS FOR SPECIFIC INFORMATION.

HENDERSON COUNTY

EDNEYVILLE LIBRARY PORCH ENCLOSURE

2 FIREHOUSE RD
HENDERSONVILLE, NC 28792

DESIGNER

CLARK NEXSEN

301 College Street, Suite 300
Asheville, North Carolina 28801
828-232-0008
www.clarknexsen.com

SEALS

SUBMITTAL
02.19.21

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DESCRIPTION

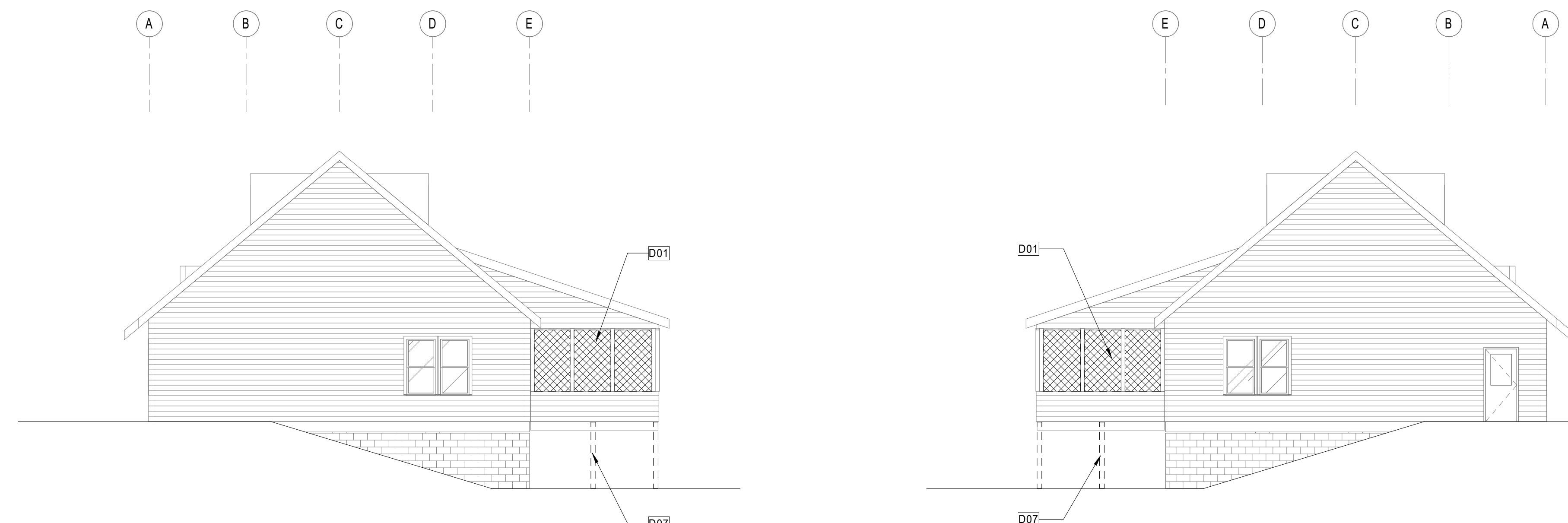
SHEET
ARCHITECTURAL LEGENDS AND NOTES

A-001

DESIGN: Designer
DRAWN: Author
REVIEW: Checker

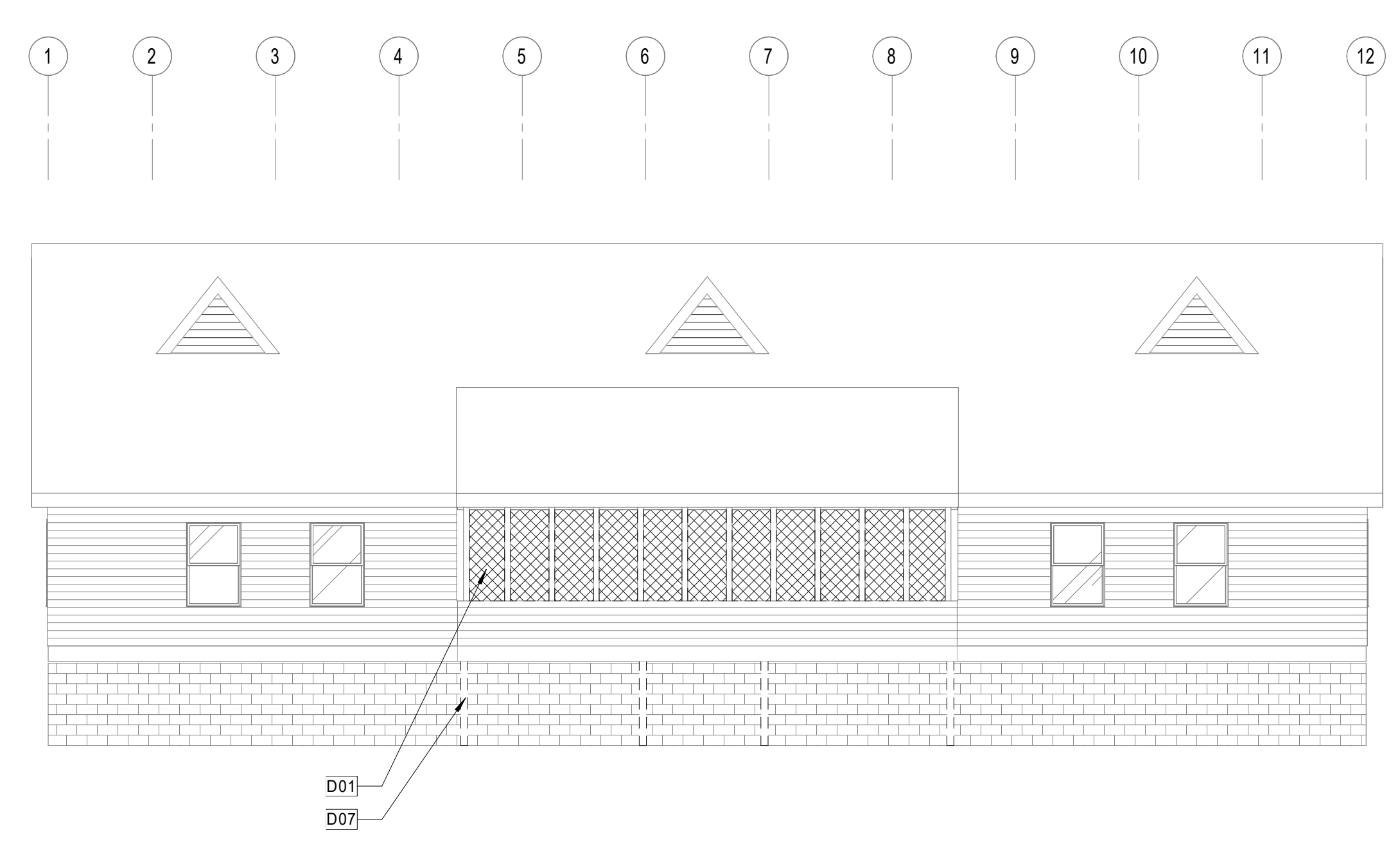
CN 9122

2/19/2021 1:33:47 PM C:\New Projects\192_ED_LIB\192_ED_LIB.dwg AD101 1/8" = 1'-0"

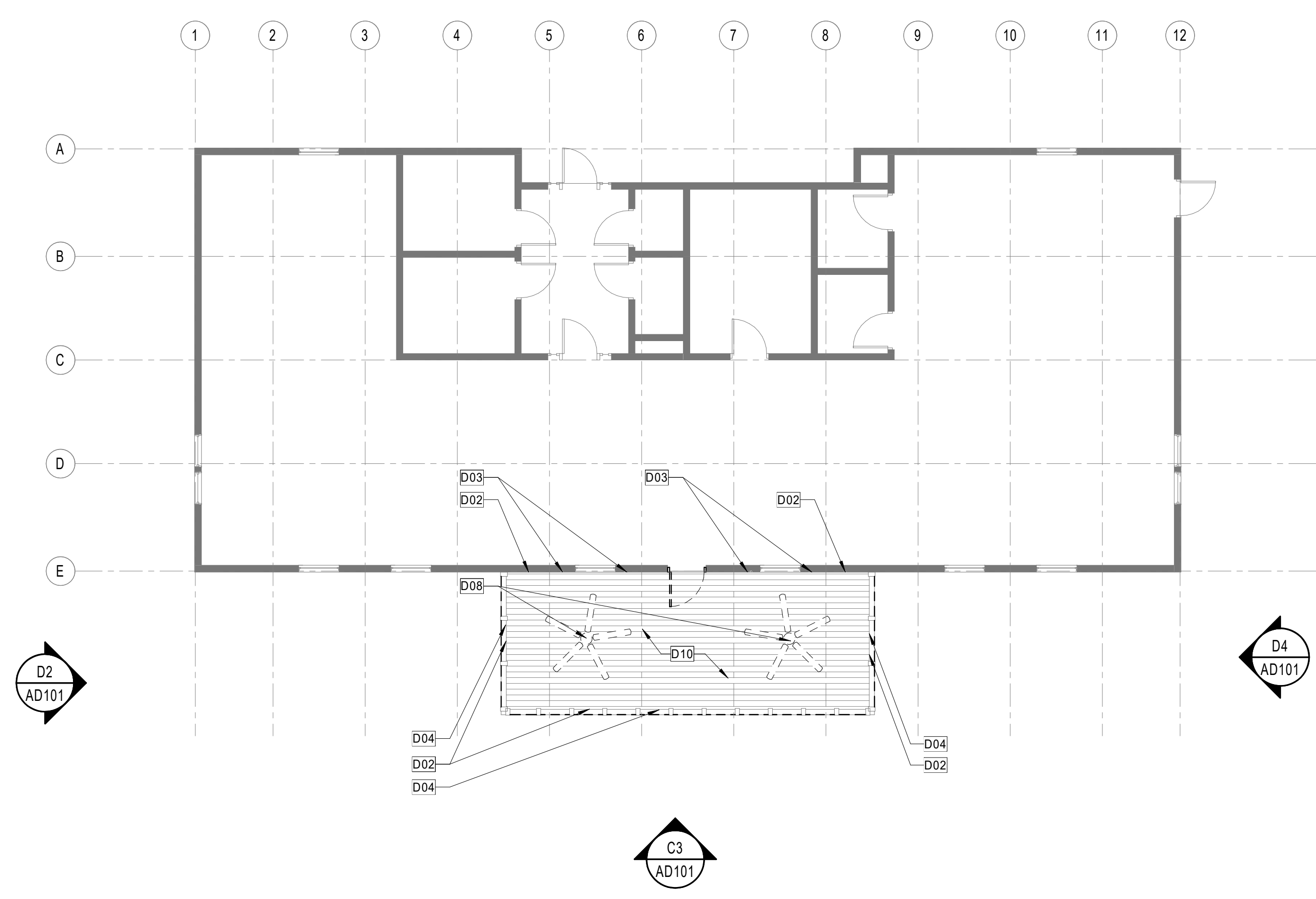


D2
AD101 1/8" = 1'-0"
DEMO ELEVATION - WEST

D4
AD101 1/8" = 1'-0"
DEMO ELEVATION - EAST



C3
AD101 1/8" = 1'-0"
DEMO ELEVATION - SOUTH



A3
AD101 1/8" = 1'-0"
DEMO PLAN - FIRST FLOOR

GENERAL NOTES

1. ALL ITEMS SALVAGED FOR OWNER SHALL BE PRESENTED TO THE OWNER FOR THE FIRST RIGHT OF REFUSAL. IF OWNER CHOOSES TO RETAIN ITEMS, THE CONTRACTOR WILL MOVE ITEMS TO THE LOCATION OF THE OWNERS CHOOSING ON SITE. IF OWNER CHOOSES TO NOT RETAIN ITEMS, CONTRACTOR IS TO DISPOSE OF ITEMS LEGALLY OFF SITE.
2. ALL ITEMS SALVAGED FOR REINSTALLATION SHALL BE PROTECTED FROM DAMAGE AND STORED ON SITE IN A SECURE LOCATION. ITEMS TO BE REINSTALLED WILL BE CLEANED PRIOR TO INSTALLATION. IF ITEM IS DAMAGED IN ACT OF REMOVAL FROM ITS CURRENT LOCATION, NOTIFY OWNER AND ARCHITECT IMMEDIATELY.

SHEET NOTES

NOTE	DESCRIPTION
D01	DEMOLISH AND REMOVE EXISTING INSECT SCREEN, TYP.
D02	DEMOLISH AND REMOVE EXISTING WOOD SIDING, PREPARE FOR DRYWALL INSTALLATION
D03	DEMOLISH AND REMOVE EXISTING SHUTTERS
D04	DEMOLISH AND REMOVE EXISTING PLYWOOD
D07	DEMOLISH AND REMOVE EXISTING 6x6 POST AFTER NEW CMU INSTALLATION, TYP.
D08	DEMOLISH AND REMOVE EXISTING CEILING FANS
D10	DEMOLISH AND REMOVE EXISTING WOOD CEILING, PREPARE FOR DRYWALL CEILING AND INSULATION INSTALLATION

LEGEND 1

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY
- PORTION OF EXISTING WALL TO BE DEMOLISHED TO RECEIVE NEW WORK (REFER TO NEW FLOOR PLANS)
- EXISTING DOOR TO REMAIN
- EXISTING DOOR AND HARDWARE TO BE REMOVED, FRAME TO REMAIN IN PLACE. REFER TO NEW WORK FLOOR PLANS FOR DOOR TAGS.
- EXISTING WALL, DOOR, FRAME AND HARDWARE TO BE REMOVED IN THEIR ENTIRETY
- EXISTING PLUMBING FIXTURES TO BE REMOVED
- DENOTES NEW OPENING IN EXISTING FLOOR SLAB (REFER TO STRUCTURAL)

HENDERSON COUNTY

EDNEYVILLE LIBRARY PORCH ENCLOSURE

2 FIREHOUSE RD
HENDERSONVILLE, NC 28792



DESIGNER

CLARK NEXSEN

301 College Street, Suite 300
Asheville, North Carolina 28801
828-232-0008
www.clarknexsen.com

SEALS



SUBMITTAL

02.19.21

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DESCRIPTION

SHEET

FIRST FLOOR DEMOLITION PLAN

AD101

DESIGN: Designer
DRAWN: Author
REVIEW: Checker

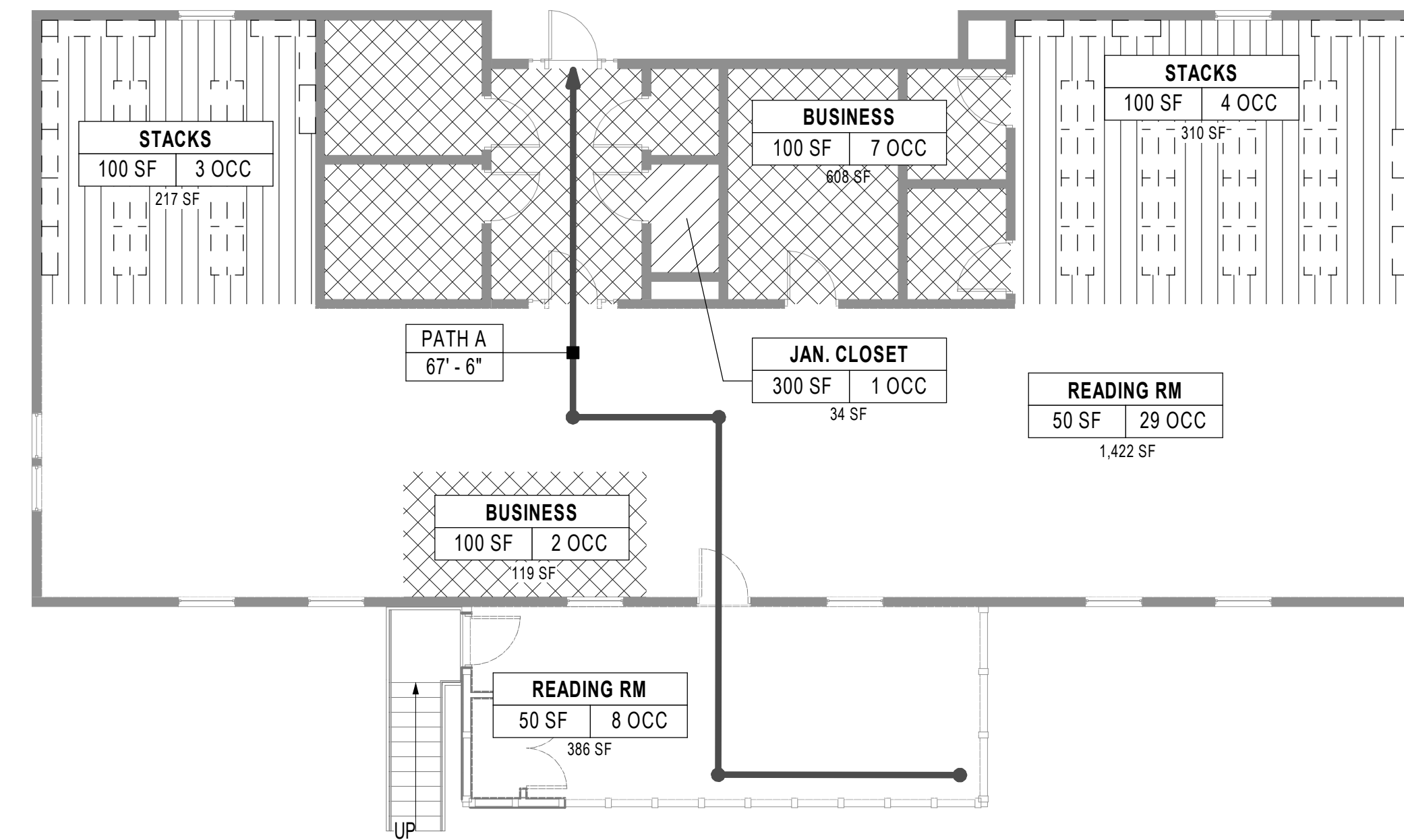
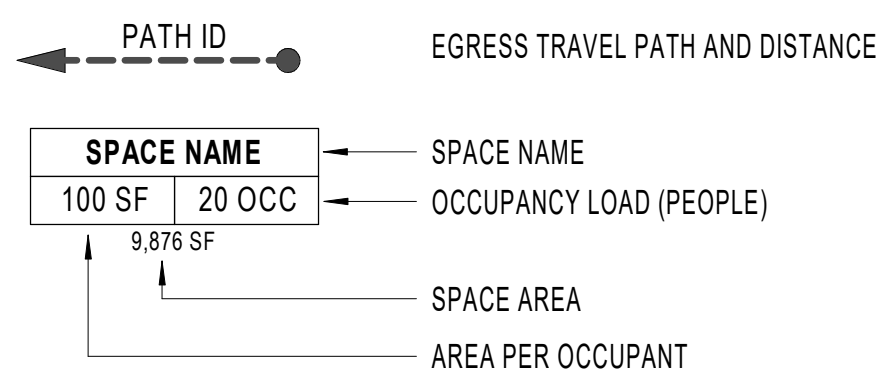
CN 9122

2018 NCBC OCCUPANCY SCHEDULE - LEVEL 1 - EDIT						
AREA INFORMATION	LEVEL	AREA	PATTERN	OCCUPANCY		
				FUNCTION OF SPACE (TABLE 1004.1.2)	OCCUPANT LOAD FACTOR	# OF OCCUPANTS
FIRST FLOOR		34 SF		Accessory storage areas, mechanical equipment room	300 SF	1
FIRST FLOOR		727 SF		Business areas	100 SF	9
FIRST FLOOR		1,808 SF		Library Reading Rooms	50 SF	37
FIRST FLOOR		528 SF		Library Stacks	100 SF	7
FIRST FLOOR: 7		3,097 SF				54

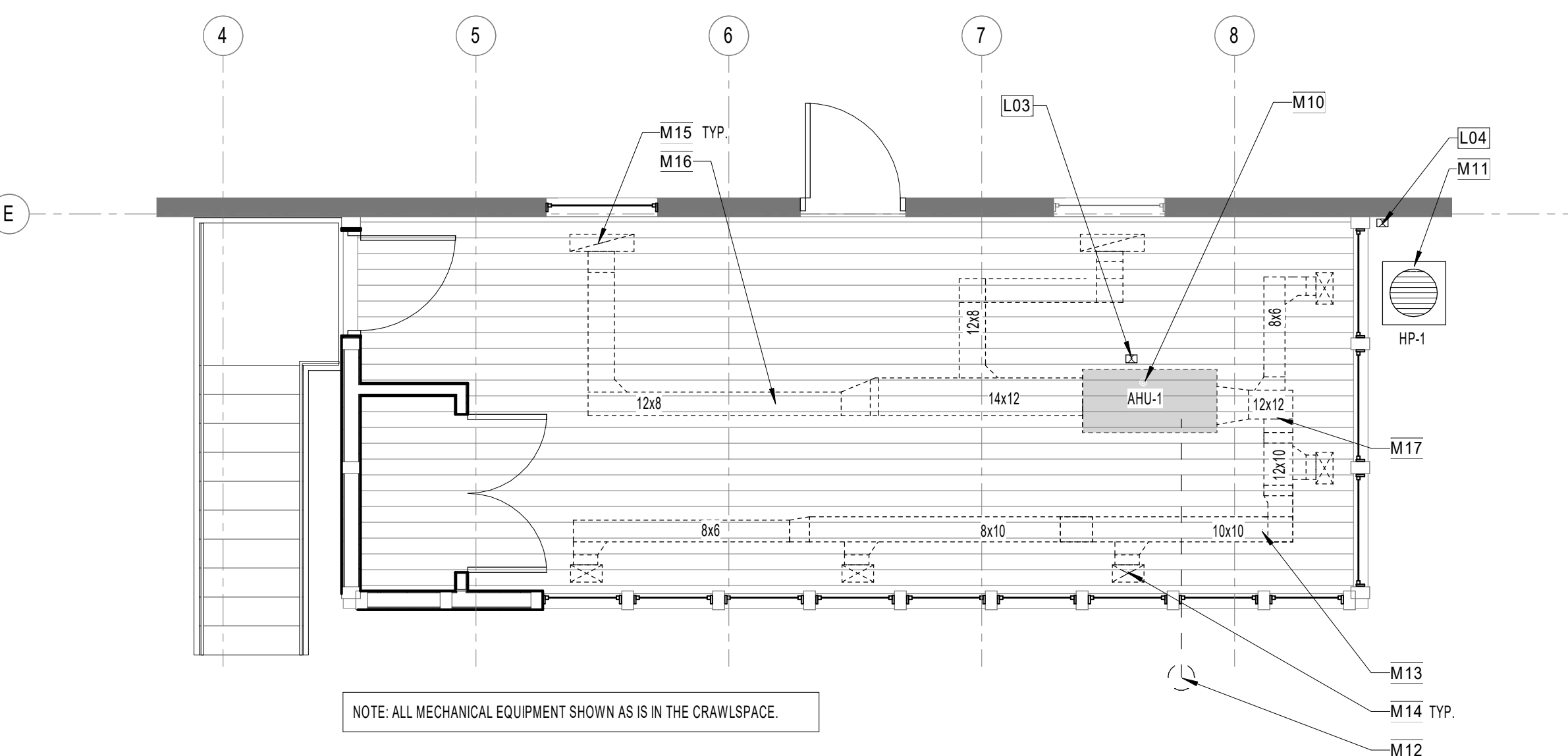
LIFE SAFETY NOTES

- COORDINATE ALL FIRE EXTINGUISHERS LOCATIONS SHOWN ON PLANS W/ LOCAL FIRE OFFICIAL'S REQUIREMENTS.
- GC TO PROVIDE & INSTALL ALL BLOCKING IN WALLS AS REQUIRED FOR MOUNTING FIRE EXTINGUISHERS.
- GC TO COORDINATE INSTALLATION REQUIREMENTS OF EXIT SIGNS, ALL ASSOCIATED HARDWARE, JUNCTION BOXES, WIRING & REQUIRED EXIT DEVICES W/ ELECTRICAL DRAWINGS & LOCAL INSPECTOR.
- RATED WALLS AND PARTITIONS REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE PERMANENTLY STENCILED EVERY 10'-0" ABOVE THE CEILING OR CONCEALED SPACE.
EXAMPLE:
• 1-HOUR RATED BARRIER - PROTECT ALL OPENINGS

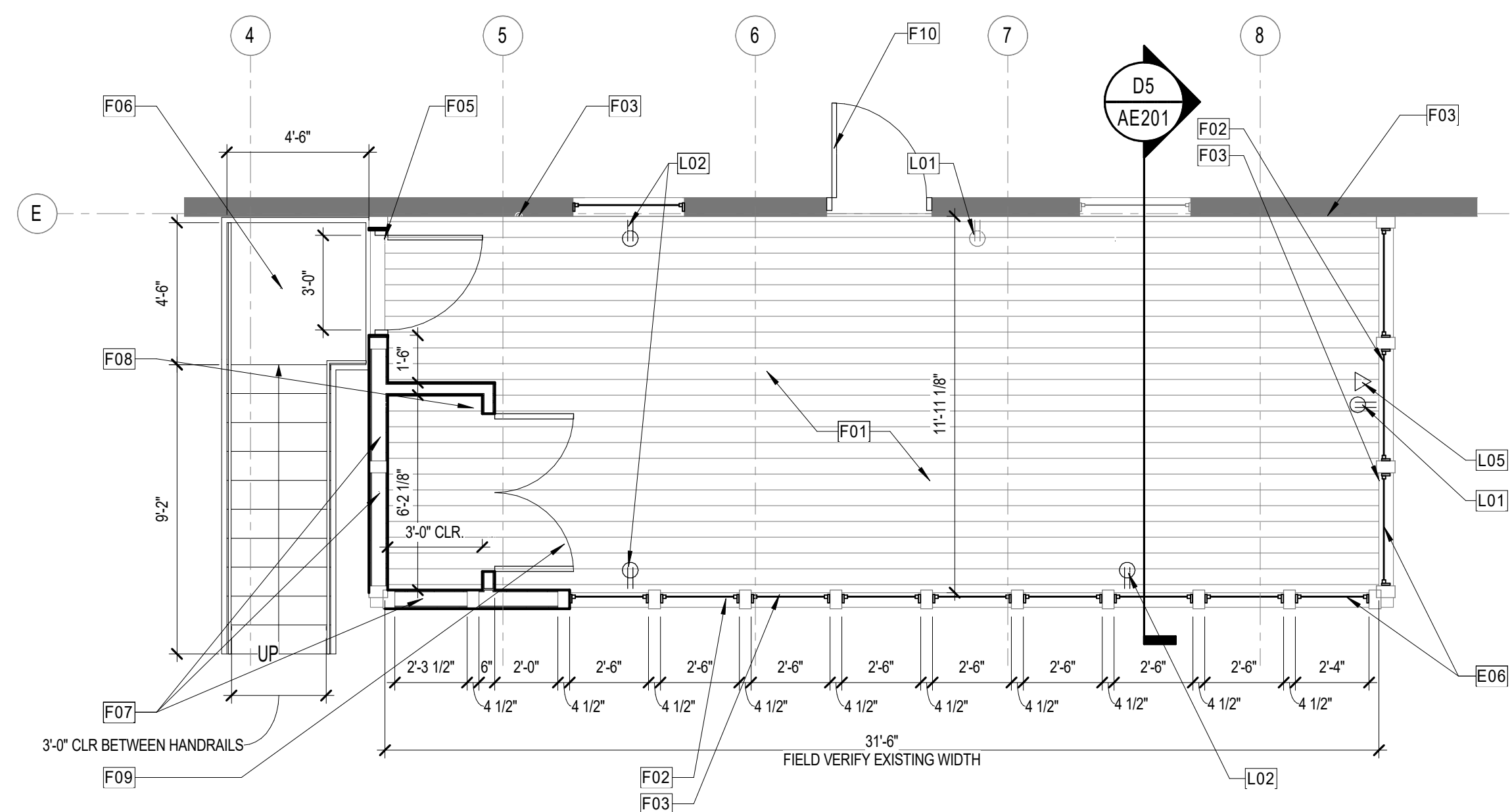
LEGEND



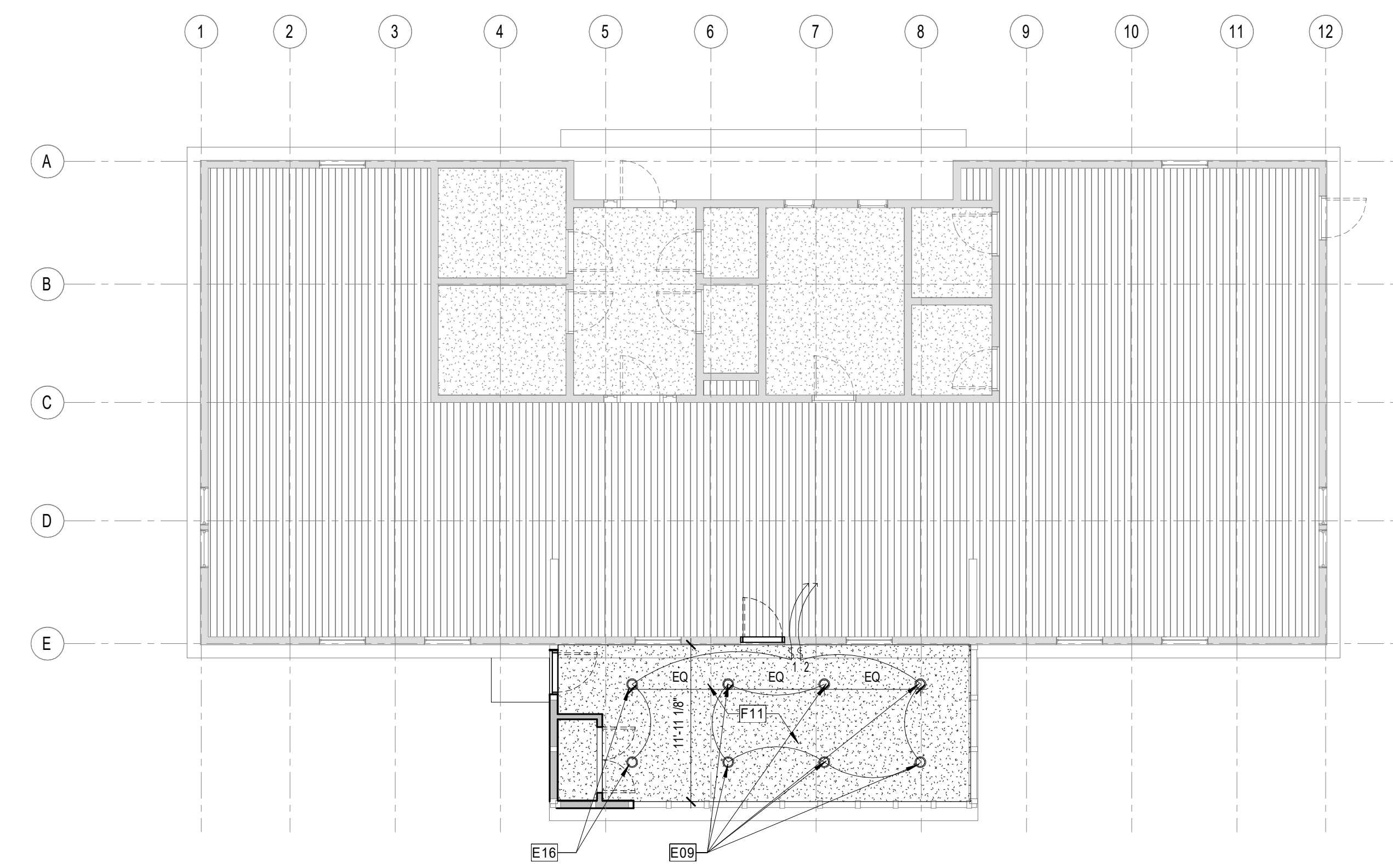
D5 AE101 1/8" = 1'-0"
FIRST FLOOR LIFE SAFETY PLAN



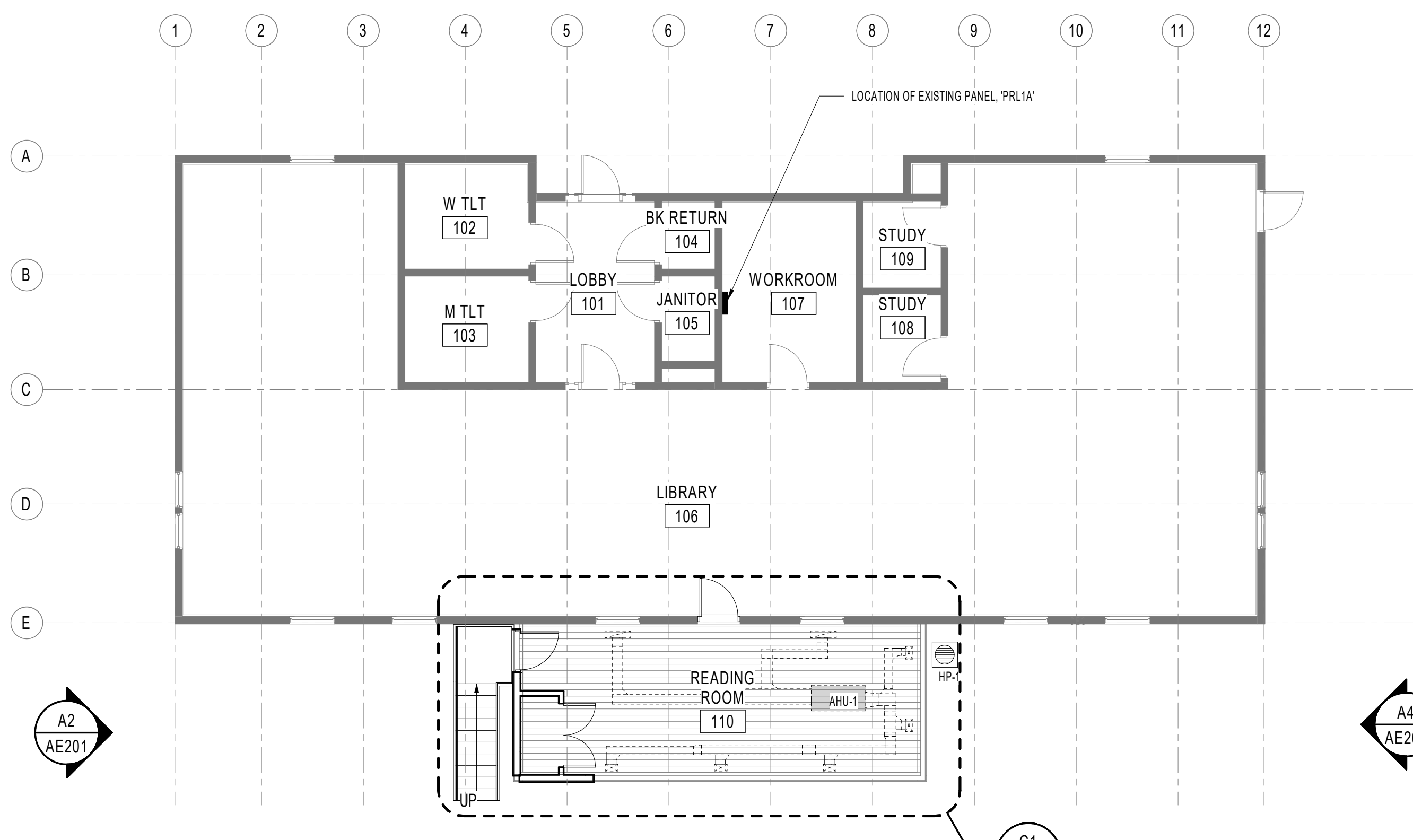
C1 AE101 1/4" = 1'-0"
ENLARGED FLOOR PLAN - READING ROOM - MECHANICAL



C3 AE101 1/4" = 1'-0"
ENLARGED FLOOR PLAN - READING ROOM



A1 AE101 1/8" = 1'-0"
FIRST FLOOR REFLECTED CEILING PLAN



A3 AE101 1/8" = 1'-0"
FIRST FLOOR PLAN

GENERAL NOTES

- WORK SHALL BE IN ACCORDANCE WITH ALL PROVISIONS OF NATIONAL, STATE, AND LOCAL CODES. AMERICANS WITH DISABILITIES ACT (ADA) SHALL BE FOLLOWED WHERE APPLICABLE.
- ALL NOTES, DETAILS, AND FEATURES DRAWN AS APPLICABLE FOR ONE CONDITION ARE APPLICABLE TO SIMILAR CONDITIONS, WHETHER OR NOT SPECIFICALLY INDICATED.
- NO SUBSTITUTIONS SHALL BE MADE TO BUILDING STANDARDS OR SPECIFIED MANUFACTURERS OR PRODUCTS WITHOUT APPROVAL OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND EXISTING CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES AND/OR DAMAGE TO EXISTING BUILDING WHICH MAY INTERFERE WITH THE FIRST QUALITY EXECUTION OF NEW WORK.
- DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS OR SIZES OF BUILDING ELEMENTS.
- ALL WOOD BLOCKING AND MISCELLANEOUS STEEL SHOWN IN DETAILS AND SECTIONS SHALL BE CONTINUOUS, UNO.
- USE PRESERVATIVE-TREATED WOOD PRODUCTS FOR ALL WOOD BLOCKING IN CONTACT WITH EXTERIOR MASONRY OR CONCRETE WALLS, AND FOR ALL WOOD BLOCKING IN CONTACT WITH CONCRETE SLABS ON GRADE. ALL WOOD EXPOSED TO EXTERIOR SHALL BE PRESERVATIVE TREATED FOR CONTACT WITH GRADE.
- VERIFY ALL DIMENSIONS. BRING ANY DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- ALL CONTRACTORS SHALL MAINTAIN, AND REPAIR IF NECESSARY, THE INTEGRITY OF EXISTING ACoustICAL OR FIRE RATED FLOOR, WALL, ROOF, AND CEILING ASSEMBLIES WITHIN THE AREA OF WORK.
- REQUIRED MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION, OR A TEMPORARY ALTERNATE MEANS OF EGRESS PLANS SHALL BE SUBMITTED TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION. WORK IN AN EGRESS CORRIDOR OR MAY TAKE PLACE OUTSIDE OF HOURS OF BUILDING OCCUPANCY IN LIEU OF A TEMPORARY ALTERNATE EGRESS PLAN, SHALL BE CONFIRMED WITH OWNER.
- REPAIR AND FINISH ANY HOLES IN WALLS LEFT FROM REMOVAL OF DUCTS, PIPES, CONDUIT, ETC. AND RESTORE WALLS TO ORIGINAL INTEGRITY AND WALL RATING.
- PROVIDE TEMPORARY DUST PARTITIONS & BARRIERS TO SEPARATE AREAS OF DEMOLITION AND CONSTRUCTION FROM OCCUPIED AREAS.
- THE INFORMATION ON THESE SHEETS IS DIAGRAMMATIC AND DOES NOT PURPORT TO SHOW EACH AND EVERY CONDITION OF THE EXISTING BUILDING.
- ALL CONTRACTORS TO COORDINATE WITH OWNER WHICH ITEMS ARE TO BE SALVAGED.
- PLAN DIMENSIONS SHOWN ARE TO FACE OF FRAMING MEMBERS, FACE OF MASONRY, FACE OF EXISTING WALL AND TO CENTERLINE OF COLUMNS.
- PROVIDE WOOD OR METAL BLOCKING BEHIND GYPSUM BOARD AT ALL WALL-MOUNTED OR CEILING-MOUNTED DOOR STOPS, DOOR HOLD-OPEN DEVICES, AND OTHER HARDWARE.
- ALL MATERIALS USED IN THE PROJECT SHALL BE NEW, UL LABELED, AND SHALL MEET OSHA REQUIREMENTS
- USE BITUMINOUS MEMBRANE TO SEPARATE PRESERVATIVE-TREATED WOOD PRODUCTS FROM CONTACT WITH ANY METAL SURFACE.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING AS-BUILT DRAWINGS ON SITE. UPDATES TO DRAWINGS SHALL BE MADE AT REGULAR INTERVALS.
- ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK MUST CONFORM TO APPLICABLE CODES AND IS SUBJECT TO REVIEW, INSPECTION, AND APPROVAL OF LOCAL AUTHORITIES.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND MAINTAIN A CLEAN CONSTRUCTION SITE THROUGHOUT PROJECT. PROPERTY SHALL BE TURNED OVER TO OWNER IN MOVE-IN CONDITIONS.
- ALL NEW MATERIALS TO BE STORED AND HANDLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

SHEET NOTES	
NOTE	DESCRIPTION
E06	NEW SINGLE HUNG EXTRUDED ALUMINUM WINDOW, FINISH TO MATCH EXISTING WINDOWS. BASIS OF DESIGN MARVIN G2 SINGLE HUNG WINDOW (TYP.). DO NOT ORDER WINDOWS UNTIL ALL OPENINGS HAVE BEEN FIELD VERIFIED, INSTALL PER MANUFACTURER'S INSTRUCTIONS
E09	NEW LIGHT FIXTURE, TIE INTO NEW SWITCH (SWITCH 1) BY DOOR
E16	NEW LIGHT FIXTURE, TIE INTO NEW SWITCH (SWITCH 2) BY DOOR
F01	INSTALL CARPET TILE OVER CARPET PAD OVER 1/4" PLYWOOD OVER EXISTING DECKING OVER EXISTING WOOD JOISTS. BASIS OF DESIGN CARPET TILE IS INTERFASE ICEBREAKER LINE
F02	ADD 2" FURRING STRIPS OVER EXISTING 2x4 WOOD STUDS, INSTALL 8" BATT INSULATION (R-20) BETWEEN STUDS, TYP. OF EXISTING PORCH WALL
F03	NEW 5/8" DRYWALL OVER STUDS, PAINT DRYWALL
F05	NEW 7'-0" H x 3'-0" W SOLID WOOD DOOR W/ HM FRAME, STYLE, MATERIAL, AND FINISH TO MATCH EXISTING DOORS, SEE "EXISTING DOOR ELEVATION" FOR INFORMATION
F06	NEW EXTERIOR WOOD STAIR, RAIL, AND LANDING CONSTRUCTED TO ADA STANDARDS AND GUIDELINES. ALL WOOD TO BE PRESSURE TREATED, PAINT TO MATCH EXISTING EXTERIOR COLOR
F07	INFILL EXISTING SCREEN OPENING WITH STUDS AND R-20 BATT INSULATION, FOR EXTERIOR, ADD SIDING AND PAINT TO MATCH EXISTING. FOR INTERIOR, ADD DRYWALL AND PAINT
F08	NEW 2x4 WOOD STUD WALL W/ 5/8" GWB ON BOTH SIDES, PAINTED
F09	NEW PAIR OF 6'-6" H x 2'-6" W SOLID WOOD FLUSH DOORS WITH WOOD FRAME AND HARDWARE
F10	NEW 7'-0" H x 3'-0" W SOLID WOOD DOOR WITH VISION LITE & NEW 7'-0" X 3'-0" EXTERIOR DOOR WITH VISION LITE AND HARDWARE TO MATCH EXISTING. INCLUDE ADA ACCESSIBLE THRESHOLD
F11	NEW PAINTED DRYWALL CEILING WITH INSULATION ABOVE, PAINT COLOR CHOSEN BY OWNER
L01	EXISTING WEATHER PROOF GFCI RECEPTACLE TO REMAIN
L02	PROVIDE NEW WEATHER PROOF GFCI RECEPTACLE, FLUSH MOUNT WHERE POSSIBLE @ 18" AFF. INSTALL NEW RECEPTACLES ON SAME NEW 120V, 20A CIRCUIT FROM PANEL PRL1A
L03	PROVIDE AND INSTALL DISCONNECT FOR AIR HANDLER UNIT 'AHU-1'. INSTALL 2-POLE, 208V, 25A CIRCUIT FROM PANEL PRL1A, REFER TO FINAL SELECTION EQUIPMENT MANUAL FOR ELECTRICAL CONNECTION REQUIREMENTS AND DETAILS PRIOR TO INSTALLING CIRCUIT. DISCONNECT SHALL BE WITHIN SIGHT OF EQUIPMENT BEING SERVED. CONSULT WITH OWNER FOR APPROVED LOCATION
L04	PROVIDE AND INSTALL DISCONNECT FOR HEAT PUMP 'HP-1'. INSTALL 2-POLE, 208V, 25A CIRCUIT FROM PANEL PRL1A, REFER TO FINAL SELECTION EQUIPMENT MANUAL FOR ELECTRICAL CONNECTION REQUIREMENTS AND DETAILS PRIOR TO INSTALLING CIRCUIT
L05	ADD ROUGH IN FOR DATA. PROVIDE RACEWAY TO THE OWNER'S DATA CLOSET OR RACK
M10	NOMINAL 2-TON HEAT PUMP WITH 4KW AUX ELECTRIC HEAT STRIPS, HANG UNIT FROM STRUCTURE ABOVE
M11	NOMINAL 2-TON HEAT PUMP, PROVIDE CONCRETE PAD > LARGER THAN UNIT IN ALL DIRECTIONS
M12	ROUTE CONDENSATE TO DRY WELL
M13	INSTALL SUPPLY AIR DUCT IN ACCORDANCE WITH SMACNA DUCT CONSTRUCTION STANDARDS. PROVIDE 2" - 0.75 PCF FSK JACKET FIBERGLASS INSULATION
M14	FLOOR MOUNTED SUPPLY GRILLE, BALANCE TO 160 CFM. PROVIDE MANUAL VOLUME DAMPER (MVD) AT BRANCH TAKEOFF. PROVIDE MVD WITH 2" STANDOFF BRACKET. SUPPLY GRILLE SHALL BE STAMPED STEEL 10X6 - 3-WAY - COLOR BY OWNER
M15	FLOOR MOUNTED RETURN GRILLE, BALANCE TO 400 CFM. GRILLE SHALL BE 14X8 STAMPED STEEL - COLOR BY OWNER
M16	RETURN DUCT SHALL BE LINED WITH 1" ACOUSTIC LINER
M17	SUPPLY DUCT SHALL BE LINED FOR THE FIRST 10' WITH 1" ACOUSTIC LINER

HENDERSON COUNTY

EDNEYVILLE LIBRARY PORCH ENCLOSURE

2 FIREHOUSE RD
HENDERSONVILLE, NC 28792

DESIGNER

CLARK NEXSEN

301 College Street, Suite 300
Asheville, North Carolina 28801
828-232-0008
www.clarknexsen.com

SEALS

SUBMITTAL
02.19.21

CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DESCRIPTION

SHEET

FIRST FLOOR PLAN & LIFE SAFETY PLAN

AE101

DESIGN: Designer
DRAWN: Author
REVIEW: Checker

CN 9122

2/19/2021 1:33:51 PM
C:\Recent Projects\AE101_ED\102122_ED_LIE_digital\m20210219_025856.rvt

1
E
D
C
B
A

2

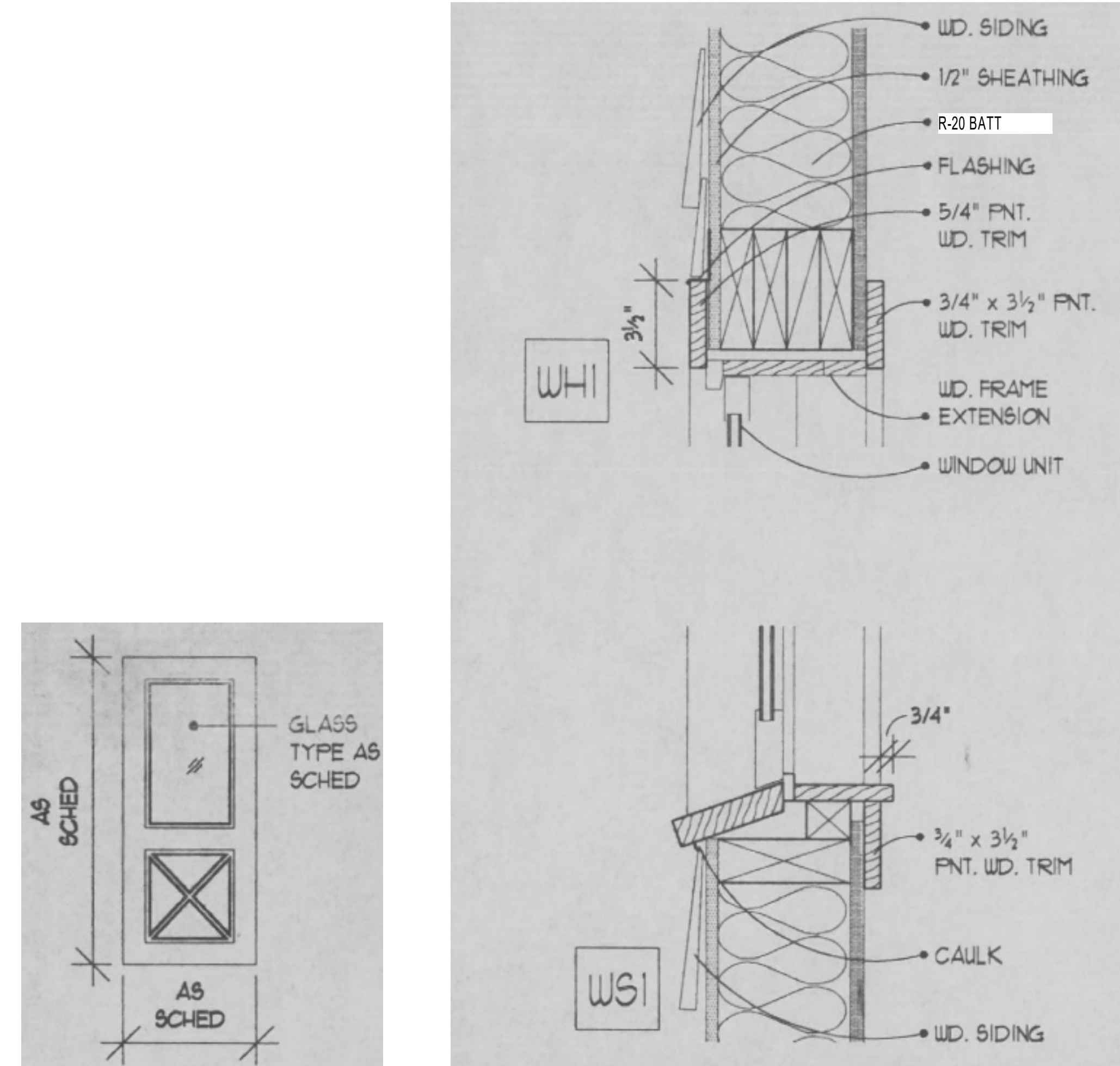
3

4

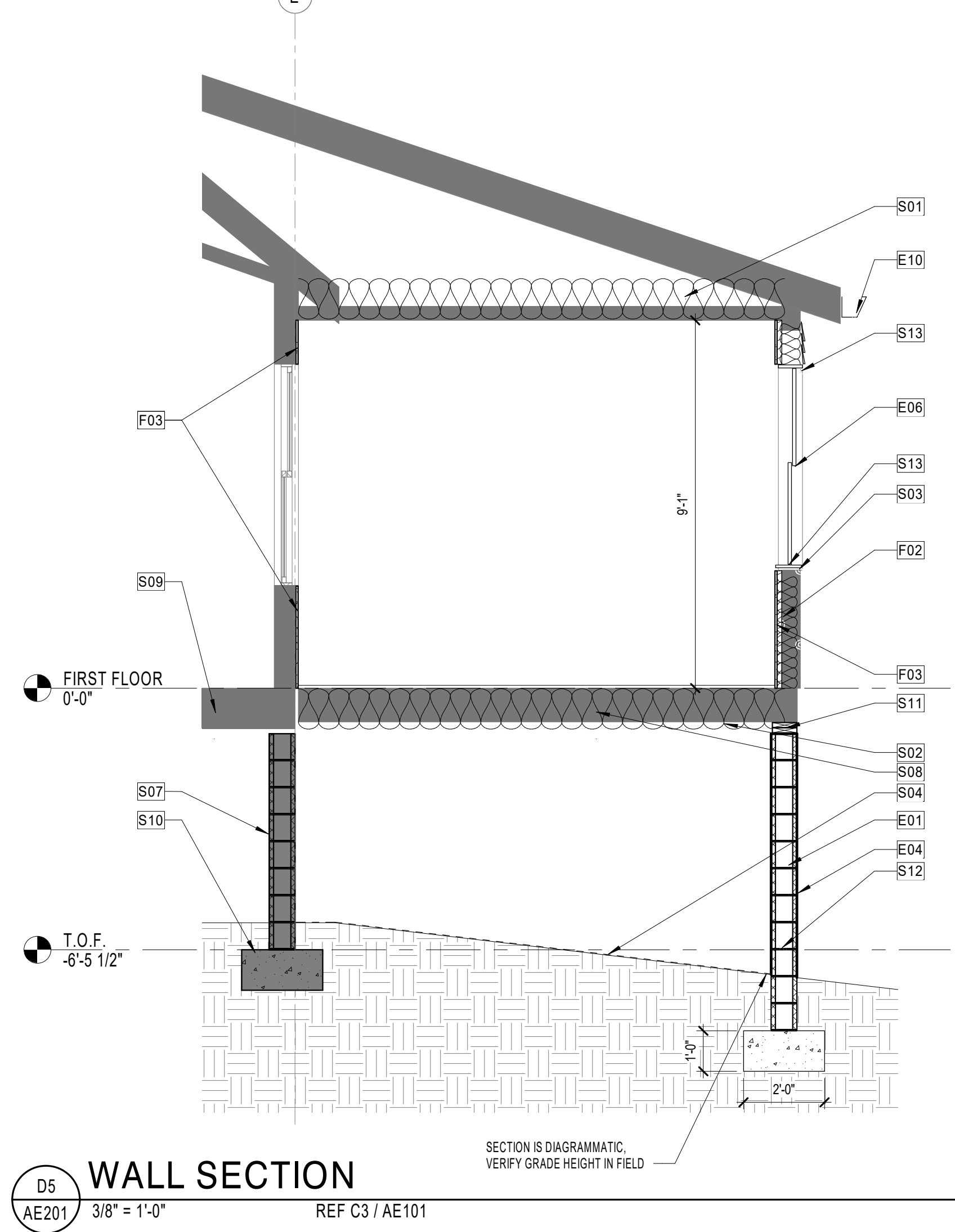
5

6

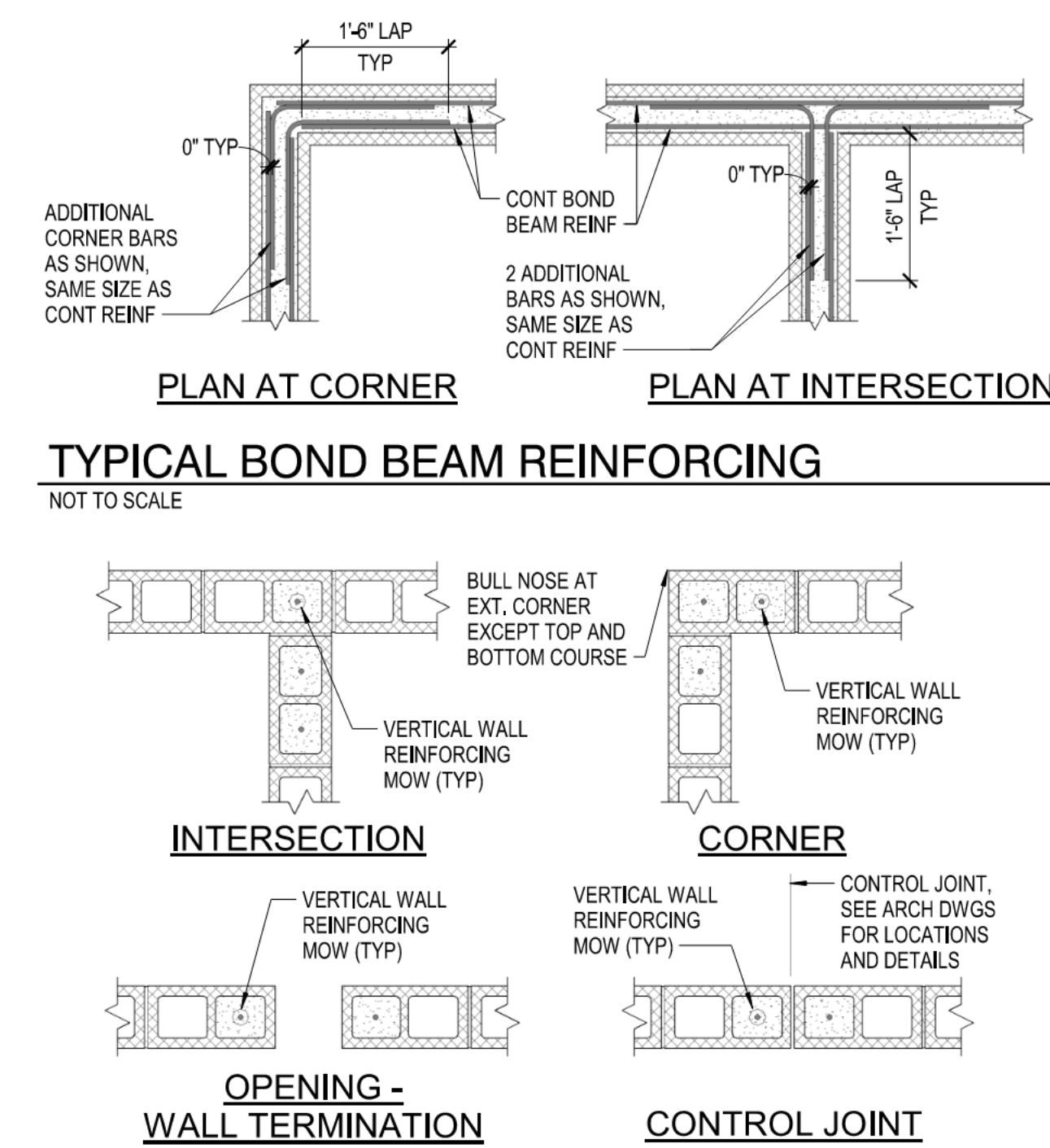
2/19/2021 1:33:54 PM
C:\rent\Projects\1922_ED_LB\1922_ED_LB_dgdetail\20210219_1922956.rvt



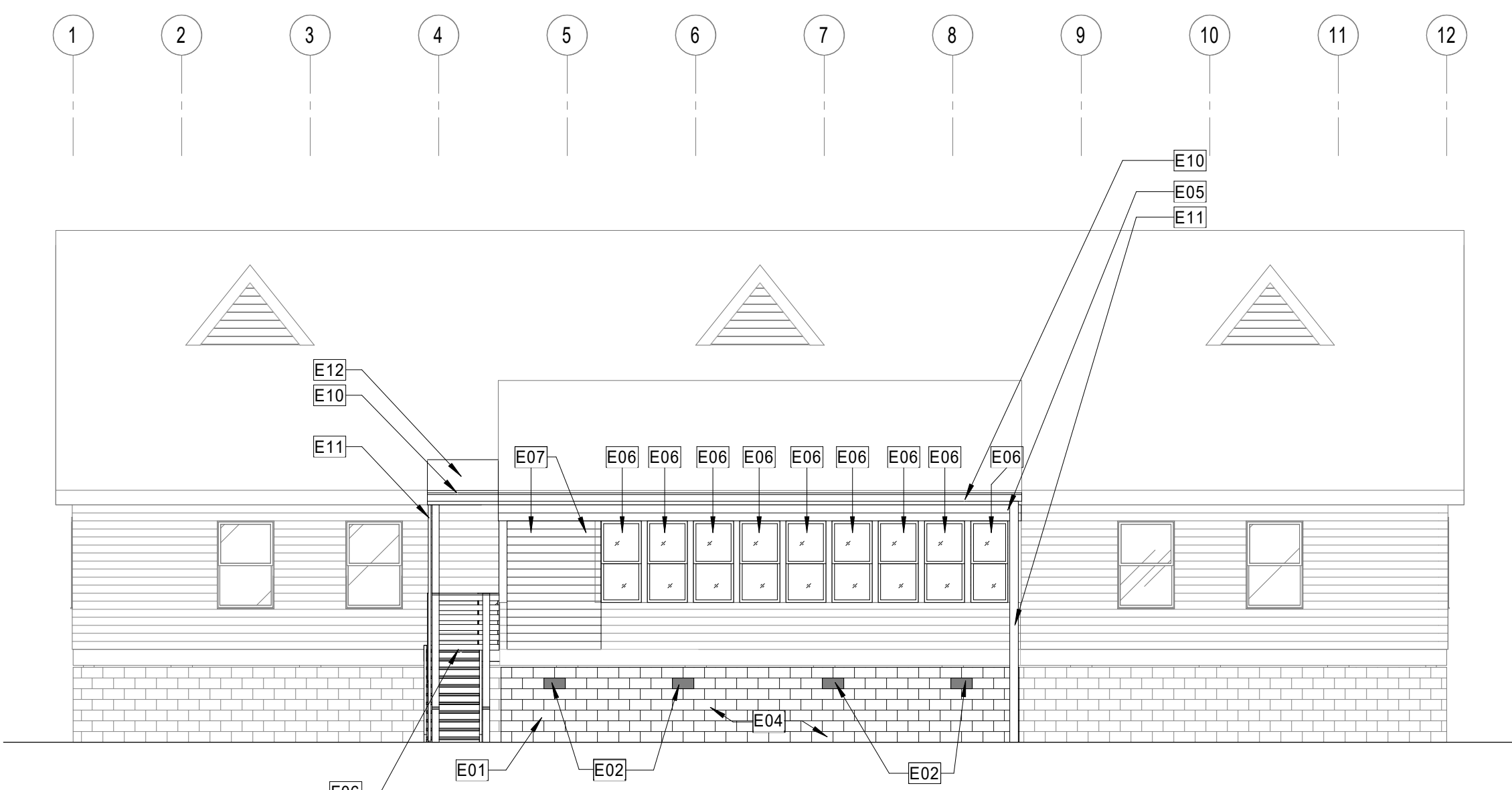
EXISTING DOOR ELEVATION WINDOW HEAD AND SILL DETAILS



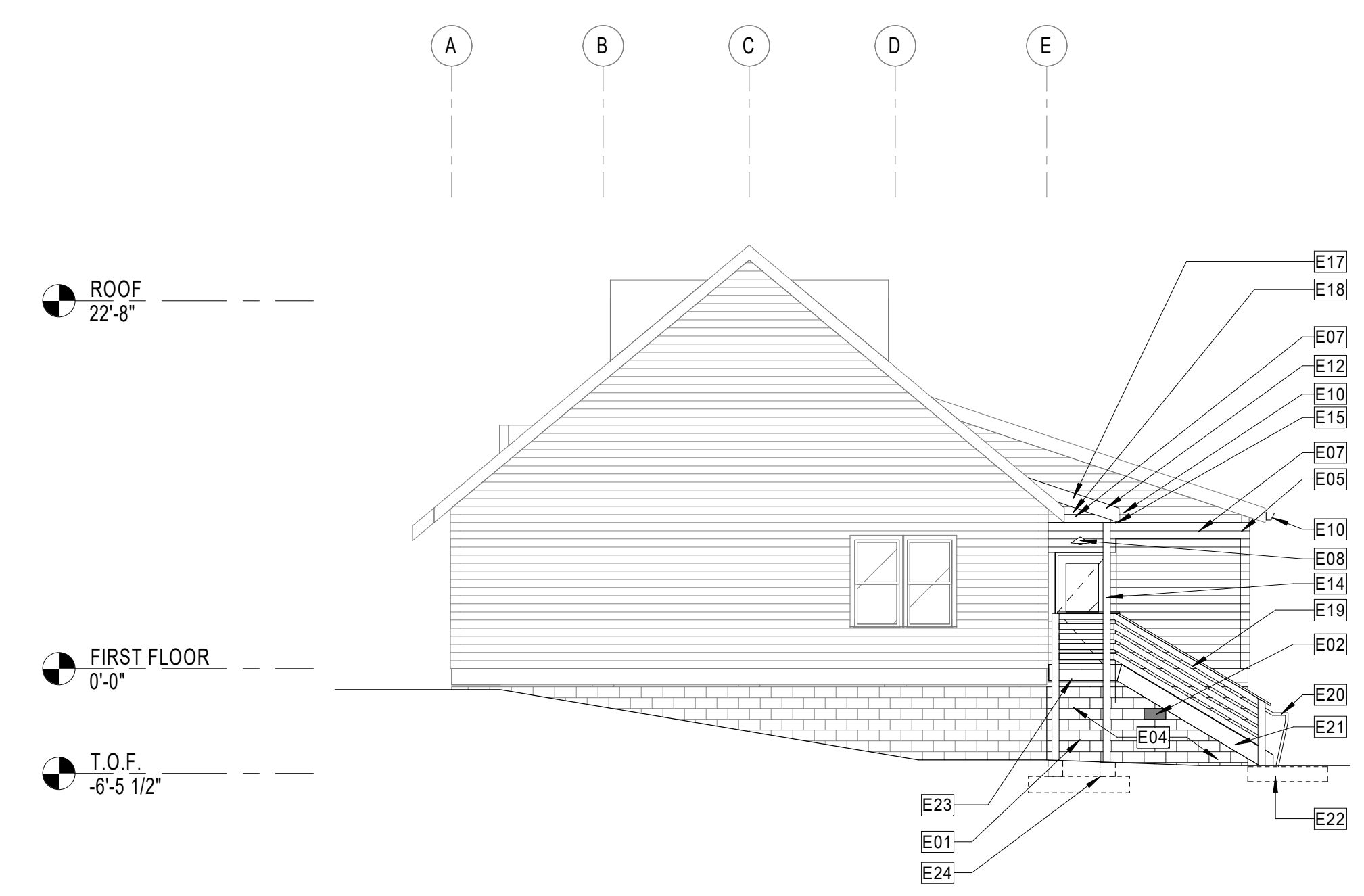
WALL SECTION
SECTION IS DIAGRAMMATIC
VERIFY GRADE HEIGHT IN FIELD



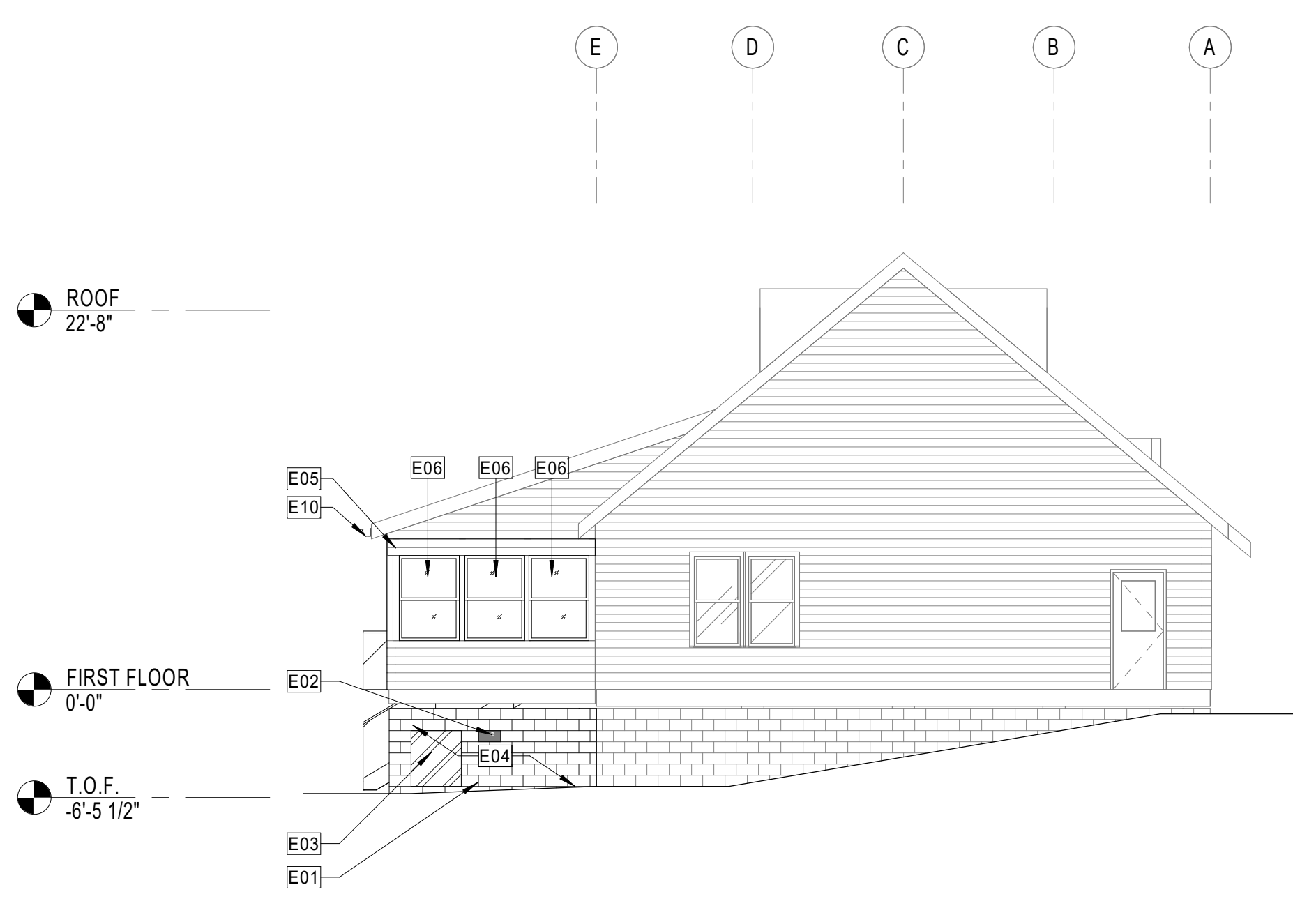
TYPICAL BOND BEAM REINFORCING TYPICAL REINFORCED MASONRY WALL



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

GENERAL NOTES

1. PLAN DIMENSIONS SHOWN ARE TO FACE OF FRAMING MEMBERS, FACE OF MASONRY, FACE OF EXISTING WALL, AND TO CENTER LINE OF COLUMNS, EXCLUSIVE OF INTERIOR WALLS.
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF PARTITION ASSEMBLY AS DEFINED BY THE PARTITION SCHEDULE AND IS EXCLUSIVE OF ANY APPLIED FINISH.
3. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION OF EQUIPMENT / SHELVING / CASEWORK.
4. ANY CONFLICTING INFORMATION BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CIVIL, LANDSCAPE, STRUCTURAL, FIRE PROTECTION, PLUMBING, HVAC, AUDIO VISUAL OR ELECTRICAL DRAWINGS SHALL BE NOTED IN WRITING TO THE ARCHITECT FOR REVIEW AND MUST BE CLARIFIED PRIOR TO COMMENCING THE CONSTRUCTION IN QUESTION.
5. PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING IN METAL STUD PARTITIONS FOR MOUNTING FIXTURES, MILLWORK, SHELVING, HARDWARE, DOOR STOPS AND OTHER EQUIPMENT.
6. VERIFY AND COORDINATE PENETRATIONS THROUGH FLOOR SLABS, ROOF DECK AND PARTITIONS WITH PM&E AND FP DRAWINGS.
7. VERIFY AND COORDINATE FINISH FLOOR ELEVATIONS WITH CIVIL AND STRUCTURAL PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ARCHITECT IN WRITING BEFORE CONSTRUCTION OF ANY CONFLICTS.

SHEET NOTES

NOTE	DESCRIPTION
E01	NEW 8" CMU WALL OVER CONTINUOUS REINFORCED CONCRETE FOOTING. ERECT TO UNDERSIDE OF EXISTING WOOD JOISTS
E02	NEW 8" x 16" CRAWL SPACE VENT. MATCH EXISTING. ALIGN WITH EXISTING CRAWL SPACE HEIGHT
E03	48" H x 36" W HOLLOW METAL CRAWL SPACE DOOR WITH HOLLOW METAL FRAME. PAINT TO MATCH EXISTING CRAWL SPACE DOOR COLOR. (3) UL ANCHORS AT EACH JAMB. SEAL AROUND ALL EDGES OF FRAME. BOTTOM EDGE OF FRAME 8" ABOVE GRADE, MIN.
E04	EXTERIOR STUCCO FINISH OVER NEW CMU WALL. COLOR TO BE SELECTED BY OWNER
E05	REMOVE EXISTING TRIM AROUND OPENINGS. INFILL WITH WOOD FRAMED WALL SYSTEM WITH EXTERIOR WOOD PLANKING TO MATCH EXISTING EXTERIOR FINISH. HEIGHT TO BE SO THAT NEW WINDOW HEAD ALIGNS WITH EXISTING WINDOW HEADS ON BUILDING
E06	NEW SINGLE HUNG EXTRUDED ALUMINUM WINDOW. FINISH TO MATCH EXISTING WINDOWS. BASIS OF DESIGN MARVIN G2 SINGLE HUNG WINDOW (TYP). DO NOT ORDER WINDOWS UNTIL ALL OPENINGS HAVE BEEN FIELD VERIFIED. INSTALL PER MANUFACTURER'S INSTRUCTIONS
E07	NEW SIDING TO MATCH EXISTING. WEAVE SIDING TO AVOID STRAIGHT LINE AT INTERSECTION OF NEW AND OLD. PAINT TO MATCH EXISTING
E08	NEW LIGHT FIXTURE ABOVE DOOR. SWITCH ON INSIDE
E10	NEW 6" W x 4.5" D K-STYLE GUTTER. COLOR SELECTED BY OWNER
E11	NEW DOWNSPOUT. COLOR TO MATCH GUTTER
E12	NEW SHINGLES OVER 30 lbs. FELT PAPER OVER 5/8"PLYMD OVER 2 X 6 W.D. JOISTS @ 16" O.C. BEAR ON 2X8 SPF BEAM AT PERIMETER WITH TRIM AND DRIP EDGE ANGLES INCLUDED. REMOVE EXISTING SIDING AS NEEDED TO TIE INTO EXISTING FRAMING. PROVIDE FLASHING AT INTERSECTIONS AND REINSTALL SIDING AS IS APPROPRIATE. SLOPE AND CONSTRUCTION TO MATCH EXISTING SCREEN PORCH ROOF.
E14	WOOD COLUMN TO EXTEND UP AND SUPPORT NEW STAIR COVER
E15	FRAME SO THAT BOTTOM OF NEW STAIR LANDING COVER ALIGNS WITH BOTTOM OF EXISTING ADJACENT EAVE. NEW COVER TO EXTEND 12" PAST EDGE OF NEW STAIR LANDING
E17	2x6 ROOF JOISTS AT 16" O.C. WITH 5/8" OSB PLYWOOD. INSTALL 52.5A HURRICANE TIE AT EACH JOIST.
E18	(2) 2X8 SPF BEAM AROUND PERIMETER. BEAR ON TOP PLATE OF EXISTING STRUCTURE. TYP. RAKE AND EAVE SIDE.
E19	2X4 RAILING
E20	1 1/2" O.D. HAND RAIL AND BRACKET ON BOTH SIDES OF STAIR. PRIME AND PAINT
E21	(2) 2X12 STAIR STRINGERS. INCLUDE 3 STRINGERS EQUALLY SPACED ACROSS WIDTH OF STAIR
E22	12" THICK X 5X 5' CONCRETE PAD. BROOM FINISH TOP FOR LANDING. ATTACH RAILING POST USING HDG SIMPSON ANCHOR
E23	2X12 PT RM JOIST W/ 2X6 FLOOR JOIST W/ 2X6 DECK BOARDS. USE JOIST HANGER AT EACH JOIST. BOLT RM JOIST TO EXISTING STRUCTURE. UTILIZE 5/8" HDG CARRIAGE BOLTS. FLASH JOIST WITH VINYL FLASHING
E24	12" THICK X 5X 5' WIDE CONCRETE FOOTING WITH NO. 5 REINFORCING AT 12" O.C. IN BOTH DIRECTIONS. BOTTOM OF FOOTING TO BE 24" BELOW FINAL GRADE. ATTACH 8X6 PT WOOD POST TO FOOTING USING SIMPSON UB/WUB POST BRACKET. COORDINATE WITH EXISTING FOOTING. TYP. EACH POST.
F02	ADD 2" FURRING STRIPS OVER EXISTING 2x4 WOOD STUDS. INSTALL 6" BATT INSULATION (R-20) BETWEEN STUDS. TYP. OF EXISTING PORCH WALL
F03	NEW 5/8" DRYWALL OVER STUDS. PAINT DRYWALL
F06	NEW EXTERIOR WOOD STAIR, RAIL, AND LANDING CONSTRUCTED TO ADA STANDARDS AND GUIDELINES. ALL WOOD TO BE PRESSURE TREATED. PAINT TO MATCH EXISTING EXTERIOR COLOR
S01	INSTALL R-38 BATT INSULATION W/ VAPOR RETARDER OVER NEW DRYWALL CEILING
S02	INSTALL R-38 BATT INSULATION W/ VAPOR RETARDER IN BETWEEN EXISTING FLOOR JOISTS
S03	NEW WOOD SILL. PAINT TO MATCH EXISTING SIDING
S04	NEW VAPOR RETARDER IN CRAWL SPACE
S07	EXISTING 8" CMU WALL
S08	EXISTING 2x10 WOOD FLOOR JOISTS @ 16" O.C.
S09	EXISTING 2x12 WOOD FLOOR JOISTS @ 16" O.C.
S10	VERIFY EXISTING CMU FOUNDATION LEVEL IN FIELD
S11	2x8 PT SILL PLATE WITH ANCHOR BOLTS AT 4'-0" O.C. PIN TOP OF NEW CMU WALL TO EXISTING FLOOR JOISTS WITH H8 TIES
S12	REINFORCE CMU WALL WITH #5 VERTICAL BARS @ 24" O.C. USE A 2'-0" W x 1" D FOOTING REINFORCED WITH (3) #5 LONG. BARS AND #5 TRANS. BARS @ 12" O.C. ALL BOTTOM BARS.
S13	SEE "WINDOW HEAD AND SILL DETAILS" ON SHEET AE201 TO MATCH EXISTING WINDOW FINISH

HENDERSON COUNTY
EDNEYVILLE LIBRARY PORCH ENCLOSURE
 2 FIREHOUSE RD
 HENDERSONVILLE, NC 28792

DESIGNER
CLARK NEXSEN
 301 College Street, Suite 300
 Asheville, North Carolina 28801
 828-232-0606
 www.clarknexsen.com

SEALS

SUBMITTAL
 02.19.21
CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DESCRIPTION

SHEET
EXTERIOR ELEVATIONS & WALL SECTION

AE201

DESIGN: Designer
 DRAWN: Author
 REVIEW: Checker
 CN 9122