



ENGINEERS

DATE: January 25, 2019
FROM: REI Engineers
TO: Bidders of Record
REFERENCE: **Addendum No. 01**
Henderson County, North Carolina
Main Library Roof Replacement Re-bid
REI Project No. 018CLT-069

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated December 21, 2018 as noted below.

This addendum consists of 3 pages, Pre-bid Meeting Minutes, and attached revised Specification Sections 00 41 13 Bid Form, 01 11 00 Summary of Work, 01 23 00 Alternates.

CHANGES TO BIDDING REQUIREMENTS:

1. Use the revised Bid Form attached indicating that the Skylights on Area F will be replaced in the base bid.

CHANGES TO SPECIFICATIONS:

2. 00 41 13 Bid Form; replace with attached, revised Section 00 41 13.
3. 01 11 00 Summary of Work; replace with attached, revised Section 01 11 00.
4. 01 23 00 Alternates; Replace with attached, revised Section 01 23 00.
5. 07 01 50 Preparation for Reroofing; Article 1; Paragraph 1.04; B, Change sub-paragraphs to read:
 1. Granular surfaced cap sheet
 2. 3-ply built-up roof membrane
 3. Tapered perlite
 4. 2-ply asphalt vapor retarder
 5. Lightweight concrete
 6. *2-ply asphalt vapor retarder (ACRM on B & C)*
 7. Pre-cast concrete tee roof deck
6. 07 54 00 Thermoplastic Single Ply Roofing; Article 2; Paragraph 2.02; A.1. change c. Carlisle FleeceBACK PVC, change from "135mil" to "115mil."

QUESTIONS/CLARIFICATIONS

7. Q. The current specifications call for the Carlisle FleeceBack to be 135 MIL; the Carlisle FleeceBack 115 MIL sheet has the 60 MIL PVC Membrane like the other manufacturers. Will the 115 MIL membrane be acceptable?

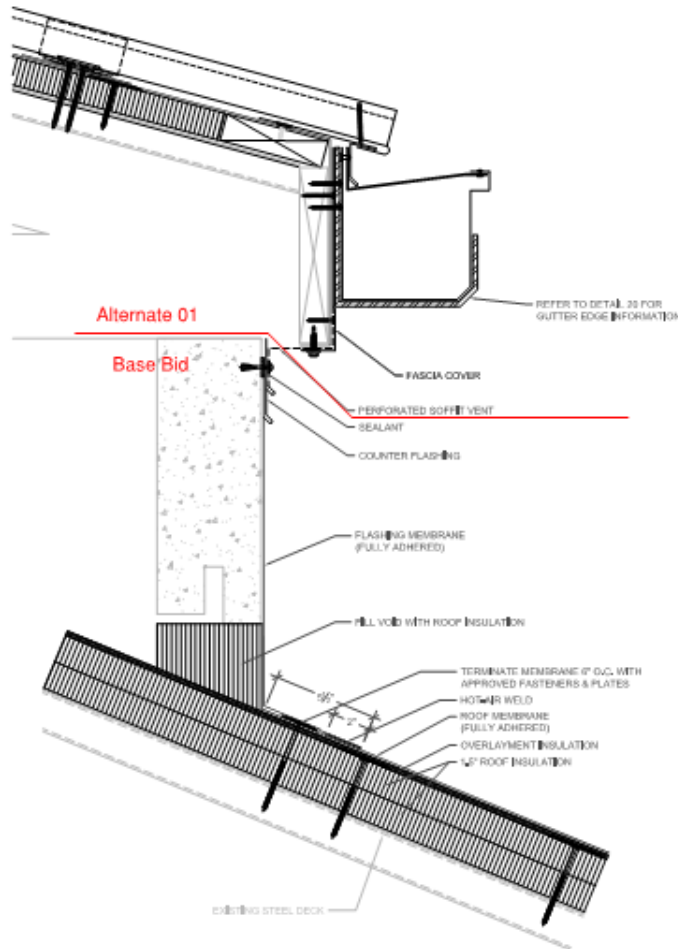
A. Yes.

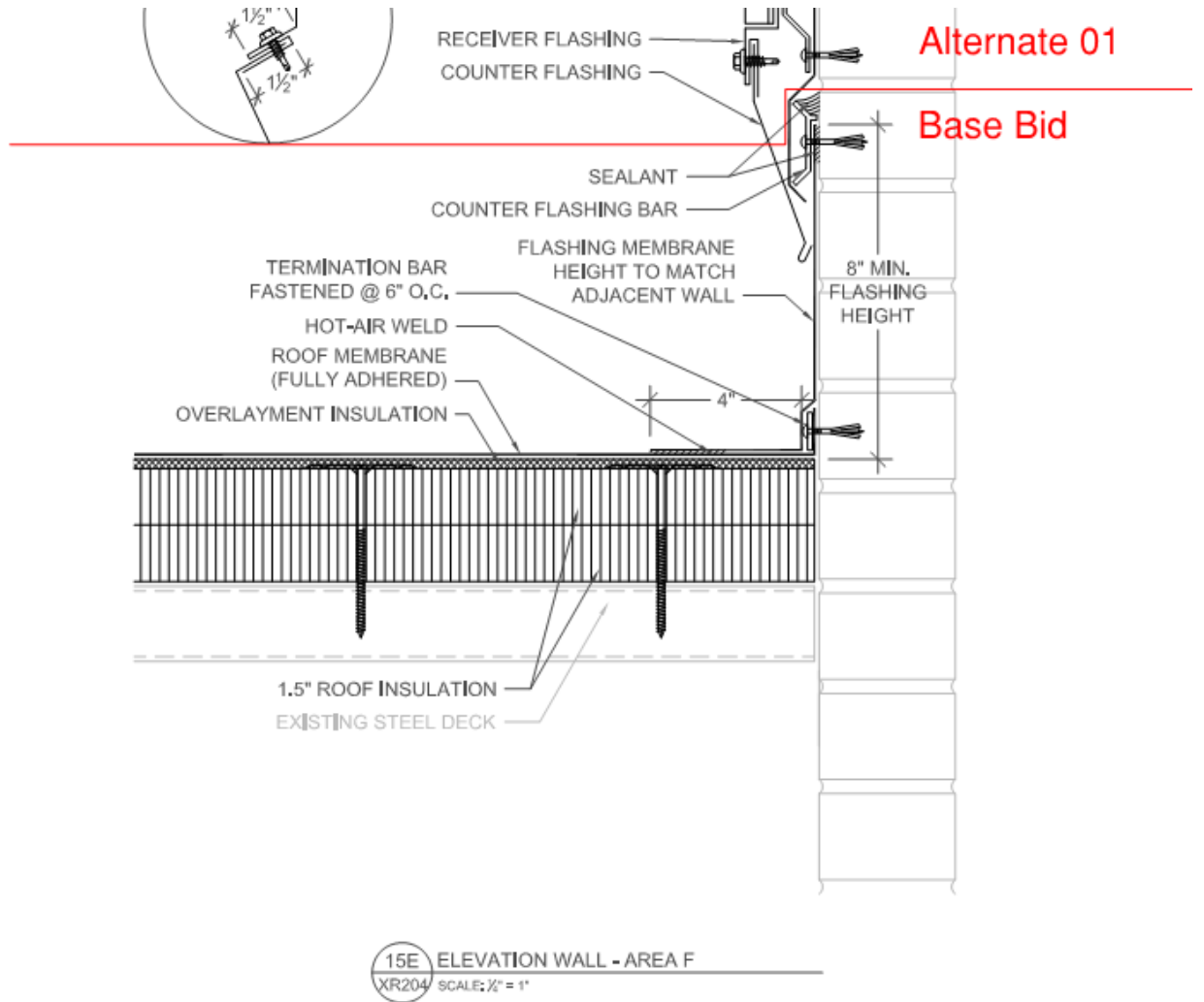
8. Q. Section 03 52 16.13-1 Lightweight Insulating Concrete, Minimum system thickness shall obtain an R-value of 15, At the roof eaves the total thickness of lightweight would be at least 5" thick. This does not match the drawings 11, 13B, 13E, 14A, 14B, 14C (ect.). What is your intent? Minimum R(15)? or average of R(15)?

A. It is still minimum R-value so you should have R-15 at lowest point. However; in the code commentary there is discussion that you can have tapered 1" less than the minimum. So whatever thickness EPS gives us R-15 less 1" should be the roof edge height. (See the 1/2" per foot taper in detail 14A). Additional wood blocking may be necessary to achieve this and shall be included in the contractors bid.

9. Q. Where does the "Work" in the Base Bid end on Area F?

A. The work ends at the Termination Bar & Sealant on detail 15E and Counterflashing and Sealant on Detail 22. Note that if the Manufacturer requires a counterflashing over the Termination Bar for their 20-yr Warranty, the Contractor shall include it in their bid.





10. Q. Can the Manufacturer's foam adhesive be used as membrane adhesive?

- A. Yes; however, REI will require manufacturer's system data and a full adhesion, spatter pattern, or ribbon applied pattern with a density sufficient to prevent telegraphing of ribbon stripes to the roof surface.

ALL OTHER REQUIREMENTS AND PROVISIONS OF THE BIDDING DOCUMENTS REMAIN UNCHANGED. ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE BID FORM. FAILURE TO DO SO MAY BE CAUSE FOR REJECTION OF THE BID.

END OF ADDENDUM



PROJECT:	Main Library Roof Replacement – Re-Bid	REI PROJECT NO:	018CLT-069
OWNER:	Henderson County	MEETING DATE:	01-17-2019
ENGINEER:	REI Engineers	MEETING TIME:	10:00 AM
		MTG. LOCATION:	100 N. King Street Hendersonville, NC

Participants: Refer to the attached sign-in sheet.

This confirms and records REI's interpretation of the discussions which occurred, and our understanding reached during this meeting unless notified in writing within three days of date of minutes:

1. Mr. Urbaniuk opened the meeting and a sign-in sheet was circulated.
2. A brief introduction of the project was provided.

Section 00 11 13-Advertisement for Bids

3. Bids shall be received by Owner until **10:00 AM** on **January 31, 2019** at **HC Government Offices, First Floor Meeting Room, 100 North King Street, Hendersonville, NC 28792**. The bids shall be publicly opened and read.
4. Bidder attendance at this pre-bid meeting was mandatory.

Section 00 21 13-Instructions to Bidders

5. Bid Security will be required and shall be submitted with Contractor's bid.
6. Performance and Payment Bonds will be required. Bonds shall also cover Alternate 01 of accepted.
7. Roof system manufacturer shall be listed on the bid form and the RMA Form shall be submitted with Contractor's bid.

Section 00 41 13-Bid Form

8. The alternates listed for this project are as follows:
 - a. Alternate No. 1 – Replace roof areas E, G1, G2, G3 and I per plans and specifications.
9. One manufacturer for the membrane roof system and one manufacturer for the metal roof system shall be listed on the Bid Form.
10. A **\$30,000.00** contingency allowance shall be contained in the Base Bid.
11. The following Quantity Allowances shall be contained in the Base Bid.
 - a. Repair 1,000 SF of steel deck with coating.
 - b. Repair 500 SF of steel deck with steel plates.
 - c. Replace 500 BF of damaged or deteriorated wood blocking.
 - d. Replace 250 SF of damaged or deteriorated plywood.
12. Unit prices shall be provided and utilized to determine the applicable quantity allowances.
13. Schedule of Completion:
 - a. **A written Notice to Proceed is expected to be given to the successful Contractor on or about February 6, 2019.**
 - b. The Schedule of completion is being adjusted as follows:
 - i. The Substantial Completion for all areas of the project shall be **June 28, 2019**.
 - ii. The Project Completion of Project Closeout Documents shall be **July 30, 2019**.

- c. Failure to meet the deadlines above shall result in Liquid Damages being incurred of \$500.00 per calendar day until Substantial Completion is achieved.
- d. It is the Contractors responsibility to document weather days on the project for any claim made for inclement weather forecasts.

14. Provide all bid enclosures listed on the Bid Form including the following:

- a. Bid Bond
- b. MW/BE Identification of Minority Business Participation
- c. MW/BE Form(s) A or Form B
- d. Roof Manufacturer's Acknowledgement Form

Section 00 43 40-MWSBE Participation

15. Bidders shall follow the Owner's MWSBE Program and shall submit the required forms contained in the project manual with their bid.

Section 01 11 00-Summary of Work

16. A brief outline of the scope of work was reviewed.

- a. **Roof Areas A1, D, and H (Approximately 4,550 square feet):** Remove and dispose of the existing roof system including flashings, sheet metal, and light weight concrete down to the existing steel deck; secure the steel deck to structural framing members; mechanically attach gypsum substrate, torch apply temporary roof membrane; provide tapered cellular lightweight insulating concrete; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
- b. **Roof Areas A2, B, and C (Approximately 20,304 square feet):** Remove and dispose of the existing roof system including flashings, sheet metal, and light weight concrete down to the existing vapor barrier; remove and repair disbonded vapor barrier, prime vapor barrier with asphalt primer; torch apply temporary membrane; provide tapered cellular lightweight insulating concrete; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
- c. **Roof Area E (Alternate 01) (Approximately 368 square feet):** Remove and dispose of the existing roof system including flashings, sheet metal, and light weight concrete down to the existing steel deck; secure the steel deck to structural framing members; mechanically attach gypsum substrate, torch apply temporary roof membrane; provide tapered cellular lightweight insulating concrete; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
- d. **Roof Area F (Approximately 1,833 square feet):** Remove and dispose of the existing roof system including flashings and sheet metal down to the existing steel deck; resecure the steel deck to structural framing members; mechanically attach two layers 1.5" roof insulation; adhere gypsum overlayment insulation in foam adhesive; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
- e. **Roof Areas G1, G2, G3, and I (Alternate 01) (Approximately 13,007 square feet):** Remove existing metal roof panels and insulation down to the existing steel deck; secure steel deck to structural framing members; mechanically attach 1.5" roof insulation; provide self-adhering metal roof panel underlayment; provide standing seam metal roof along with sheet metal flashings including soffit vents, ridge vents, gutters, downspouts, and accessories to provide a complete, weathertight, 20-year warrantable metal roof assembly.

- f. **Provide snow guard system along gutter edge of metal roof areas. (Alternate 01).**
- g. **Replace skylight domes on Area E to match existing (Alternate 01).**
- h. **Replace translucent panels to frame on skylight system on Area F.** Raise curb height as required to meet minimum flashing height, provide finishing trim on interior of building to cover new rough carpentry (Base Bid)
- i. **Asbestos Containing Roofing Materials (ACRM):**
 - i. The presence of Asbestos Containing Roofing Materials (ACRM) has been detected in test samples of the Vapor Barrier of Roof Areas B and C. The Contractor shall remove and dispose of all ACRM in a safe and legal manner.
 - ii. It is the intention of these specifications that no asbestos bearing materials be incorporated into the work.

Section 01 14 00-Work Restrictions

- 17. Works hours shall generally be performed during normal business hours. Should the Contractor elect to work on Saturday or Sunday, notification to the Owner and Engineer at least 48 hours in advance shall be required.
- 18. **The Library's hours are: Mon-Thu 9am-8pm; Fri-Sat 9am-5pm; Sunday Closed.**
- 19. **West door shall remain open and accessible for the duration of the project. Contractor shall work this area off hours or provide overhead protection for pedestrians.**

Section 01 77 00-Closeout Procedures

- 20. A five-year contractor's warranty, asbestos free warranty and a twenty-year roofing manufacturer's warranty shall be required.

Miscellaneous

- 21. Staging and Material storage areas are as follows:
 - a. The main staging area shall be limited to the parking area immediately to the West of the building. An alternate area is available nearby at the back of the parking lot across 3rd Ave W near Rhodes Street behind the church. The Contractor shall provide a temporary construction fence around their staging areas and materials. See Figure 1.
 - b. Access to the drive on the North side of the building will be allowed once the Contractor reduces the size of the main staging area and provides vehicle access in the parking lot driveway. The Contractor shall provide barricades and signage while working in and over the North Road to prevent patrons from inadvertently driving or entering into the lane.
 - c. Access to the roof shall be via a Contractor provided extension ladder that shall be taken down every night and secured.
 - d. The Contractor will provide a portable toilet facility.
- 22. Several Contractors requested information on the HVAC Contractors that the county uses to do work on site. They are:
 - a. Nicholson Company, Lee Roy Nicholson 828-697-2638.
 - b. Cooper Construction, Barry Holbert 828-243-5313.
- 23. A quote for the Skylights on Area F has previously been provided by Carolina Architectural Products, Mr. Ronnie Chapman, 704-534-0635; caparc@mindspring.com or engineer approved equal.
- 24. Bidders wishing to make additional site visits shall contact Mr. Thad Ninnemann, cell 828-577-1501, to coordinate an appointment for additional visits. Please allow 24 hours of advance notice to schedule the site visit.
- 25. Bidders wishing to make additional site visits shall provide an extension ladder for access to the roof and must check in at the office immediately upon arrival to the facility.



26. All bidding or specification related questions are to be directed to REI Engineers in writing (email: **gurbaniuk@reiengineers.com**) by 5:00 PM on Wednesday, **January 23, 2019** in an effort to keep addenda from being issued after Friday, **January 25, 2019**.

PREPARED BY:

George S. Urbaniuk 01-25-2019
George S. Urbaniuk, RRO, CDT Date

Attachments: Sign-In Sheet, Figure 1 – Staging Areas

Copies: Attendees _____ _____ _____





Figure 1 - Staging Areas

PRE-BID MEETING SIGN-IN
OWNER: HENDERSON COUNTY
PROJECT: 018CLT-069 MAIN LIBRARY ROOF REPLACEMENT RE-BID

Name	Company	Phone No.	Email
George S. Urbaniuk	REI Engineers	704-596-0331	gurbaniuk@reiengineers.com
Thad Ninnemann	Henderson County	828-577-1501	tninnemann@hendersoncountync.org
Ryan Davis	Davis Brothers Roofing	423-817-0287	rdavis@davisbrosoofing.com
Tommy Kaywood	Davis Brothers Roofing	423-276-1904	TommyK@davisbrosoofing.com
Andrew Gleason	Artista	576-434-3700	Andrew.Gleason@artista.com
Brian Bartholomew	JBC	828-808-4712	brian@div7.org
Drew Johnson	JRS	704-763-0817	drew@johnsonroofinginc.com
Eric Strook	Tecta America	704-882-1200	estrook@teckamerica.com
JOHN WILBERDING	Superior Distribution	828-329-7750	JWILBERDING@SuperiorDistribution.NET
Frank Thompson	Rades Roofing	980-348-7235	fthompson@raderoofing.com
DAN JARRATT	Piper Roofing	864-430-3032	djarratt@piperroofing.com
Peter Gross	Rike	832-721-3927	peter@rikerroofing.com
Holden Kurth	AAR Roofing	336-727-4534	AARESTIMATORS@AARNC.COM
Ed Davidson	The Bonitz Company of Carolina	336-580-1426	edavidson@bonitzcompany.com
Brad Gallimore	Martin Roofing	336-566-1350	bradgallimore@martinroofingservices.com



PRE-BID MEETING SIGN-IN
OWNER: HENDERSON COUNTY
PROJECT: 018CLT-069 MAIN LIBRARY ROOF REPLACEMENT RE-BID

Name	Company	Phone No.	Email
George S. Urbaniuk	REI Engineers	704-596-0331	gurbaniuk@reiengineers.com
Thad Ninnemann	Henderson County	828-577-1501	tninnemann@hendersoncountync.org
Brian McIntosh	WNC Roofing	828-576-3070	Brian @ WNC Roofing.com
Sean Ross	WNC Roofing	"	Sean @ WNC Roofing.com
DAVID JACKSON	Interstate Roof	704 5253143	dj@interstateroofingco.com
Justin Shaft	Alpha Construction	828-229-5717	J.Shaff@alphaconstructionwv.com
ROBERT JOHNSON	PS ROOFING	864-246-7207	rjohnson@psroof.com
Adam Hogsed	PS Roofing	864-263-0745	ahogsed@psroof.com
Tom Baker	Weathergard	803-320-4357	tombaker@weathergardnc.com
Jason Mathers	Teamcraft Roofing	704 245 2455	Jason.Mathers@tcrtfg.com



SECTION 00 41 13

BID FORM (ADDENDUM 01)

To: Mr. Thad Ninnemann
Project Manager
Henderson County Project Management
100 North King Street, Suite 206
Hendersonville, North Carolina 28792

Project: Henderson County
Main Library Roof Replacement
301 N Washington St, Hendersonville, NC 28739
REI Project No. 018CLT-069

Date: _____

Contractor: _____

Address: _____ Phone: (____) _____

_____ Fax: (____) _____

Email: _____

NC License No.: _____ Classification: _____ Limitation: _____

The undersigned, as bidder, hereby declares that the only person or persons interested in this proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud. The bidder further declares that he has examined the site of the work and the contract documents relative thereto dated December 21, 2018 as prepared by REI Engineers, Inc., and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed. The Bidder proposes and agrees if this proposal is accepted to contract with the Owner in the form of contract specified, to furnish all necessary materials, equipment, machinery, tools apparatus, means of transportation and labor necessary to complete the construction of the project with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and the Contract Documents, for the sum of:

BASE BID: Replace Roof Areas A1, A2, B, C, D, F, and H per plans and specifications. Replace skylight Assemblies on Area F per plans and specifications.

_____ (\$ _____ .____)
(Words) (Figures)

ALTERNATES:

Alternate No. 1: Replace roof areas E, G1, G2, G3 and I per plans and specifications.

Add: Words: _____ Figures _____

ALLOWANCES:

Include in the Base Bid the \$30,000.00 Contingency Allowance specified in Section 01 21 00 of the Project Manual.

Include in the Base Bid the Quantity Allowances specified in Section 01 21 00 of the Project Manual.

Repair 1,000 sq. ft. of Steel Deck with Coating	\$ _____
Repair 500 sq. ft. of Steel Deck with Steel Plates.....	\$ _____
Replace 500 bd. ft. of Damaged or Deteriorated Wood Blocking	\$ _____
Replace 250 sq. ft. of Damaged or Deteriorated Plywood.....	\$ _____

UNIT PRICES:

Unit prices quoted and accepted shall apply throughout the life of the contract, except as otherwise specifically noted. Unit prices shall be applied, as appropriate, to compute the total value of changes in the scope of the work all in accordance with the contract documents.

UP-1: Repair Steel Deck with Coating.....	\$ _____/SF
UP-2: Repair Steel Deck with Steel Plates.....	\$ _____/SF
UP-3: Replace Damaged or Deteriorated Wood Blocking.....	\$ _____ /BF
UP-4: Replace Damaged or Deteriorated Plywood.....	\$ _____/SF

MANUFACTURERS:

Base bid shall utilize PVC membrane roofing materials manufactured by _____.
(One manufacturer only)

Base bid shall utilize Metal roofing materials manufactured by _____.
(One manufacturer only)

BID HOLDING TIME AND ACCEPTANCE:

The undersigned hereby agrees that this bid may not be revoked or withdrawn after the time set for the opening of bids but shall remain open during the bid holding period.

SCHEDULE OF COMPLETION:

The undersigned understands that time is of the essence and agrees to the Contract Time and liquidated damages as indicated in AIA Document A201, General Conditions of the Contract for Construction and Supplementary Conditions apply to this Work. The undersigned hereby agrees to commence work on this project within thirty (30) days following receipt of an Executed Owner/Contractor Agreement. Date of commencement will be established in a Notice to Proceed issued to Contractor. The work shall be substantially complete within one hundred twenty (120) calendar days from date of commencement. Applicable liquidated damages shall be stated in the Section 00 73 00-Supplementary Conditions.

ADDENDUM:

Addendum received and used in computing bid:

Addendum No. 1 _____	Addendum No. 2 _____
Addendum No. 3 _____	Addendum No. 4 _____

SUBCONTRACTORS:

If subcontractors are to be utilized, the General Contractor shall fill out all blanks on the list below. All subcontractors shall be listed. The general contractor shall identify work by the general, subcontractor or not applicable. Do not list suppliers. All blanks must be filled in. Failure to do so may result in bid being declared non-responsive. If there is more than one subcontractor per trade identified below, list all. If no subcontractors are to be utilized, indicate by signing at the appropriate place at the bottom of this page.

Trade: _____	Company: _____
Trade: _____	Company: _____
Trade: _____	Company: _____
Trade: _____	Company: _____
Trade: _____	Company: _____
Trade: _____	Company: _____

We do not plan to use subcontract forces:

_____ Contractor Signature (sign if applicable)

ENCLOSURES:

- Bid Bond
- Minority, Woman, and Small Business Submittals:
 - Identification to Minority Business Participation and
 - Affidavit A or Affidavit B
- Roof Manufacturer's Acknowledgement Form (Section 00 62 33)

Respectfully submitted this _____ day of _____, _____.

Company: _____

Printed Name: _____

Signature: _____

Title: _____

_____ Carolina

_____ County

I, _____, a Notary Public for _____ County, _____ Carolina, do hereby certify that _____ personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal, this _____ day of _____, 20_____.

Notary Public

(OFFICIAL SEAL)

My commission expires _____, 20_____.

END OF SECTION 00 41 13

SECTION 01 11 00

SUMMARY OF WORK (ADDENDUM 01)

PART 1 GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Specification Sections, apply to this Section.

1.02 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Name: Henderson County Main Library Roof Replacement
- B. Project Address: 301 N Washington St, Hendersonville, NC 28739
- C. Owner: Henderson County
- D. Engineer: The Contract Documents, dated December 21, 2018, were prepared by REI Engineers, Inc.
- E. This work includes the provision of all labor, material, equipment, supervision, and administration to integrate the work outlined in this project manual into the total building system such that no leakage into the system occurs. In general, the scope of work in the **Base Bid** will include:
 - 1. **Roof Areas A1, D, and H** (Approximately 4,550 square feet): Remove and dispose of the existing roof system including flashings, sheet metal, and light weight concrete down to the existing steel deck; secure the steel deck to structural framing members; mechanically attach gypsum substrate, torch apply temporary roof membrane; provide tapered cellular lightweight insulating concrete; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
 - 2. **Roof Areas A2, B, and C** (Approximately 20,304 square feet): Remove and dispose of the existing roof system including flashings, sheet metal, and light weight concrete down to the existing vapor barrier; remove and repair disbanded vapor barrier, prime vapor barrier with asphalt primer; torch apply temporary membrane; provide tapered cellular lightweight insulating concrete; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
 - 3. **Roof Area F** (Approximately 1,833 square feet): Remove and dispose of the existing roof system including flashings and sheet metal down to the existing steel deck; resecure the steel deck to structural framing members; mechanically attach two layers 1.5" roof insulation; adhere gypsum overlayment insulation in foam adhesive; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
 - 4. Replace translucent panels to frame on skylight system on Area F. Raise curb height as required to meet minimum flashing height, provide finishing trim on interior of building to cover new rough carpentry.
- F. Asbestos Containing Roofing Materials (ACRM):
 - 1. The presence of Asbestos Containing Roofing Materials (ACRM) has been

detected in test samples of the Vapor Barrier of Roof Areas B and C. The Contractor shall remove and dispose of all ACRM in a safe and legal manner.

2. It is the intention of these specifications that no asbestos bearing materials be incorporated into the work. In the event the contractor should determine unanticipated asbestos bearing materials to be present in the existing building components, Contractor is to stop all work in the affected area, notify the Engineer and Owner, and provide temporary protection as required. Costs incurred, if any, due to the presence of hidden and/or unanticipated asbestos bearing materials will be authorized by Change Order to this contract.
- G. The contractor is responsible for all electrical, plumbing, mechanical, and other related trade work necessary to facilitate project operations. Contractor is responsible for re-locating any and all conduit, HVAC equipment, curbs, and/or plumbing necessary to comply with the requirements of these documents. All work shall conform to the requirements of the current Building Code approved in the State of the project location.
- H. General requirements and specific recommendations of the material manufacturers are included as part of these specifications. The manufacturers' specifications are the minimum standards required for the completed systems. Specific items listed herein may improve the standards required by the manufacturers and will take precedence where their compliance will not affect the manufacturers' guarantee or warranty provisions.

1.03 CONTRACT

- A. Project will be constructed under a single prime general construction contract.

1.04 SITE INVESTIGATION

- A. The Contractor acknowledges that he has satisfied himself as to the nature and location of the Work, the general and local conditions, particularly those bearing upon transportation, disposal, handling and storage of materials, availability of labor, water, electric power, roads and uncertainties of weather, ground water table or similar physical conditions at the site, the conformation and condition of the ground, the character, quality and quantity of surface and subsurface materials to be encountered, the character of equipment and facilities needed prior to and during the prosecution of the Work and all other matters which can in any way affect the Work or the cost thereof under this Contract. Any failure by the Contractor to acquaint himself with all the available information concerning these conditions will not relieve him from responsibility for estimating properly the difficulty or cost of successfully performing the Work. Field measurements shall be taken at the site by the Contractor to verify all data and conditions affected by the Work.

1.05 WORK UNDER OTHER CONTRACTS

- A. Separate Contract: Owner may award a separate contract for performance of certain construction operations at Project site.
- B. Contractor shall cooperate fully with separate contractors so work on those contracts may be carried out smoothly, without interfering with or delaying Work under this Contract.

1.06 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Format: The Specifications are organized into Divisions and Sections using the 49-division format and CSI/CSC's "MasterFormat" numbering system.

1. Section Identification: The Specifications use section numbers and titles to cross-reference Contract Documents. Sections in the Project Manual are in numeric sequence.; however, the sequence is incomplete. Consult the Table of Contents at the beginning of the Project Manual.
- B. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied, but not stated, shall be inferred as the sense requires. Singular words shall be interpreted as plural, and plural words shall be interpreted as singular where applicable as the context of the Contract Documents indicates.
 2. Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by Contractor. Occasionally, the indicative or subjunctive mood may be used in the Section Text for clarity to describe responsibilities that must be fulfilled indirectly by Contractor or by others when so noted.
 - a. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.

PART 2 PRODUCTS (NOT USED)

PART 3 EXECUTION (NOT USED)

END OF SECTION 01 11 00

SECTION 01 23 00

ALTERNATES (ADDENDUM 01)

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Administrative and procedural requirements for alternates.

1.02 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Specification Sections, apply to this Section.

1.03 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed and/or in the products, materials, equipment, systems or installation methods described in the Contract Documents.

1.04 ALTERNATES

- A. Indicate on the Bid Form whether the alternate bid amount is to be added to or deducted from the base bid in the event the alternate bids are accepted.
- B. The Owner reserves the right to accept or reject any or all of the alternate bids.
- C. Each Bidder shall be responsible for determining to his own satisfaction and for his own purposes the limits and extent of the work affected by the alternate bids and to make full and proper allowance therefore in the submission of any alternate bid.
- D. Include the cost of each alternate bid as specified in the technical specification sections and/or as described on the drawings. Work required by the alternate bids shall be performed in accordance with applicable specifications and drawings of the trade section affected.
- E. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate selected alternates into the Work. No other adjustments are made to the Contract Sum.
- F. The Owner reserves the right to delay the acceptance of the alternate bids for a period not to exceed sixty (60) calendar days from the time of accepting the contract without a change in the dollar amount of the alternate bids.

PART 2 PRODUCTS (NOT USED)

PART 3 EXECUTION

3.01 SCHEDULE OF ALTERNATES

- A. Replace roof areas E, G1, G2, G3 and I per plans and specifications.

1. Roof Area E (Approximately 368 square feet): Remove and dispose of the existing roof system including flashings, sheet metal, and light weight concrete down to the existing steel deck; secure the steel deck to structural framing members; mechanically attach gypsum substrate, torch apply temporary roof membrane; provide tapered cellular lightweight insulating concrete; fully adhere thermoplastic single ply membrane along with flashings and accessories to provide a complete, watertight, 20-year warrantable roof assembly.
2. Roof Areas G1, G2, G3, and I (Approximately 13,007 square feet): Remove existing metal roof panels and insulation down to the existing steel deck; secure steel deck to structural framing members; mechanically attach 1.5" roof insulation; provide self-adhering metal roof panel underlayment; provide standing seam metal roof along with sheet metal flashings including soffit vents, ridge vents, gutters, downspouts, and accessories to provide a complete, weathertight, 20-year warrantable metal roof assembly.
3. Provide snow guard system along gutter edge of metal roof areas.
4. Replace Skylight domes on Area E to match existing.
5. Provide wall panels and associated sheet metal flashing around Area F.

END OF SECTION 01 23 00