

ADDENDUM NUMBER ONE

**RMS & FRMS GYMS, WHHS BLDG Y & HCPS C.O. ROOF REPLACEMENTS
HENDERSON COUNTY PUBLIC SCHOOLS**

MLA PROJECT NUMBER: 20004

Mark Lusk Architecture, PLLC
128 Woodburn Drive
Swannanoa, NC 28778
(828) 808-9757

DATE OF ISSUE: June 29, 2020

TO: ALL BIDDERS OF RECORD

This Addendum modifies the Contract Documents only in the manner and to the extent stated herein and shown on any accompanying drawings and will become a part of the Contract Documents. Except as specified or otherwise indicated by this Addendum, all work shall be in accordance with the basic requirements of the Contract Documents.

BIDDERS SHALL ACKNOWLEDGE RECEIPT OF ADDENDUM ON BID FORM.

This Addendum consists of two page(s) and any enclosures noted. An enclosure shall replace an existing previously published document or add to the bid documents as a new document:

I. ENCLOSURES:

1. Pre Bid Conference Report
2. Bid Form
3. 012200 Unit Prices
4. 012300 Alternates
5. Construction Drawings: All sheets.

II. GENERAL INFORMATION / CLARIFICATIONS:

1. See attached Pre Bid Conference Report
2. Invitation For Bids and Pre Bid Conference Report: The bid date is revised from July 1, 2020 to July 8, 2020 at 2:00. Location and method are still the same.

III. CHANGES TO PROJECT MANUAL:

1. Bid Form: See attached for revisions. (Included are both WHHS Building Y and HCS Central Office Roof Replacements are removed from the Base Bid and added as alternates 2 and 3).
2. 011000-1.7: The bidders have the option to provide all insulation should the manufacturer not allow the use of the Owner furnished insulation material as part of the 20 year warranty. The contractor shall provide a 20 year manufacturer warranty system
3. 012200 Unit Prices: See attached for revisions
4. 012300 Alternates: See attached for revisions
5. 017419-1.4: 75% salvage/recycling is not required
6. 076200-1.3.B: shop fabrication of coping is permitted provided it has the manufacturer's 20 warranty as specified and is installed per SPRI ES-1 requirements. The design pressure is revised to "as provided by manufacturer's design".

IV. CHANGES TO DRAWINGS:

1. A201: See attached for revisions
2. A203: See attached for revisions
3. A204: See attached for revisions
4. A205: See attached for revisions
5. A301: See attached for revisions

END OF ADDENDUM

PRE-BID CONFERENCE

DATE: June 25, 2020
LOCATION: Sites
PROJECT: RMS & FRMS GYMS, WHHS BLDG Y & HCPS C.O. ROOF REPLACEMENTS
PROJECT #: 20004

ATTENDING:

Brian Cantrell	HCPS
Brian Bartholomew	J Bartholomew Construction
Brent Hensley	Alpha Construction
Randy Faust	AAR of NC
Olger Elizondo	Roof Monkeys
Joey Gibbs	Allcon Roofing
Trey Burns	Beacon
David Muntean	Benton Roofing
Adam Rhinehart	Benton Roofing
Chris Wheeler	Bonitz Roofing
Mark Lusk	Mark Lusk Architecture PLLC

The following items shall be incorporated as part of the Contract Documents:

1. The pre bid is a mandatory pre bid therefore only those in attendance are the plan holders
2. Bid Date is July 1, 2020 at 2:00 PM at 246 Education Drive, Flat Rock, NC (HCS Maintenance office). The Bidder is responsible for the bid arrival by this time. A Bid bond is required for bids over \$500,000 and payment and performance bonds are required for contracts over \$300,000. MBE forms are required for bids over \$300,000.
3. Due to the COVID 19 conditions, bidders will not be able to attend the bid opening, but will be able to remain on site. A bid tab will be issued to those present and later to all bidders.
4. Communications should be done by email.
5. The schedule is as follows: Rugby Middle and Flat Rock Middle roof replacement work shall be substantially complete by September 30, 2020. WHHS and Central Office roof replacement work will be performed in the spring of 2021. The Contract shall be for all roofs; however, HCS could possibly not proceed with WHHS and/or the Central Office roof replacements. Both WHHS and the Central Office roofs will be changed from base bid to alternates. Bidders are to note the non-allowable adjustments to the completion schedule on the Bid Form regarding precipitation. Liquidated damages are \$150/day.
6. A notice to proceed will be issued following the bid opening. The contract will be issued the following week.
7. Unit prices include treated wood nailers and metal deck. Polyiso insulation and CWFD will be added as unit prices
8. Alternate 1 includes not removing the existing insulation and providing ½ underlayment board at Rugby Middle. The contractor shall remove sufficient 2 foot square sections over the roof area to determine if the Alternate can be accepted at that time. Acceptable conditions shall leave the existing polyiso insulation without significant damage on the exposed top facer.
9. Owner furnished/ contractor installed items consists of polyiso insulation as noted in Section 011000 Summary of Work. However, the bidders have the option to provide all

insulation should the manufacturer not allow the use of the Owner provided insulation material as part of the 20 year warranty. The contractor shall provide a 20 year manufacturer warranty system.

10. The scope of the project is reviewed. In summary, the existing roofing systems at the 4 locations are to be removed partially or totally and a fully adhered 60 mil TPO system shall be provided with flat insulation, tapered polyiso insulation or underlayment board as described in the bid documents. The scope also includes:

- WHHS - Flat roof deck with tapered insulation
Clarification: remove/reinstall metal coping at curb walls at adjacent roofs, replace metal copings along parapet walls
- Central Office – Flat roof deck with tapered insulation
Refrigerant line work will be Owner performed
Raise existing conduit to clear SPM roofing.
Remove existing lightweight concrete from concrete roof deck at Roofs B/C
Provide walkway treads
- Rugby Middle - Sloped roof deck with flat insulation
Protect adjacent roofs
Roof deck is exposed to gym space; contractor is responsible to protect the gym floor from any damage.
- Flat Rock Middle - Sloped roof deck with flat insulation
Protect adjacent roofs
Roof deck is exposed to gym space; contractor is responsible to protect the gym floor from any damage

11. The sites were visited.

12. Staging area will be determined at the pre-construction.

RMS & FRMS GYMS, WHHS BLDG Y & HCPS C.O. ROOF REPLACEMENTS
HENDERSON COUNTY PUBLIC SCHOOLS

PRE-BID MEETING
 June 25, 2020
 1:00 pm

SIGN IN SHEET

Please Print Legibly

NAME	FIRM	EMAIL	TELEPHONE
Brian Bartholomew	JBC	brian@div7.org	808-4712
Brent Hensley	Alpha	b.hensley@alphaconstrutionsw.com	828-333-0321
Randy Faust	AAR of NC	RandyF@aarnc.com	336-727-4534
Olger Filonardo	Olger's & Roof Markers	Elizoido.068@S.Mart.COM	828-280-9447
JOEY GIBBS	ALLCON ROOFING	jgibbs@allconroofing.com	828.246.2584
TREY BURNS	BEACON	trey.burns@becon.com	828.712.0994
DAVID MUKHAN	Benton RFC	Davidm@bentonroofing.com	828-978-4256
Adam Rhinehart	Bendon RFC	adamR@BendonRoofinginc.com	828-974-2312
Chris Wheeler	Bonitz	Chris@bonitzofash.com	828-255-0123

BID FORM

***Addendum 1 Noted in Bold with Asterisk**

BID OF: _____
(Contractor)

BID TO: _____ HENDERSON COUNTY PUBLIC SCHOOLS
(Owner)

PROJECT NAME: RMS & FRMS GYMS, WHHS BLDG Y & HCPS C.O. ROOF REPLACEMENTS

PROJECT NUMBER: 20004 BID DATE: _____

BASE BID AGREEMENT

The undersigned, having examined all the Bidding Documents and acknowledging all Addendum(a) as follows:

Addendum(a)#

shall execute the entire Work in the Bidding Documents as described, for a LUMP SUM amount of:

_____ Dollars

(\$ _____) which sum is hereafter called the BASE BID.

DATE FOR COMMENCEMENT AND SUBSTANTIAL COMPLETION

The Date for Commencement shall be established in the Notice to Proceed. The Contractor shall not incur any expense until the contract has been awarded. An award requires that either the Contract be signed by both the awarding authority and the contractor or a Notice to Proceed is executed.

All work shall be substantially completed (as evidenced by the date on the CERTIFICATE OF SUBSTANTIAL COMPLETION) Rugby Middle and Flat Rock Middle Roof Replacements shall be substantially complete September 30, 2020, subject to adjustments as provided in the Contract Documents and the following:

The following shall not be considered adjustments to the number of calendar days:

- A day precipitation forecast is 30% or less or when precipitation (any percentage) is not forecast until after 4:00 pm to perform roofing tear-off and membrane installation
- A day precipitation forecast is 50% or less to perform roofing work including flashing, metal work, or incidental work, other than tear-off and membrane installation

Testing days affected by roofing work, shall be considered adjustment to the calendar

Documentation shall be submitted to substantiate days work cannot be performed for adjustments to the calendar.

***Alternates 2 and 3, WHHS Building Y and HCS Central Office Roof Replacements, if accepted by the Owner, will be performed in the spring of 2021. The schedule for this work will be established at that time.**

The undersigned further agrees that from the compensation to be paid, the owner may retain liquidated damages the sum of One Hundred Fifty Dollars (\$150) for each calendar day the actual contract time for Substantial Completion exceeds the specified or adjusted contract time for Substantial Completion as provided in the Contract Documents.

BID SECURITY

Bid Bonds are required if bid is \$500,000 or greater. If required the undersigned enclosed bid security in the amount of not less than five (5) percent of the BASE BID. The Contractor shall have seven (7) days maximum from the date of the Notice of Intent to Award to deliver Performance and Payment Bond, Certificate of Insurance, and the Contract (signed by Contractor only). Failure to deliver these documents, as required, shall entitle the agency to consider the Contractor non-responsible and declare the bid security forfeited.

ADDENDA

The undersigned acknowledges the receipt of the addenda (as noted on page one of this Bid Form) and confirms that the BID as submitted reflects appropriate price responses.

LISTING OF SEPARATE PORTIONS OF THE WORK

Provide the following breakdown of total cost to complete the portion of work as described in the Contract Documents. The Owner may select the base bid or one or more portions of work listed below. The award of contract will be the lowest responsible responsive bid consisting of either the base bid or selected portions of the work as follows:

Rugby Middle School Gym Roof Replacement:

_____ Dollars(\$)

Flat Rock Middle School Gym Roof Replacement:

_____ Dollars(\$)

***Items deleted**

ALTERNATE(S) TO THE BASE BID:

Alternate No. 1- Rugby Middle School Gymnasium

The existing mechanically attached polyiso insulation shall remain in lieu of being removed. Provide ½” HD board in lieu of providing 2.6” insulation. Install ½” HD board over the existing polyiso insulation and mechanically attach through into the CWFD.

(Deduct) _____ Dollars(\$)

***Alternate No. 2- Provide roof replacement work as shown in the Construction Documents for HCS Central Office.**

(Add) _____ Dollars(\$)

***Alternate No. 3- Provide roof replacement work as shown in the Construction Documents for WHHS Building Y**

(Add) _____ **Dollars(\$)** _____

UNIT PRICES:

Unit Price #1 _____ per 2x6x8' Board
Provide treated wood nailers

Unit Price #2 _____ per square foot
Provide 22 ga galvanized corrugated metal decking

***Unit Price #3 _____ per 4ft x 4ft x 1in thick board**
Provide polyisocyanurate insulation per 075423

***Unit Price #4 _____ per square foot x 3in thick**
Provide cementitious wood fiber deck

BID HOLDING TIME AND ACCEPTANCE

The undersigned agrees that this Base Bid may not be revoked or withdrawn after the time set for the opening of bids, but shall remain open for acceptance for a period of sixty (60) days following the bid date.

CERTIFICATION REGARDING DRUG-FREE WORKPLACE

The undersigned certifies that the contractor listed below will provide a "drug-free workplace" as that term is defined in Article 5 of Chapter 90 of the NC General Statutes.

PROGRESS PAYMENTS

Contractor's Application for Payment shall be submitted to the Architect on AIA Document G702 and G703 - 1983 Edition. The period covered by each application for Payment shall be not less than one calendar month. The Owner shall make progress payments to the Contractor on undisputed amounts certified by the Architect within thirty (30) days from receipt of the Application for Payment by the Owner.

CONTRACTOR'S CLASSIFICATIONS AND SUBCLASSIFICATIONS WITH LIMITATIONS

(Classification)	(Subclassification)	(Limitations)

(NC Contractor's License Number)

AUTHORIZATION

(Type or Print Name of Contractor)

(Type or Print Address)

(Type or Print Phone Number)

(Type or Print Fax Number)

(Type or Print Name)

(Title)

(Signature)

(Date)

END OF BID DOCUMENT

SECTION 012200 - UNIT PRICES

*Addendum 1 Noted in Bold with Asterisk

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.

Related Requirements:

1. Division 01 Section "Contract Modification Procedures" for procedures for submitting and handling Change Orders.

1.3 DEFINITIONS

- A. Unit price is an amount incorporated in the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.4 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, applicable taxes, overhead, and profit.

Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.

Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.

List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

UNIT PRICE #1: Provide treated wood nailers

Unit Price per 2 x 6 by
8' board

UNIT PRICE #2: Provide 22 ga galvanized corrugated metal decking

Unit Price per Square
Foot

***UNIT PRICE #3: Provide polyisocyanurate insulation per 075423.**

**Unit Price per 4ft x 4ft
x 1in thick board**

***UNIT PRICE #4: Provide cementitious wood fiber deck.**

**Unit Price per square
foot x 3in thick**

END OF SECTION **012200**

SECTION 012300 – ALTERNATES

*Addendum 1 Noted in Bold with Asterisk

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.

- 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.

The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.

- 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.

- B. Execute accepted alternates under the same conditions as other work of the Contract.

Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

*Deduct Alternate No. 1: Rugby Middle School Gymnasium

The existing mechanically attached polyiso insulation shall remain in lieu of being removed. Provide ½" HD board in lieu of providing 2.6" insulation. Install ½" HD board over the existing polyiso insulation and mechanically attach through into the CWFD. **The contractor shall remove sufficient 2 foot square sections over the roof area to determine if the Alternate can be accepted at that time. Acceptable conditions shall leave the existing polyiso insulation without significant damage on the exposed top facer**

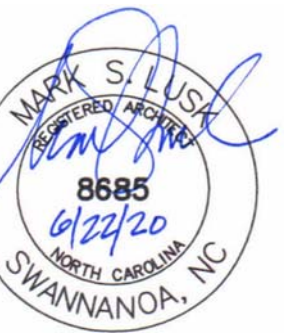
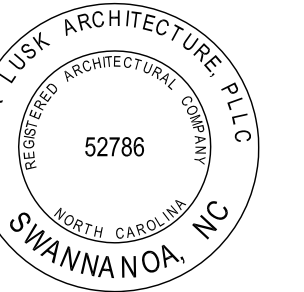
***Add Alternate No. 2: Provide roof replacement work as shown in the Construction Documents for HCS Central Office**

***Add Alternate No. 3: Provide roof replacement work as shown in the Construction Documents for WHHS Building Y**

END OF SECTION 012300

RMS & FRMS GYMS, WHHS BLDG Y & HCPS C.O. ROOF REPLACEMENTS

MARK LUSK ARCHITECTURE PLLC
128 WOODBURN DR
SWANNANOVA, NC 28778
828.808.9757
MLARCHITECTURE@CHARTER.NET



HENDERSON COUNTY PUBLIC SCHOOLS

CONTACTS

OWNER REPRESENTATIVE

MARTIN BALLARD
HENDERSON COUNTY PUBLIC SCHOOLS
246 EDUCATION DRIVE
FLAT ROCK, NC 28731

BRIAN CANTRELL
HENDERSON COUNTY PUBLIC SCHOOLS
246 EDUCATION DRIVE
FLAT ROCK, NC 28731

ARCHITECT

MARK LUSK ARCHITECTURE PLLC
128 WOODBURN DRIVE
SWANNANOVA, NC 28778
828.808.9757

LIST OF DRAWINGS	
T101	COVER SHEET
ARCHITECTURAL	
A201	RUGBY MIDDLE SCHOOL GYM ROOF PLAN
A202	RMS & FRMS OVERALL ROOF PLANS
A203	FLAT ROCK MIDDLE SCHOOL GYM ROOF PLAN
A204	CENTRAL OFFICE ROOF PLAN
A205	BUILDING Y ROOF PLAN - WEST HENDERSON HIGH
A301	DETAILS
A302	DETAILS

NORTH CAROLINA BUILDING CODE SUMMARY

- PER N.C.G.S. 143-138(b15): BUILDINGS CONSTRUCTED BEFORE 2012 ARE EXCLUDED FROM THE CURRENT CODE AND ARE SUBJECT TO THE 2009 NC ENERGY CONSERVATION CODE. R-VALUE MIN. SHALL BE R-15, FOR CLIMATE ZONE 4 (NON-MARINE)
- NC ENERGY CONSERVATION CODE 503.1 EXCEPTION 2.e: REROOF SHALL NOT BE LESS THAN THE CONDITIONS/DESIGN PRIOR TO ROOF REPLACEMENT
- 1511.1 EXCEPTIONS 1&2: REPLACEMENT SHALL NOT BE REQUIRED TO MEET THE SLOPE REQUIREMENT OF 1/4" PER FOOT OR PROVIDE SECONDARY DRAINS OR SCUPPERS
- 1511.3.1.1 EXCEPTIONS 3: ROOF RECOVERING SHALL NOT BE PERMITTED OVER WATER SOAKED ROOFING OR OVER 2 OR MORE ROOF APPLICATIONS

NOTES:

- RMS GYM APPROXIMATE ROOF SQUARE FOOTAGE: 9,837 SF
- FRMS GYM APPROXIMATE ROOF SQUARE FOOTAGE: 9,837 SF
- WHHS BLDG Y APPROXIMATE ROOF SQUARE FOOTAGE: 9,500 SF
- CONTROL OFFICE APPROXIMATE ROOF SQUARE FOOTAGE: 8,912 SF

ABBREVIATIONS:

- REPLACE= REMOVE EXISTING AND PROVIDE AS SHOWN AND SPECIFIED
- MB= MODIFIED BITUMEN
- RD= ROOF DRAIN
- CMU= CONCRETE MASONRY UNITS
- CWFD= CEMENTITIOUS WOOD FIBER DECK
- POLYISO= POLYISOCYANURATE
- DS= DOWNSPOUT

**RMS & FRMS
GYMS,
WHHS BLDG Y &
HCPS C.O.
ROOF
REPLACEMENTS**

Project Number: 20004

Checked: _____

Drawn: A. Rognas

Date: 6/22/20

Revisions: _____

COVER SHEET

T101

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

MODIFIED BITUMEN
30# FELT BASE SHEET
MECHANICALLY ATTACHED 1½" POLYISO INSULATION
BUILT-UP ROOFING
30# FELT BASE SHEET
CWFD- 3" THICK

BASE BID

2. DEMOLITION: REMOVE EXISTING MODIFIED BITUMEN & POLYISO INSULATION. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING FLASHING. EXISTING B.U. ROOFING SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 2.6" POLYISO INSULATION OVER EXISTING BUILT-UP ROOFING. ATTACH INSULATION THROUGH INTO EXISTING CWFD.

ALTERNATE NO.1

2. DEMOLITION: REMOVE EXISTING MODIFIED BITUMEN. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING FLASHING. EXISTING B.U. ROOFING & POLYISO INSULATION SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND ½" HD BOARD OVER EXISTING POLYISO INSULATION. ATTACH INSULATION THROUGH INTO EXISTING CWFD.

GENERAL NOTES

1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.

2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.

3. CRICKETS SHALL SLOPE AT ½" PER FOOT.

4. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.

5. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.

6. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.

7. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.



**RMS & FRMS
GYMS,
WHHS BLDG Y &
HCPS C.O.
ROOF
REPLACEMENTS**

Project Number: 20004

Checked: _____

Drawn: A. Rognas

Date: 6/22/20

Revisions: _____

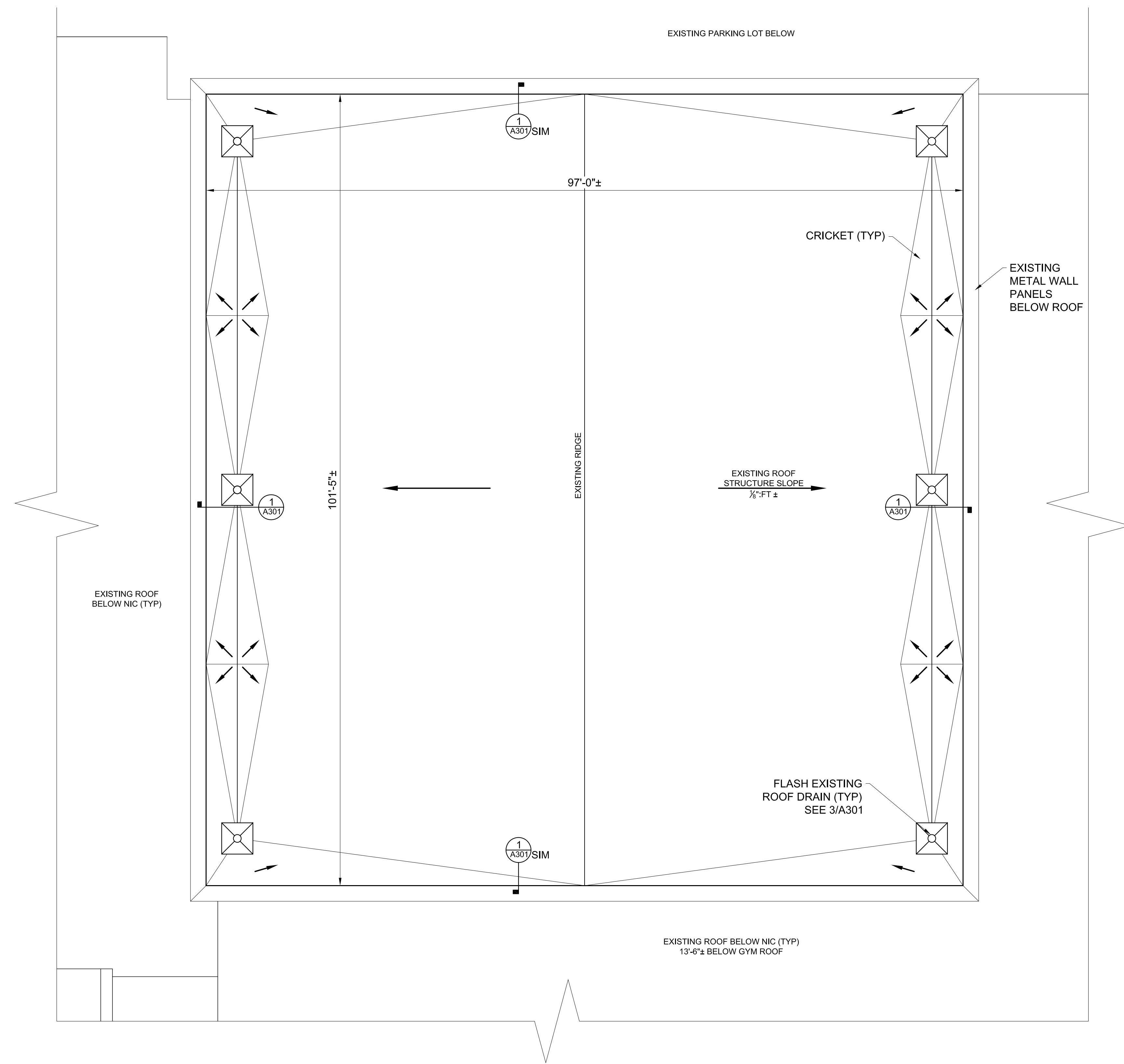
Addendum 1: 6/29/20

**RUGBY MIDDLE
SCHOOL GYM
ROOF PLAN**

A201

BASE BID

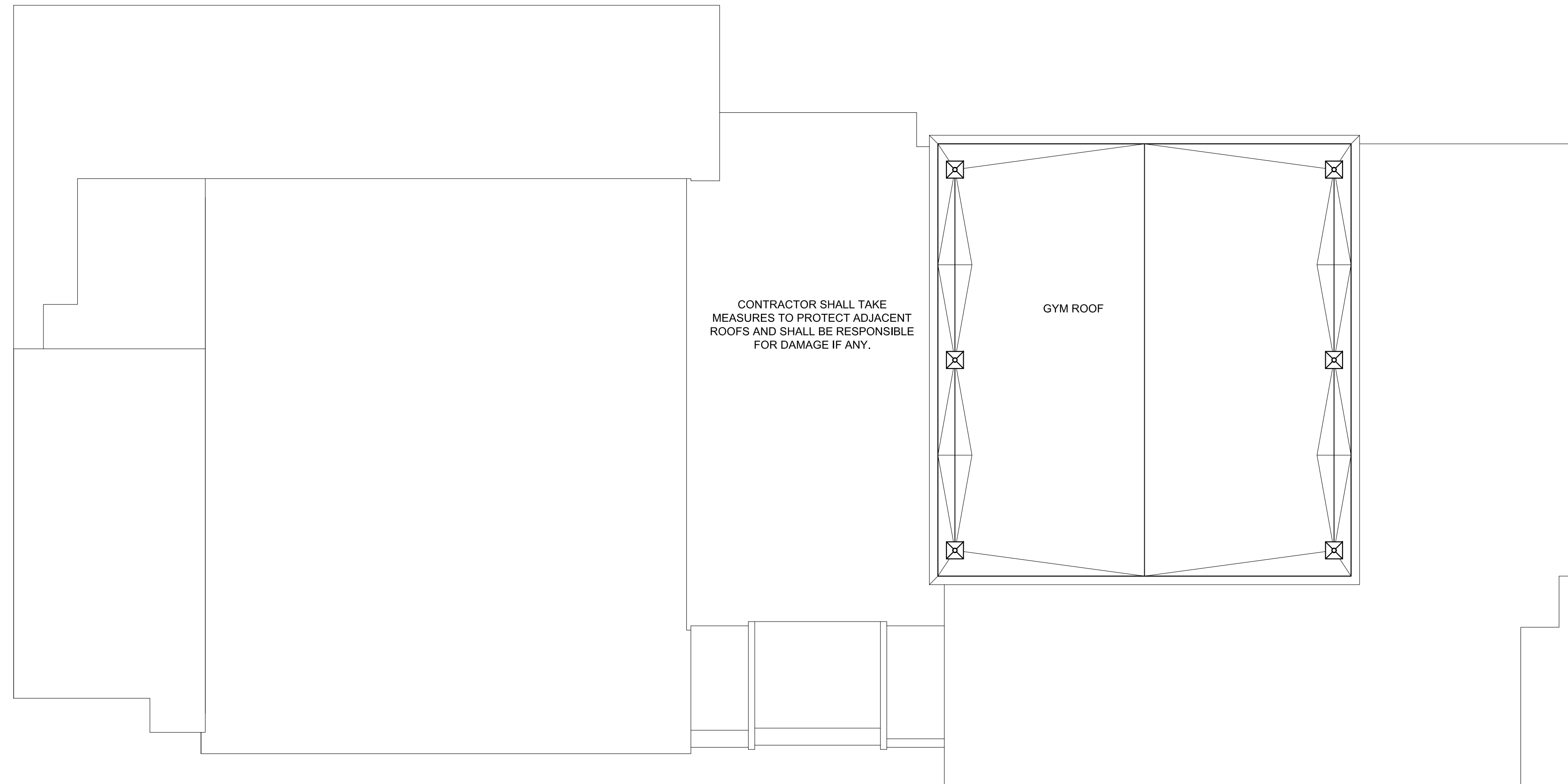
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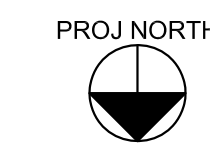
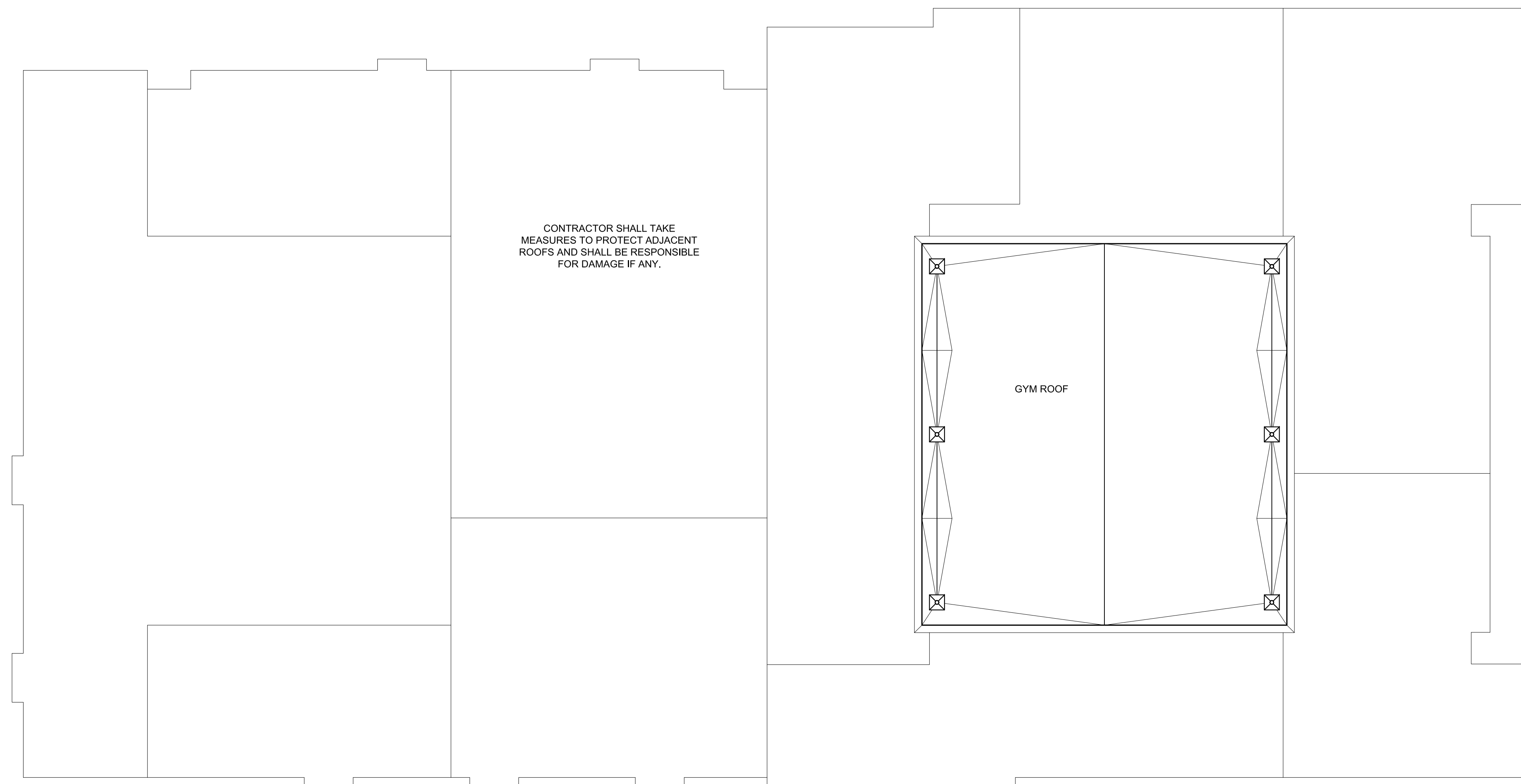
RUGBY MIDDLE GYM ROOF PLAN
SCALE: 1/8"=1'-0"



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RUGBY MIDDLE OVERALL ROOF PLAN
SCALE: 1"=20'-0"



FLAT ROCK MIDDLE OVERALL ROOF PLAN
SCALE: 1"=20'-0"

MARK LUSK ARCHITECTURE PLLC
128 WOODBURN DR
SWANNANOVA, NC 28778
828.808.9757
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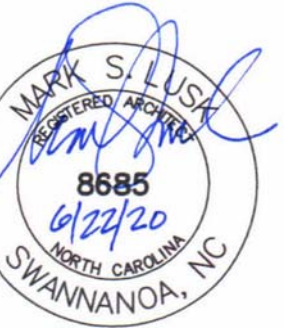


**RMS & FRMS
GYMS,
WHHS BLDG Y &
HCPS C.O.
ROOF
REPLACEMENTS**

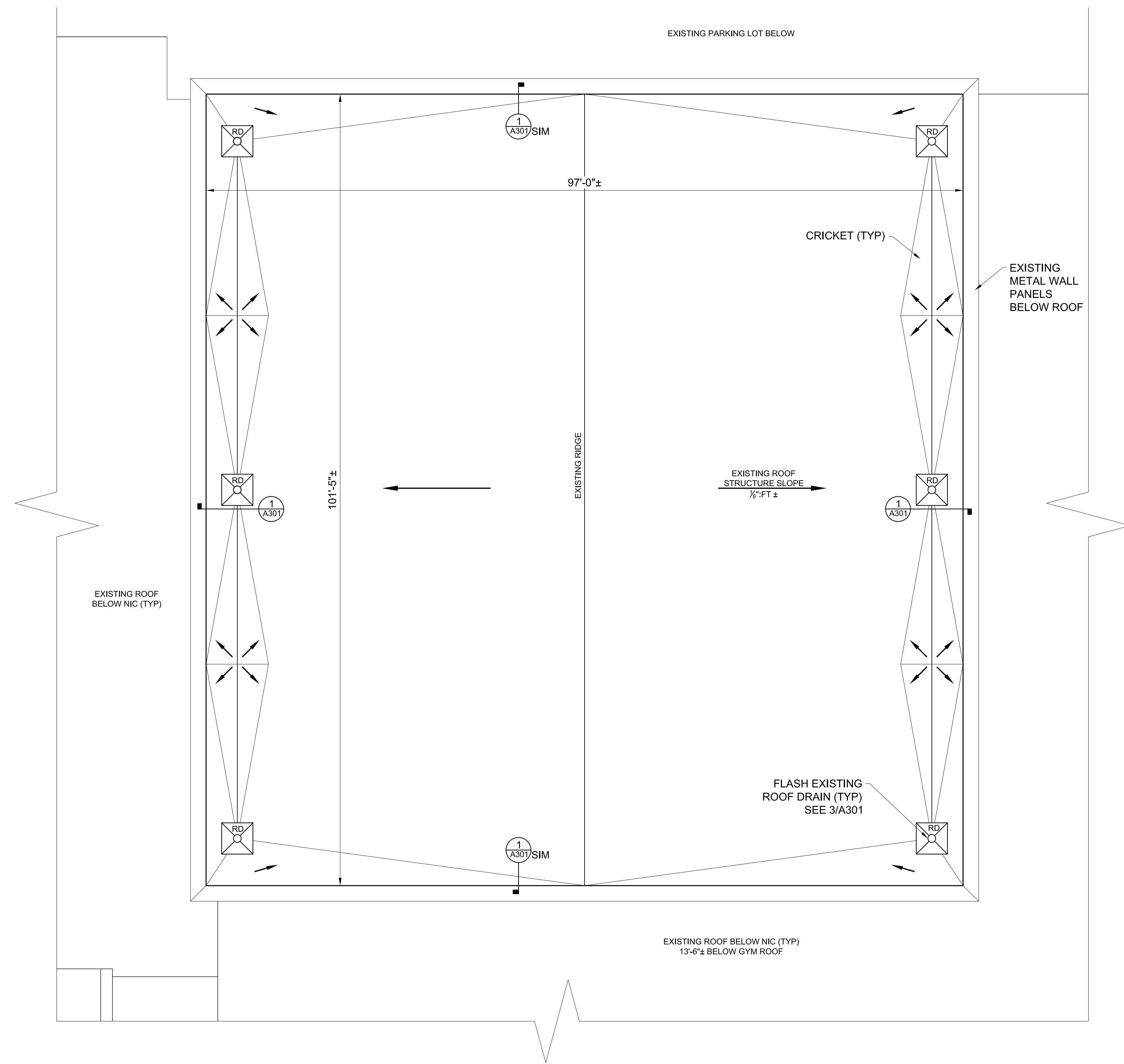
Project Number: 20004
Checked: _____
Drawn: A. Rognas
Date: 6/22/20
Revisions: _____

**RMS & FRMS
OVERALL ROOF
PLANS**

A202



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FLAT ROCK MIDDLE GYM ROOF PLAN
 SCALE: 1/8"=1'-0"

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

- MECHANICALLY ATTACHED SPM SYSTEM
- MECHANICALLY ATTACHED 1/2" UNDERLAYMENT **FIBERBOARD**
- 1 1/2" POLYISO INSULATION
- BUILT-UP ROOFING
- CWFD- 3" THICK

2. DEMOLITION: REMOVE EXISTING SPM & UNDERLAYMENT BOARD. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING FLASHING. EXISTING B.U. ROOFING & POLYISO INSULATION SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND 1/2" UNDERLAYMENT BOARD OVER EXISTING POLYISO INSULATION. ATTACH INSULATION THROUGH INTO EXISTING CWFD.

GENERAL NOTES

1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.

2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.

3. CRICKETS SHALL SLOPE AT 1/2" PER FOOT.

4. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.

5. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.

6. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.

7. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

**RMS & FRMS
 GYMS,
 WHHS BLDG Y &
 HCPS C.O.
 ROOF
 REPLACEMENTS**

Project Number: 20004
 Checked: _____
 Drawn: A. Rognas
 Date: 6/22/20
 Revisions: _____
 Addendum 1: 6/29/20

**FLAT ROCK
 MIDDLE
 SCHOOL GYM
 ROOF PLAN**



A203

GENERAL NOTES

- EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.
- VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.
- RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.
- CRICKETS SHALL SLOPE AT 1/2" PER FOOT.
- EXISTING ELECTRIC COMPONENTS, REFRIGERANT LINES, MECHANICAL UNITS, SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.
- SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.
- PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.
- CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.
- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

- FULLY ADHERED SPM MEMBRANE
- 1/2" UNDERLAYMENT BOARD
- BUILT-UP ROOFING
- 3/4" PERLITE INSULATION
- VAPOR BARRIER
- CWFD

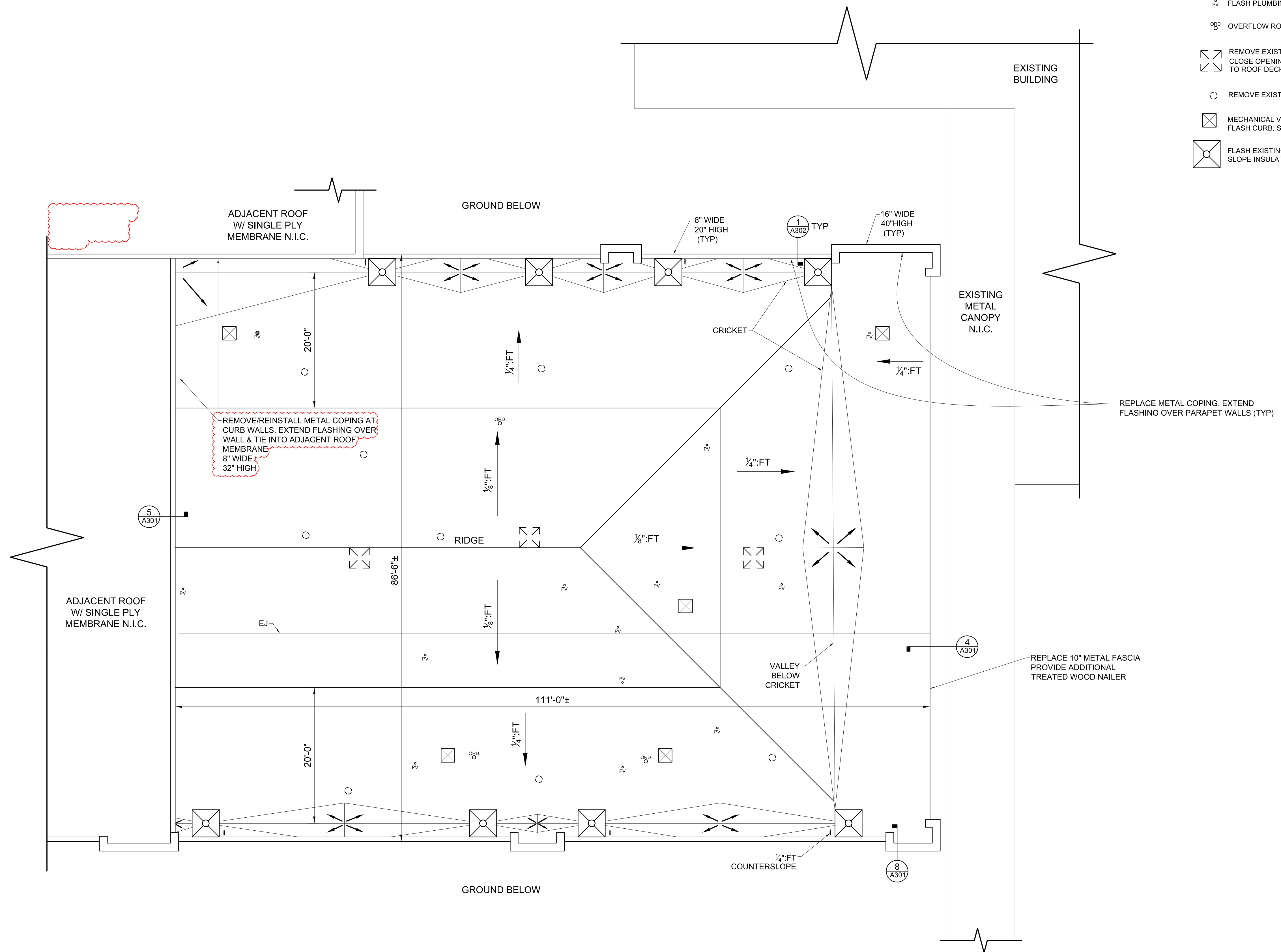
2. DEMOLITION: REMOVE ALL EXISTING ROOFING COMPONENTS DOWN TO VAPOR BARRIER. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING. THE EXISTING VAPOR BARRIER SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND TAPERED INSULATION OVER EXISTING VAPOR BARRIER. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.

4. MINIMUM INSULATION THICKNESS AT RD'S & VALLEY'S SHALL BE 2.6"

ROOF PLAN LEGEND

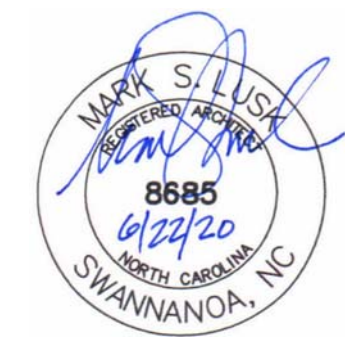
- FLASH PLUMBING VENT. SEE 6/301.
- OVERFLOW ROOF DRAIN. SEE 6/301 SIMILAR
- REMOVE EXISTING CAPPED CURB AND CLOSE OPENING WITH 1/2" PLYWOOD. FASTEN TO ROOF DECK AT CORNERS.
- REMOVE EXISTING ROUND VENTS
- MECHANICAL VENTILATOR ON CURB. FLASH CURB. SEE 7/A301.
- FLASH EXISTING ROOF DRAIN SQUARE: SLOPE INSULATION DOWN TO RD. SEE 3/A301



BUILDING Y ROOF PLAN- WEST HENDERSON HIGH
SCALE: 1/8"=1'-0"

ALTERNATE NO.3

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128 WOODBURN DR
SWANNANOVA, NC 28778
828.808.9757
MLARCHITECTURE@CHARTER.NET



**RMS & FRMS
GYMS,
WHHS BLDG Y &
HCPS C.O.
ROOF
REPLACEMENTS**

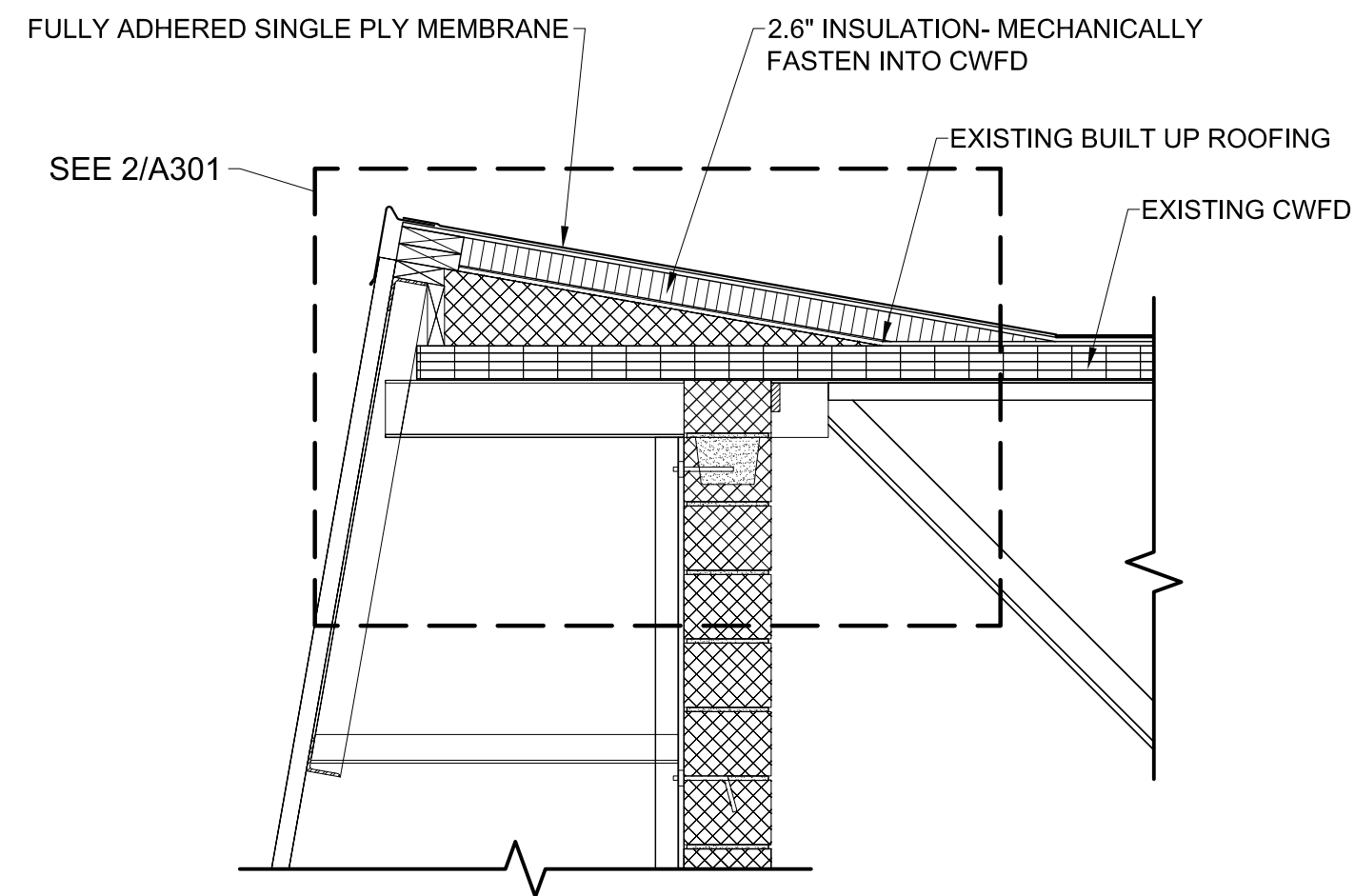
Project Number: 20004
Checked:
Drawn: A. Rognas
Date: 6/22/20
Revisions:
Addendum 1: 6/29/20

**BUILDING Y
ROOF PLAN-
WEST
HENDERSON
HIGH**

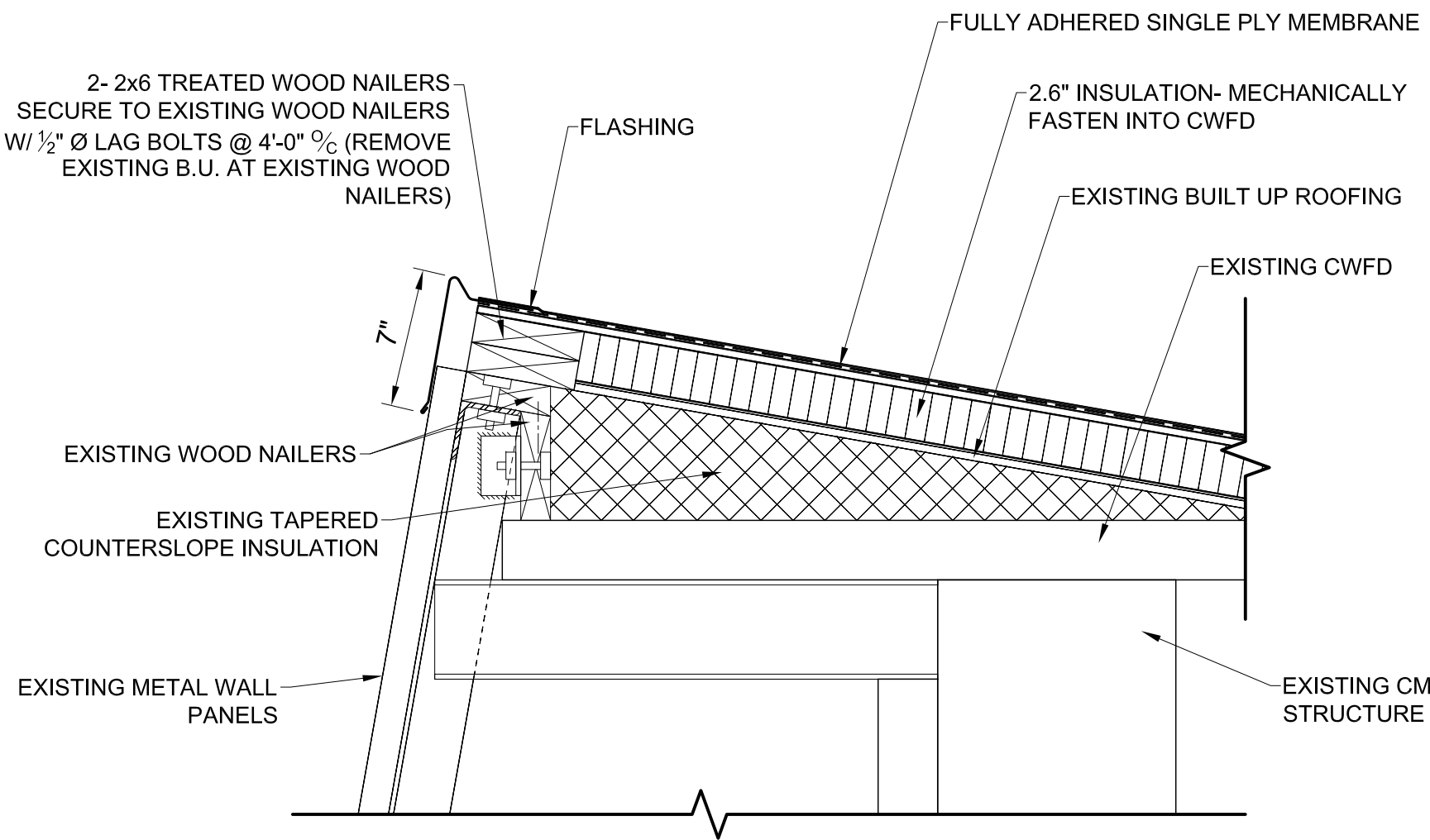
A205

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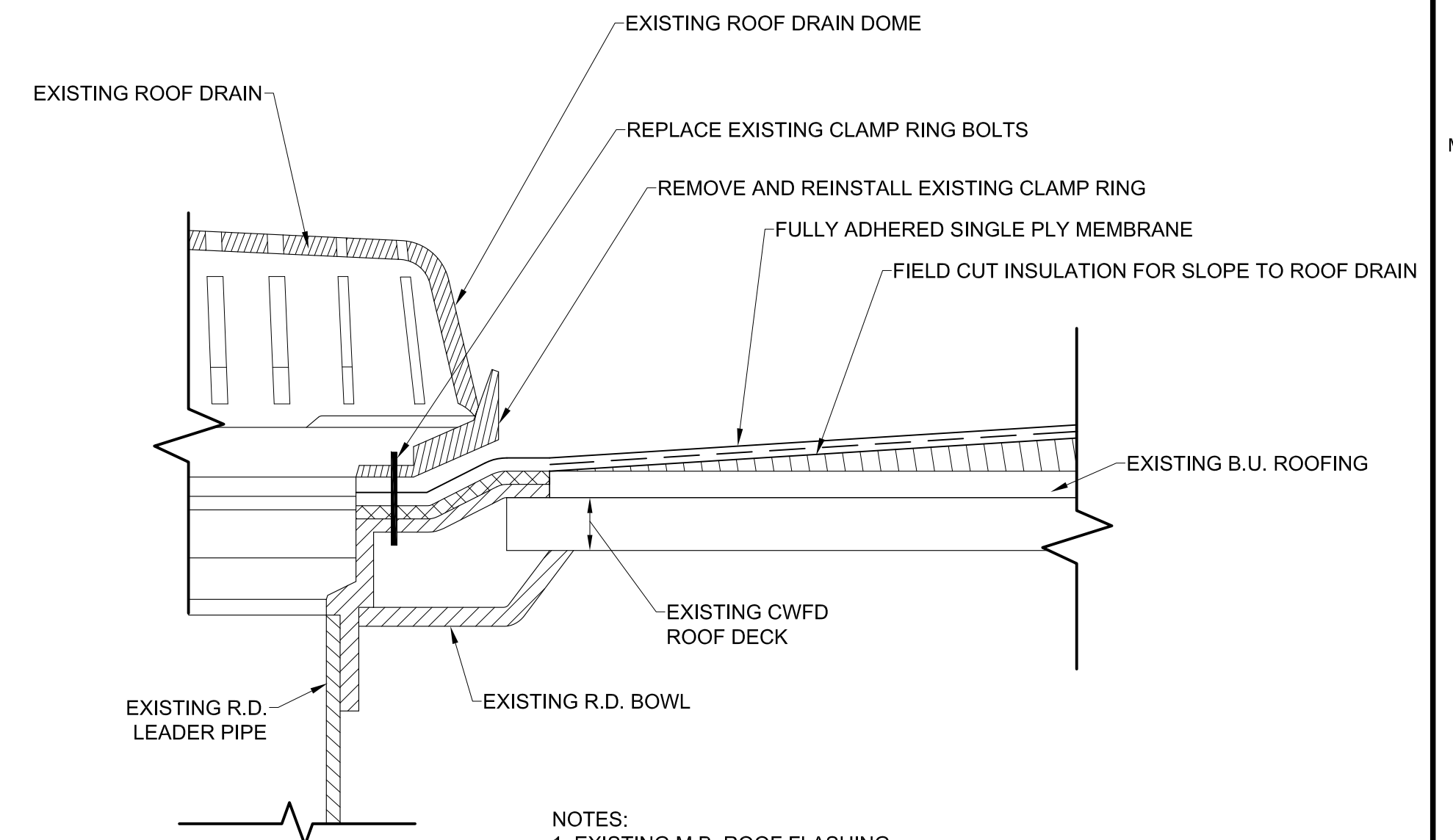


1 ROOF EDGE DETAIL
SCALE: 3/4" = 1'-0"



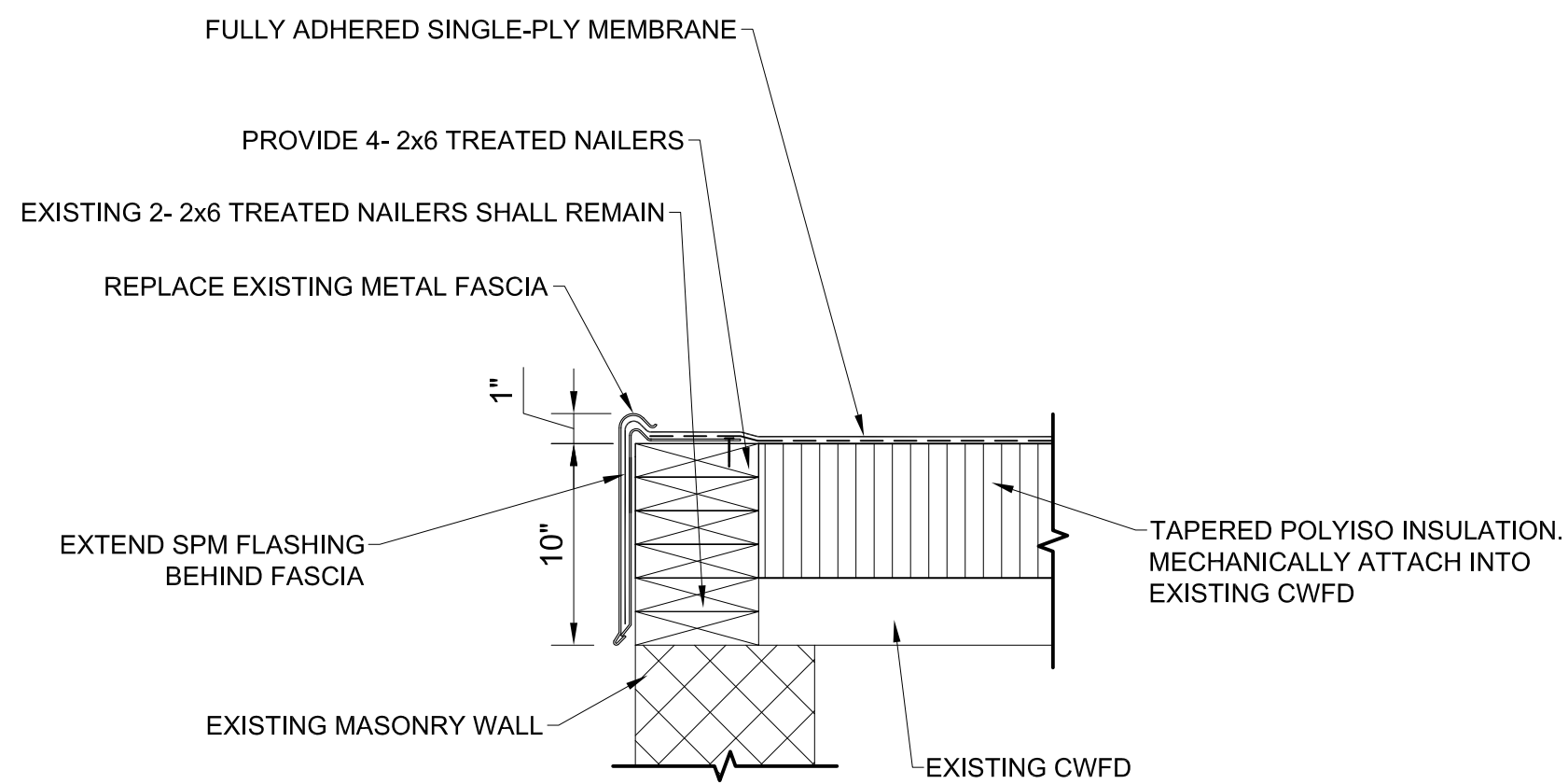
2 ROOF EDGE DETAIL
SCALE: 1/2" = 1'-0"

STRUCTURE TYPICAL AT WEST/EAST SIDES, SIMILAR AT SOUTH/NORTH SIDES



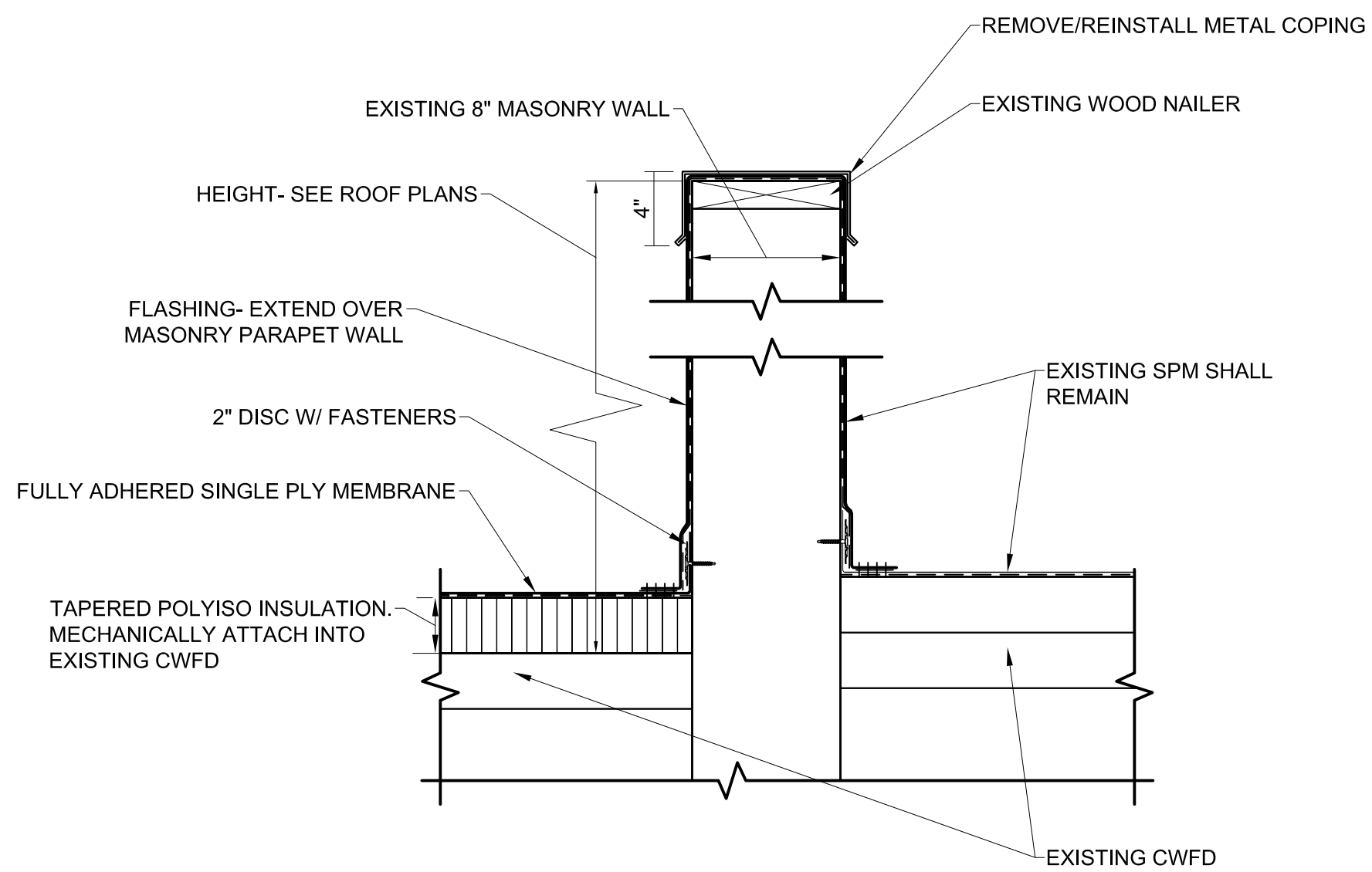
3 ROOF DRAIN DETAIL
SCALE: 1/2" = 1'-0"

NOTES:
1. EXISTING M.B. ROOF FLASHING AND CLEAN RESIDUE



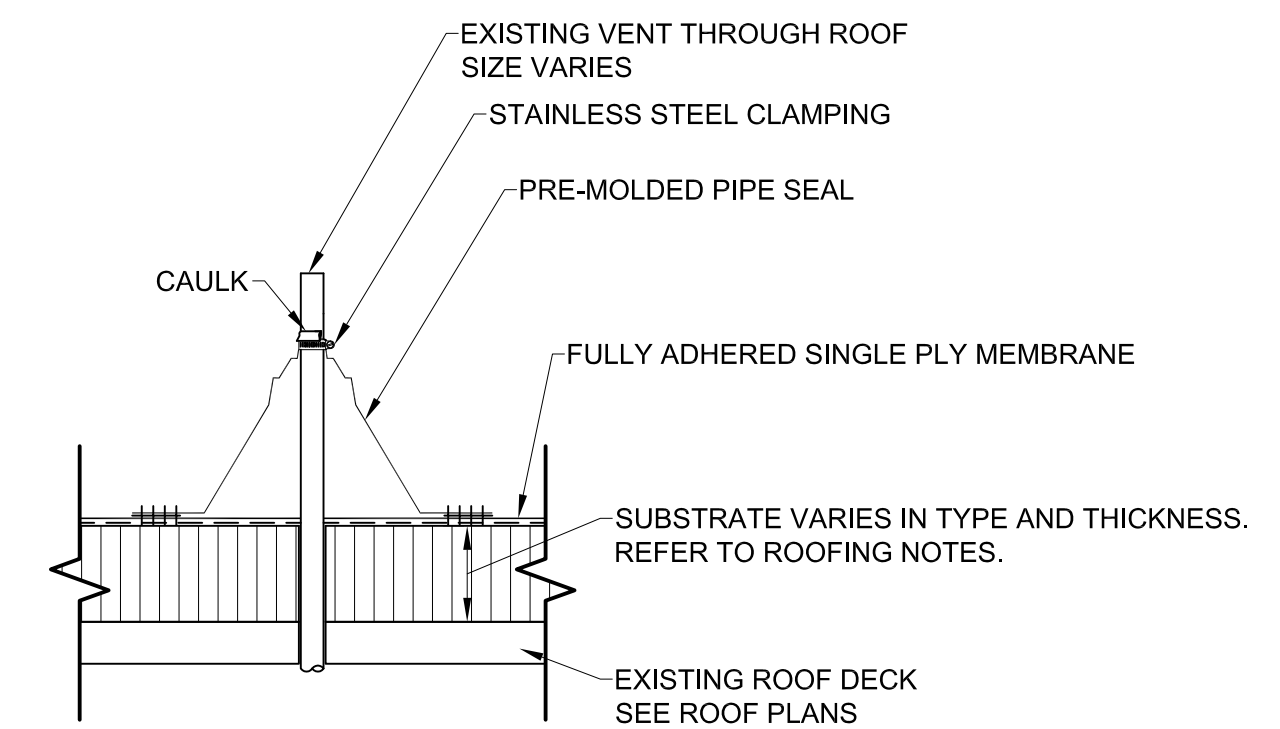
4 ROOF EDGE TERMINATION
SCALE: 1/2" = 1'-0"

NOTE: REMOVE EXISTING ROOFING MATERIALS (NOT SHOWN) NOTED ON A204.



5 CURB WALL
SCALE: 1/2" = 1'-0"

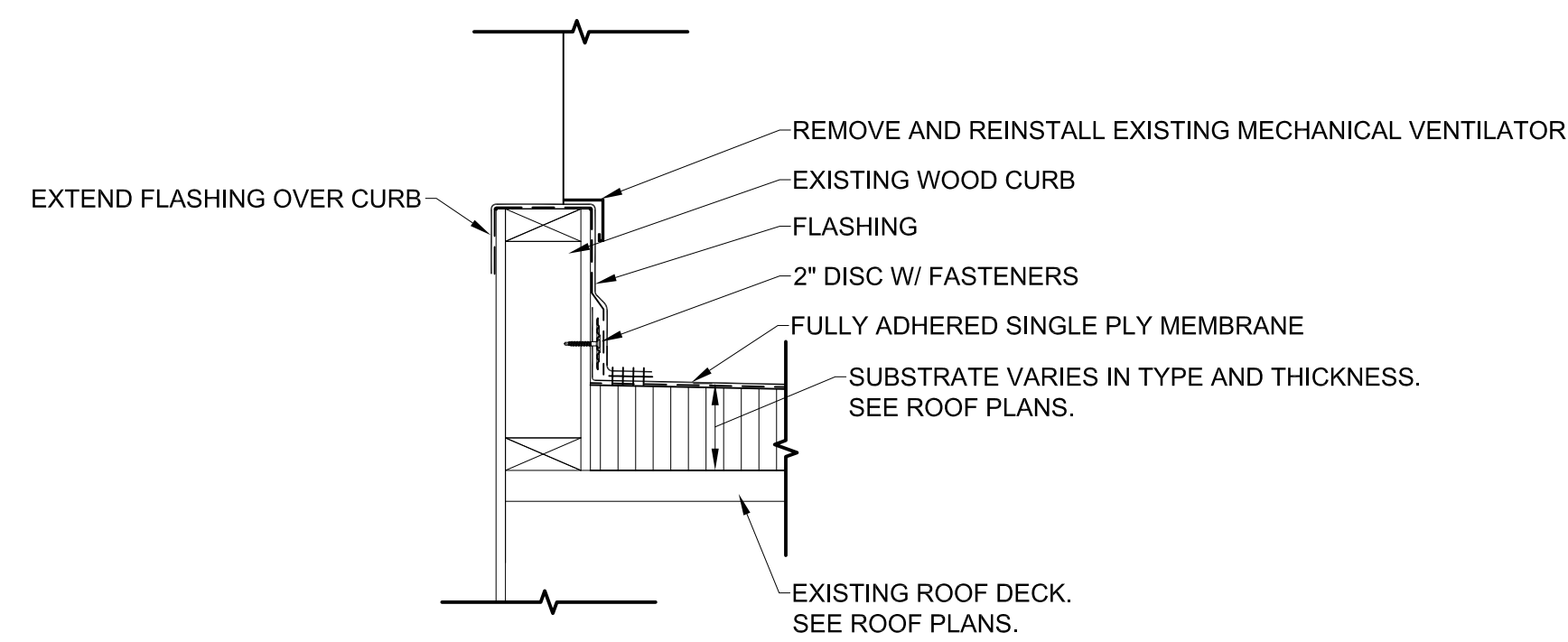
NOTE: REMOVE EXISTING ROOFING MATERIALS (NOT SHOWN) NOTED ON A204.



6 PLUMBING VENT DETAIL
SCALE: 1/2" = 1'-0"

NOTE: RAISE VENT PIPE TO 8" ABOVE ROOFING

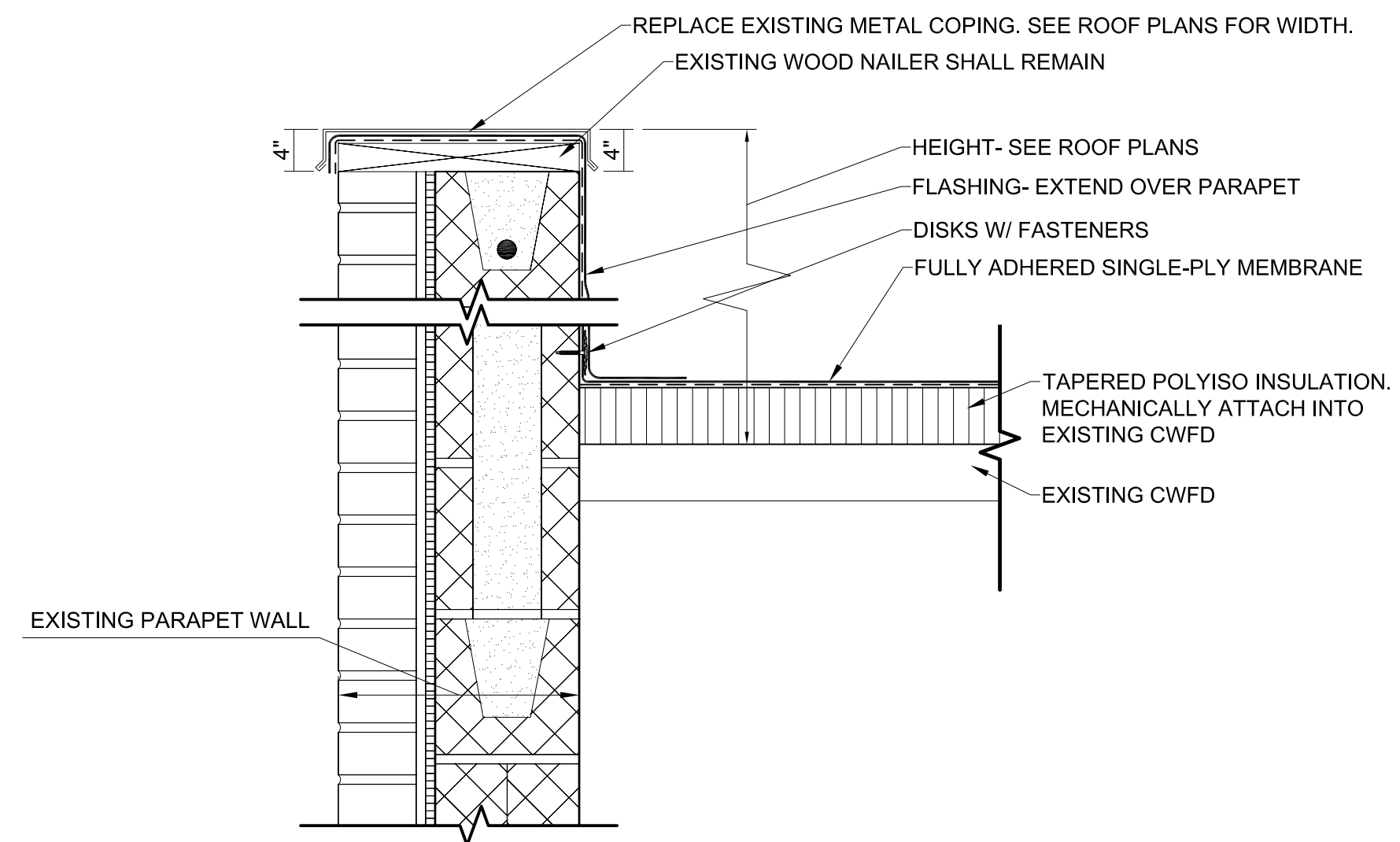
NOTE: SEE ROOFING NOTES ON ROOF PLANS



7 MECHANICAL CURB DETAIL
SCALE: 1/2" = 1'-0"

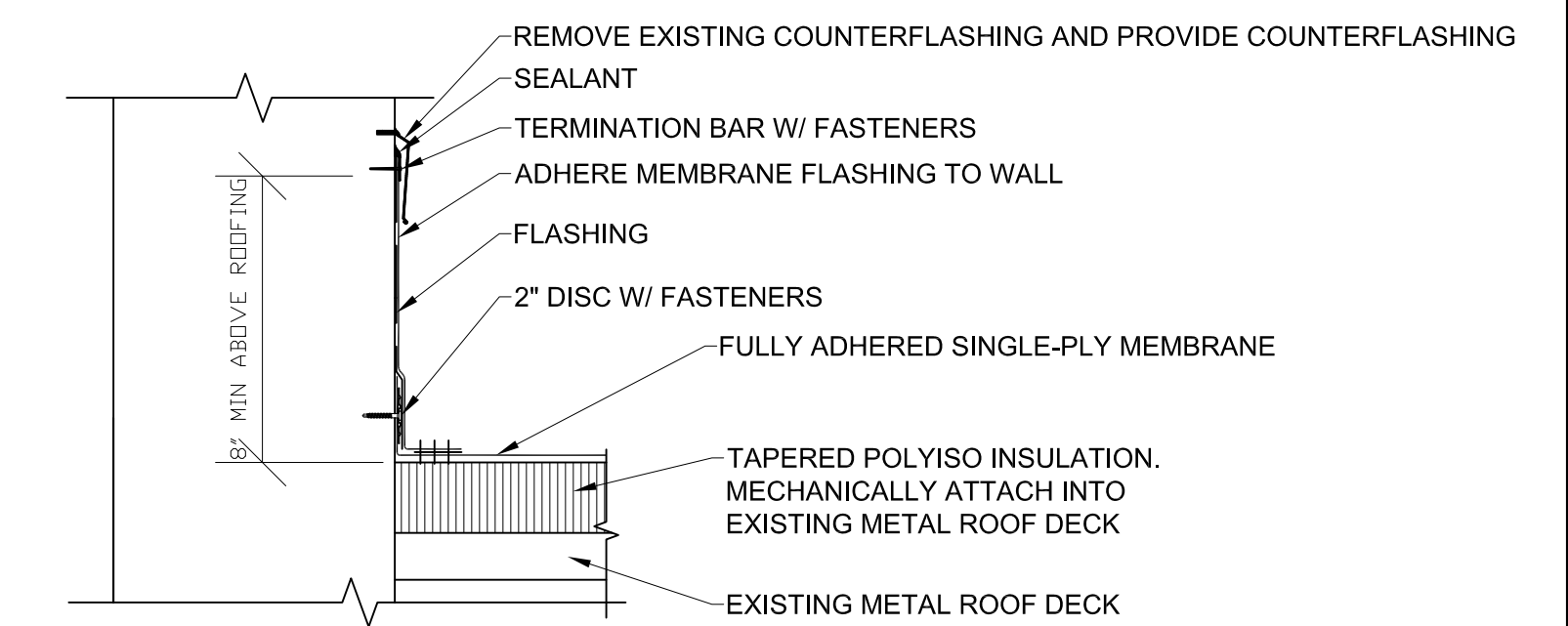
NOTE: RAISE CURB TO 8" ABOVE ROOFING AT ANY LOCATION WHERE EXISTING CONDITION IS LESS THAN 8"

NOTE: SEE ROOFING NOTES ON ROOF PLANS



8 PARAPET WALL
SCALE: 1/2" = 1'-0"

NOTE: REMOVE EXISTING ROOFING MATERIALS (NOT SHOWN) NOTED ON A204.



9 BASE OF WALL DETAIL
SCALE: 1/2" = 1'-0"

NOTE: AT BASE OF WALL ROOF C AND B, MEMBRANE FLASHING SHALL EXTEND UP WALL AND TIE INTO ROOF EDGE FLASHING AT ROOF A SHOWN AT 2/A302 - REMOVE MASONRY "LIP" ON WALL

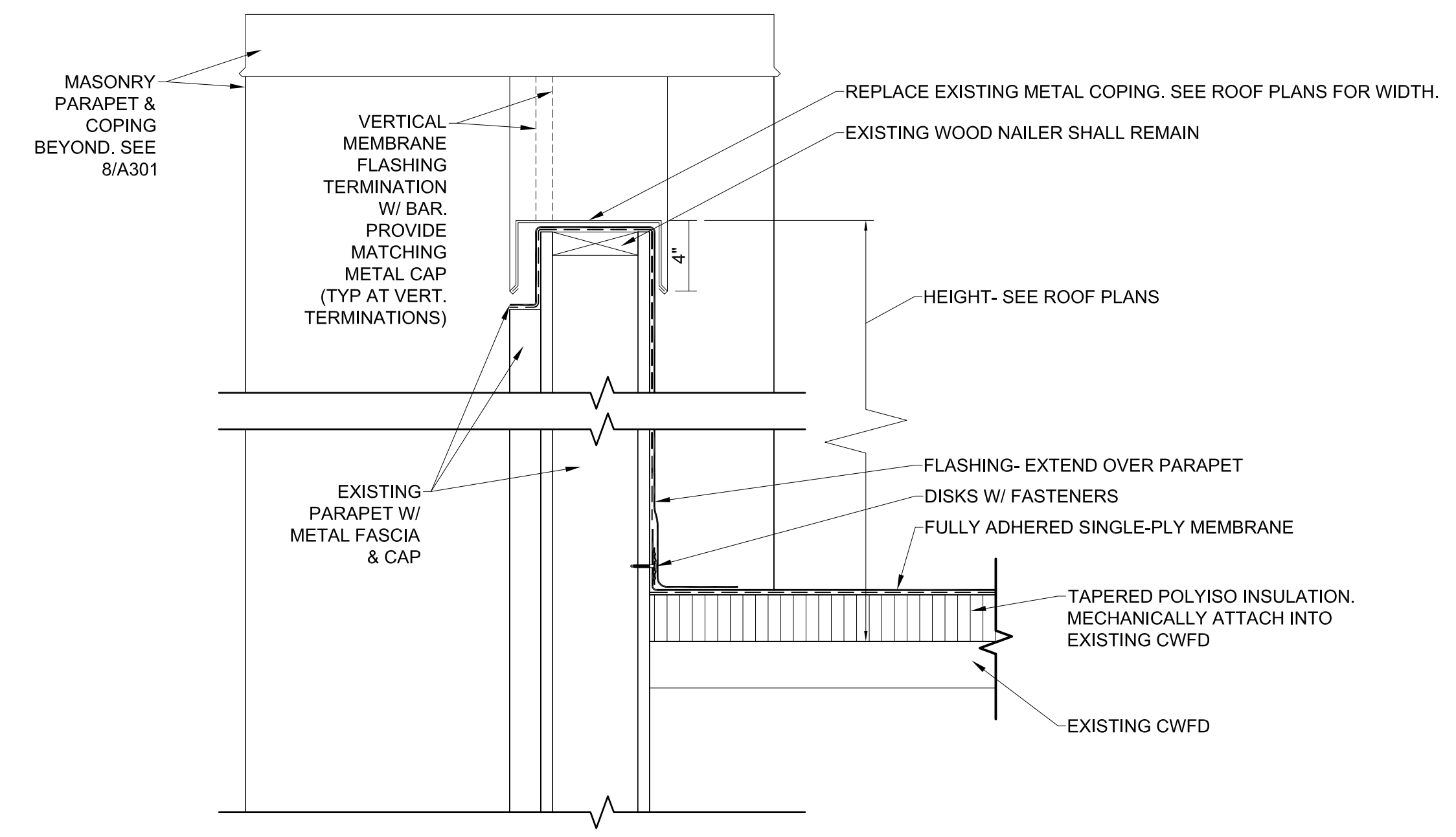
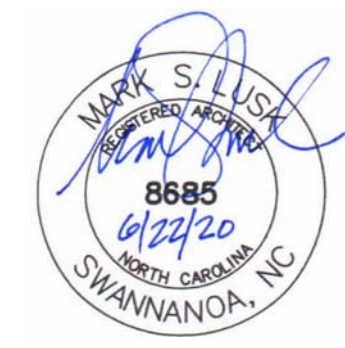


**RMS & FRMS
GYMS,
WHHS BLDG Y &
HCPS C.O.
ROOF
REPLACEMENTS**

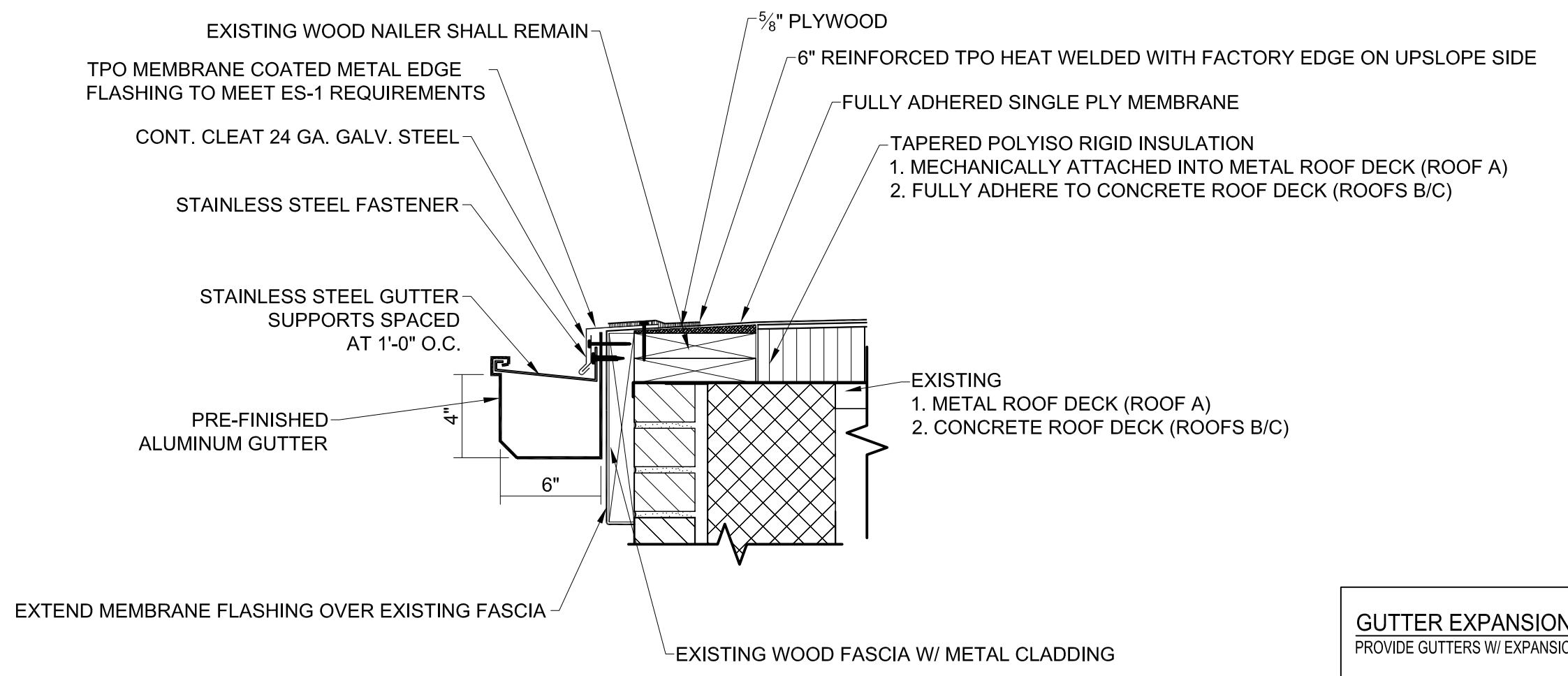
Project Number: 20004
Checked:
Drawn: A. Rognas
Date: 6/22/20
Revisions:
Addendum 1: 6/29/20

DETAILS

A301



① DETAIL
 SCALE: 1/2" = 1'-0"

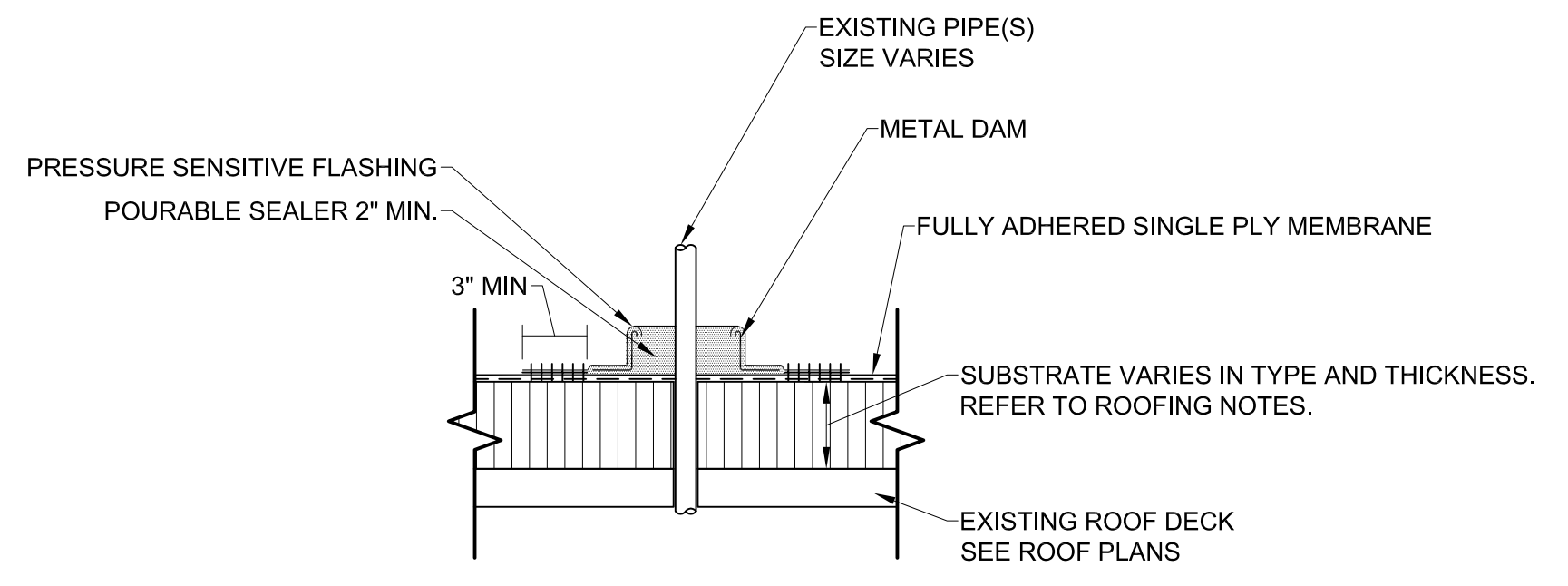


② GUTTER/ ROOF EDGE DETAIL
 SCALE: 1/2" = 1'-0"

GUTTER EXPANSION JOINTS:
 PROVIDE GUTTERS W/ EXPANSION JOINTS AT 50FT OC MAX. PER SMACNA 1

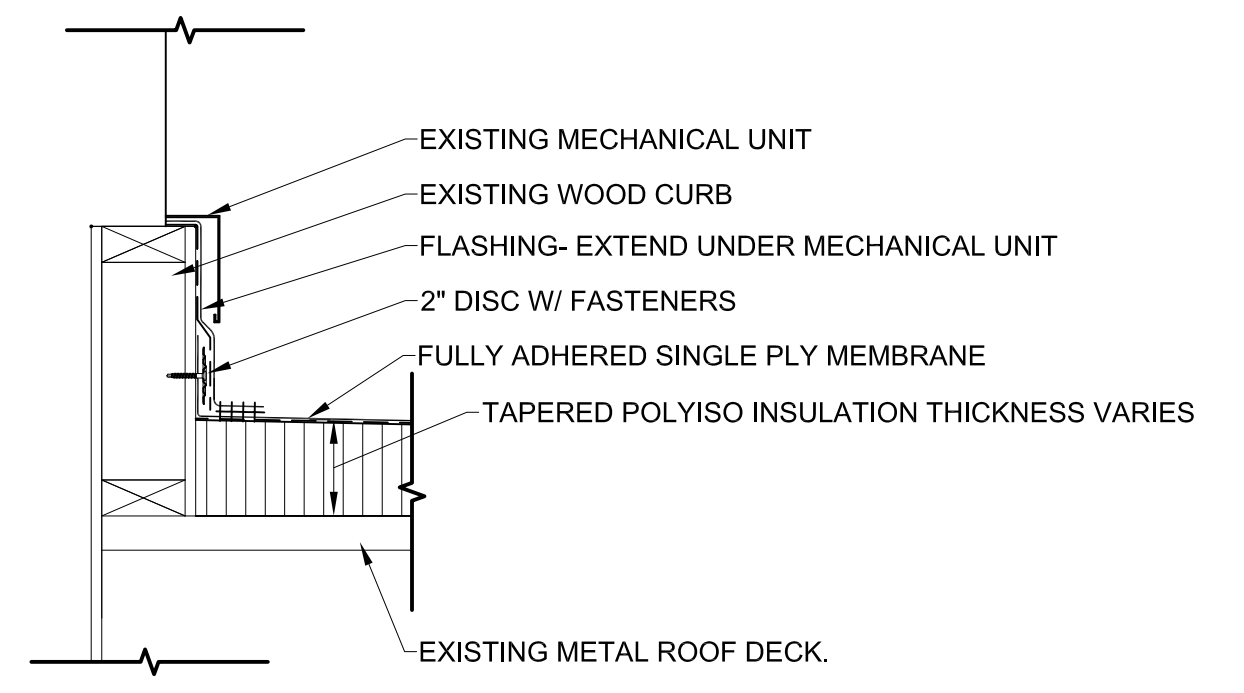
DOWNSPOUTS:
 PROVIDE ALUMINUM PREFIN. DOWNSPOUTS.
 CONNECT TO SUB-GRADE STORM DRAINAGE SYSTEM. PROVIDE STANDOFF TYPE
 ATTACH TO STRUCTURE PROVIDING MIN 3/4" GAP BETWEEN BUILDING & DOWNSPOUT

COLOR:
 PROVIDE SELECTION OF MANUFACTURERS STANDARD COLORS.



③ POURABLE SEALER POCKET
 SCALE: 1/2" = 1'-0"

NOTE: SEE ROOFING NOTES ON ROOF PLANS



④ MECHANICAL CURB DETAIL
 SCALE: 1/2" = 1'-0"

**RMS & FRMS
 GYMS,
 WHHS BLDG Y &
 HCPS C.O.
 ROOF
 REPLACEMENTS**

Project Number: 20004
 Checked: _____
 Drawn: A. Rognas
 Date: 6/22/20
 Revisions: _____

DETAILS

A302

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