HENDERSON COUNTY PUBLIC SCHOOLS ROOF REPLACEMENTS & HMS GYM VENTILATION

HENDERSON COUNTY PUBLIC SCHOOLS

CONTACTS

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LIST OF DRAWINGS		
T101	COVER SHEET	
ARCHITECTURAL		
A201 A202 A203 A204 A205 AM206	ETOWAH ELEMENTARY ROOF PLANS ROOF A - BRUCE DRYSDALE ELEMENTARY ROOF B - BRUCE DRYSDALE ELEMENTARY OFFICE ROOF PLAN- WEST HENDERSON HIGH ROOF PLAN- HENDERSONVILLE MIDDLE ROOF & MECHANICAL PLANS- HENDERSONVILLE MIDDLE	
A301 A302	DETAILS DETAILS	

2012 NORTH CAROLINA ENERGY CODE

1. PER NC HOUSE BILL 201: BUILDING RE-UTILIZATION FOR ECONOMIC DEVELOPMENT ACT: CONSTRUCTED BEFORE 2012, THESE BUILDINGS QUALIFY FOR AN ALTERNATE ENERGY CODE COMPLIANCE PATH ALLOWING THE USE OF THE 2009 NC ENERGY CONSERVATION CODE. R-VALUE MIN. SHALL BE R-15.

2. 502.2.1 EXCEPTION- R:VALUE OF TAPERED INSULATION SHALL BE 1" ABOVE MINIMUM THICKNESS

3. 101.4.3 NCDOI CODE INTERPRETATION 10/9/15: EXISTING EXPOSED INSULATION REMAINS- NO INSULATION UPGRADE REQUIRED.

ROOF R-VALUE REQUIREMENT:

EXISTING INSULATION EXPOSED DURING MEMBRANE REMOVAL SHALL REMAIN WITH NO INSULATION UPGRADE

NOTES:

1. APPROXIMATE ROOF SQUARE FOOTAGE:
BRUCE DRYSDALE ELEMENTARY- 22,200 SF
WEST HENDERSON HIGH- 9,460 SF
HENDERSONVILLE MIDDLE ROOF- 6,600 SF
ETOWAH ELEMENTARY- 7,300 SF

2. REPLACE= REMOVE EXISTING AND PROVIDE AS SHOWN AND SPECIFIED 3. CWFD= CEMENTITIOUS WOOD FIBER DECK

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Project Number: 18002
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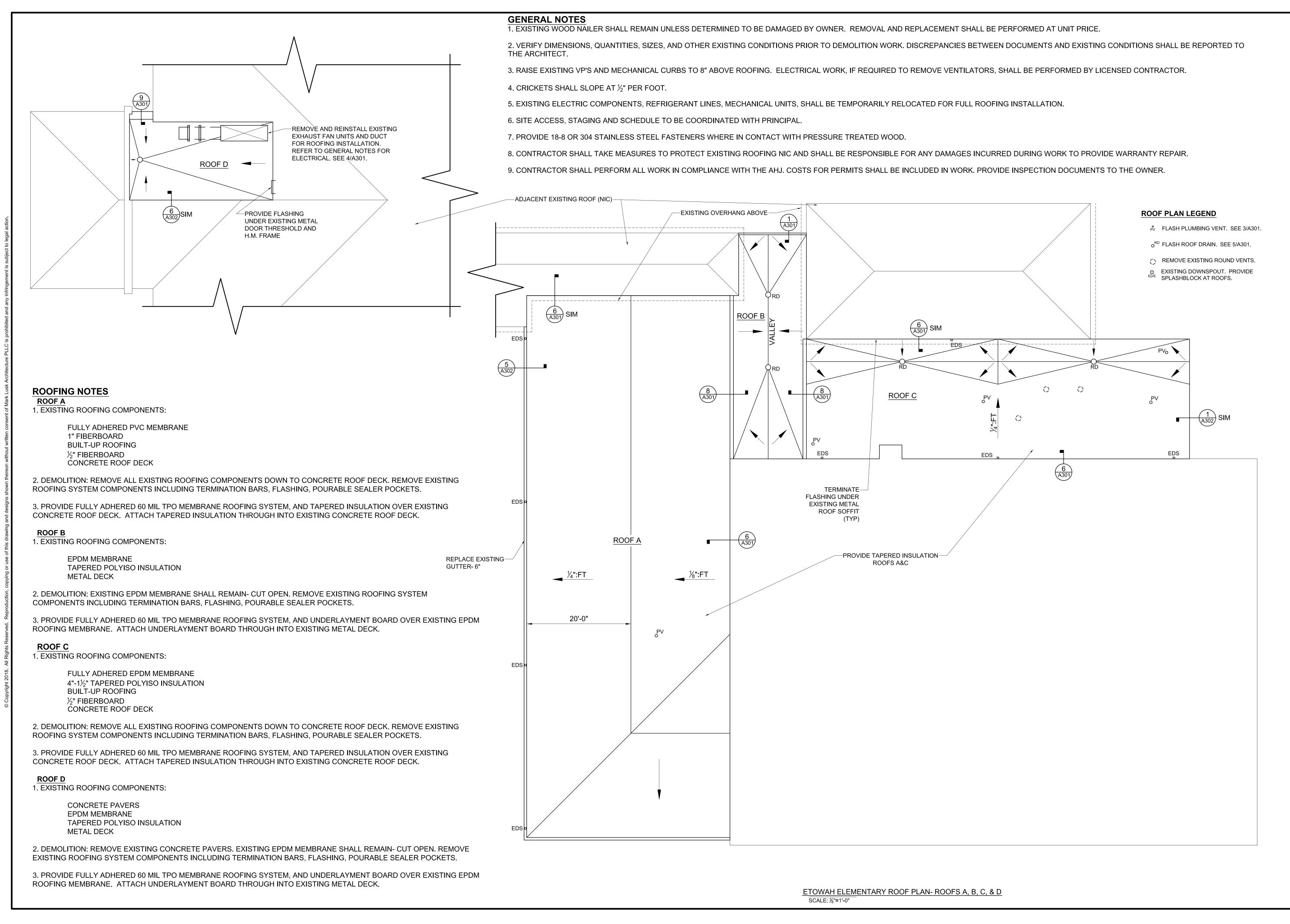
Drawn: <u>A. Rognas</u>

Date: <u>5/4/18</u>

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Cover Sheet

T101



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ARCHITECTURE, PLLO WAYN SEE S2786



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ETOWAH ELEMENTARY ROOF PLANS

GENERAL NOTES

1. EXISTING WOOD NAILER SHALL REMAIN UNLESS DETERMINED TO BE DAMAGED BY OWNER. REMOVAL AND REPLACEMENT SHALL BE PERFORMED AT UNIT PRICE.

2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.

3. RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.

4. CRICKETS SHALL SLOPE AT ½" PER FOOT.

5. EXISTING ELECTRIC COMPONENTS, REFRIGERANT LINES, MECHANICAL UNITS, SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.

6. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.

7. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.

8. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.

9. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH THE AHJ. COSTS FOR PERMITS SHALL BE INCLUDED IN WORK. PROVIDE INSPECTION DOCUMENTS TO THE OWNER.

INSULATION THICKNESS (TYP)--26" HIGH 14" WIDE 9 A301 +53/4" 29" HIGH-—38" HIGH 7 A301/SIM —FLASH EXISTING EJ (TYP) RAISE TO 8" ABOVE ROOFING EXTEND FLASHING OVER 12" WIDE PARAPET WALL REPLACE EXISTING TILE COPING WITH METAL COPING (TYP) OVERHANG-TYP RIDGE ROOF A-2 8 A301 6 A301 ROOF A-2 REPLACE-GUTTER -ADJACENT ROOF **SEE A203** ROOF A-1 OVERHANG (TYP) -REPLACE EXISTING GUTTER- 6"-

ROOFING NOTES

ROOF A-1 1. EXISTING ROOFING COMPONENTS:

> FULLY ADHERED PVC MEMBRANE 3/4" FIBERBOARD **BUILT-UP ROOFING** CWFD- 3" THICK

2. DEMOLITION: REMOVE EXISTING PVC MEMBRANE AND $\frac{3}{4}$ " FIBERBOARD. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING, POURABLE SEALER POCKETS. REMOVE EXISTING GUTTERS. EXISTING B.U. ROOFING SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND TAPERED INSULATION OVER EXISTING BUILT-UP ROOFING. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.

ROOF A-2

1. EXISTING ROOFING COMPONENTS:

FULLY ADHERED PVC MEMBRANE 3/4" FIBERBOARD BUILT-UP ROOFING 1/4" FIBERBOARD CONCRETE ROOF DECK

2. DEMOLITION: REMOVE ALL EXISTING ROOFING COMPONENTS DOWN TO CONCRETE ROOF DECK. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING, POURABLE SEALER POCKETS. REMOVE EXISTING GUTTERS.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND TAPERED INSULATION OVER EXISTING CONCRETE ROOF DECK. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CONCRETE ROOF DECK.

ROOF PLAN LEGEND

FLASH PLUMBING VENT. SEE 3/A301.

EXISTING DOWNSPOUT. EXTEND AND REATTACH TO GUTTER.

PROVIDE 4x4 DOWNSPOUT W/ SPLASHBLOCK.

REPLACE EXISTING GUTTER PROVIDE METAL GUTTER. SFF 7/4301

☐A PROVIDE TURBINE VENTILATOR WITH CURBS EQUAL TO AURA VENT. CURB SHALL BE 8" ABOVE ROOFING.

REPLACE EXISTING GUTTER- 6"



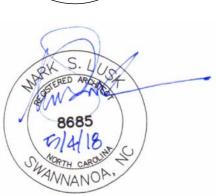
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HENDERSON COUNTY PUBLIC SCHOOLS ROOF REPLACEMENTS & HMS GYM **VENTILATION**

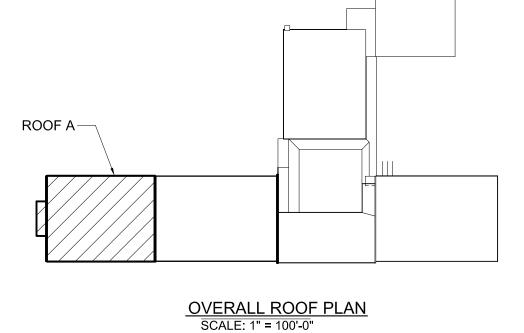
> Project Number: 18002 Checked:

> > Drawn: A. Rognas Date: 5/4/18 Revisions:

ROOF A- BRUCE **DRYSDALE ELEMENTARY**

A202

ROOF A - BRUCE DRYSDALE ELEMENTARY SCALE: 1/8"=1'-0"



GENERAL NOTES

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2. VERIFY DIMENSIONS, QUANTITIES, SIZES, AND OTHER EXISTING CONDITIONS PRIOR TO DEMOLITION WORK.
DISCREPANCIES BETWEEN DOCUMENTS AND EXISTING CONDITIONS SHALL BE REPORTED TO THE ARCHITECT.

3. RAISE EXISTING VP'S AND MECHANICAL CURBS TO 8" ABOVE ROOFING. ELECTRICAL WORK, IF REQUIRED TO REMOVE VENTILATORS, SHALL BE PERFORMED BY LICENSED CONTRACTOR.

4. CRICKETS SHALL SLOPE AT $\frac{1}{2}$ " PER FOOT.

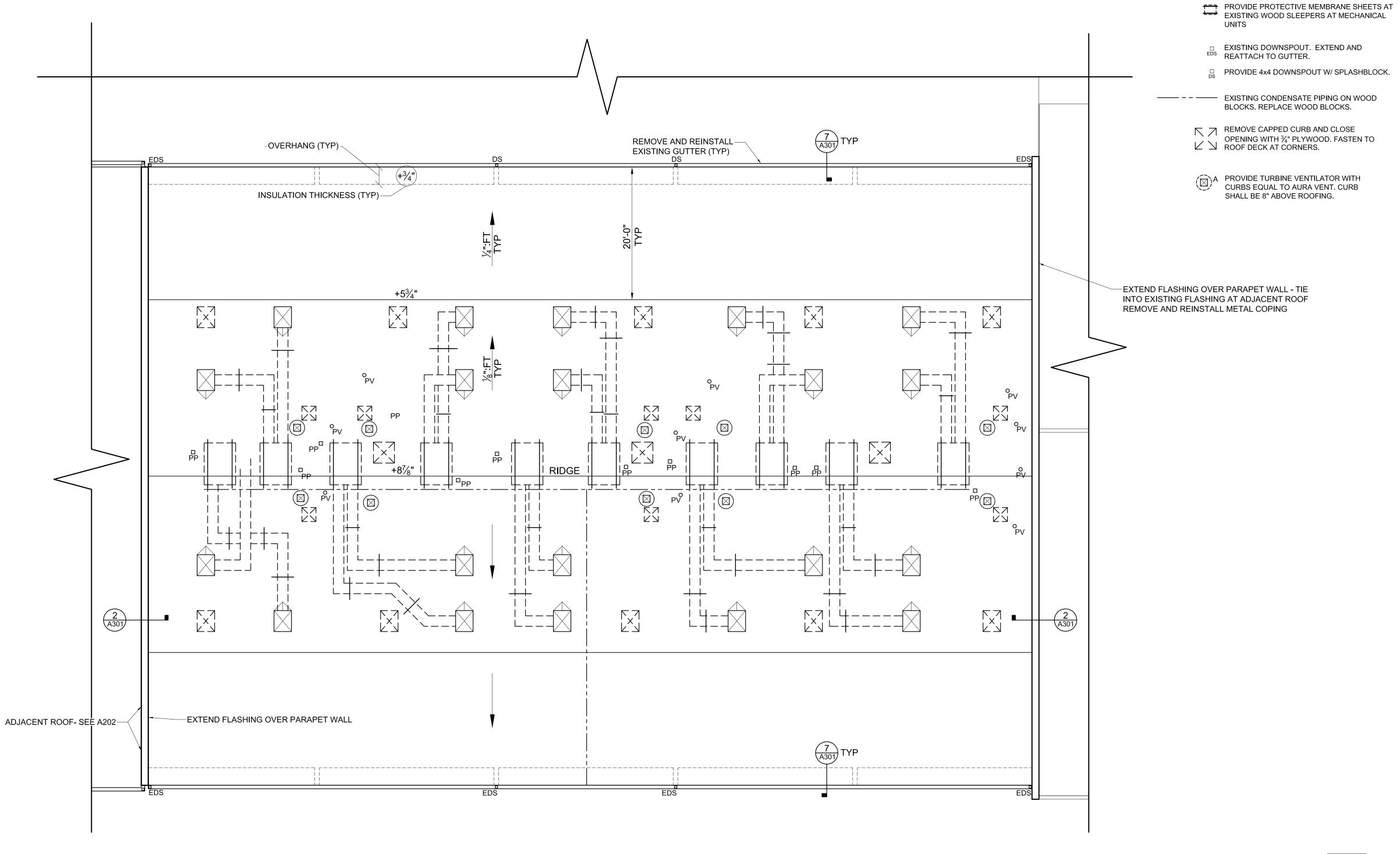
5. EXISTING ELECTRIC COMPONENTS, REFRIGERANT LINES, MECHANICAL UNITS, SHALL BE TEMPORARILY RELOCATED FOR FULL ROOFING INSTALLATION.

6. SITE ACCESS, STAGING AND SCHEDULE TO BE COORDINATED WITH PRINCIPAL.

7. PROVIDE 18-8 OR 304 STAINLESS STEEL FASTENERS WHERE IN CONTACT WITH PRESSURE TREATED WOOD.

8. CONTRACTOR SHALL TAKE MEASURES TO PROTECT EXISTING ROOFING NIC AND SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED DURING WORK TO PROVIDE WARRANTY REPAIR.

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ROOFING NOTES

ROOF B

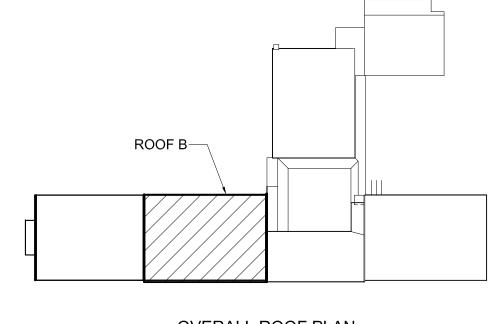
1. EXISTING ROOFING COMPONENTS:

FULLY ADHERED PVC MEMBRANE 3/4" FIBERBOARD BUILT-UP ROOFING CWFD- 3" THICK

2. DEMOLITION: REMOVE EXISTING PVC MEMBRANE AND $\frac{3}{4}$ " FIBERBOARD. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING, POURABLE SEALER POCKETS. REMOVE EXISTING GUTTERS. EXISTING B.U. ROOFING SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND TAPERED INSULATION OVER EXISTING BUILT-UP ROOFING. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.

ROOF B - BRUCE DRYSDALE ELEMENTARY
SCALE: %"=1'-0"



ROOF PLAN LEGEND

DUCT OPENING ON CURBS, FLASH CURBS,

PROVIDE CRICKET. SEE 4/A301

PV FLASH PLUMBING VENT. SEE 3/A301

REPLACE POURABLE SEALER POCKET AT

OVERALL ROOF PLAN
SCALE: 1" = 100'-0"

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ROOF B- BRUCE DRYSDALE ELEMENTARY

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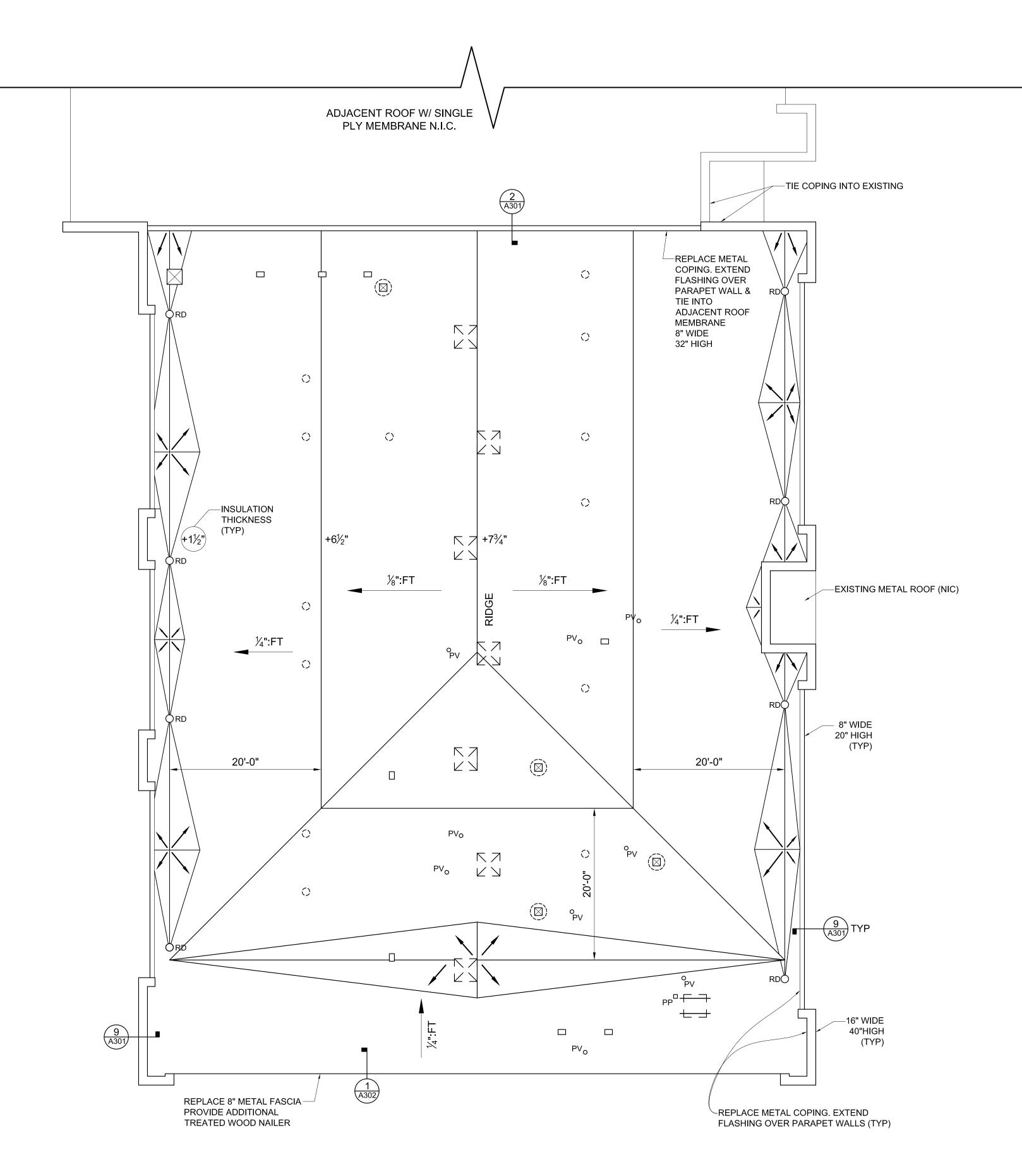
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ROOF PLAN LEGEND

- ° FLASH PLUMBING VENT. SEE 3/A301.
- oRD FLASH ROOF DRAIN. (SLOPE SURROUNDING INSULATION.) SEE 5/A301
- REPLACE POURABLE SEALER POCKET AT CONDUITS
- PROVIDE PROTECTIVE MEMBRANE SHEETS AT EXISTING WOOD SLEEPERS AT MECHANICAL
- REMOVE EXISTING CAPPED CURB AND CLOSE OPENING WITH ¾" PLYWOOD. FASTEN TO ROOF DECK AT CORNERS.
- PROVIDE TURBINE VENTILATOR WITH CURBS EQUAL TO AURA VENT. CURB SHALL BE 8" ABOVE ROOFING.
- REMOVE EXISTING ROUND VENTS
- MECHANICAL VENTILATOR ON CURBS.

☐ FLASH EXISTING METAL DUCT HOODS

MECHANICAL VENTILATOR ON (FLASH CURBS. SEE 4/A301. ARCHITECTURAL COMPANY

STATE CARROLLE

SALE

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Revisions:

OFFICE ROOF PLAN- WEST HENDERSON HIGH

A204

ROOFING NOTES

1. EXISTING ROOFING COMPONENTS:

FULLY ADHERED PVC MEMBRANE

3/4" FIBERBOARD
BUILT-UP ROOFING

TAPERED PERLITE INSULATION 1½"-7"

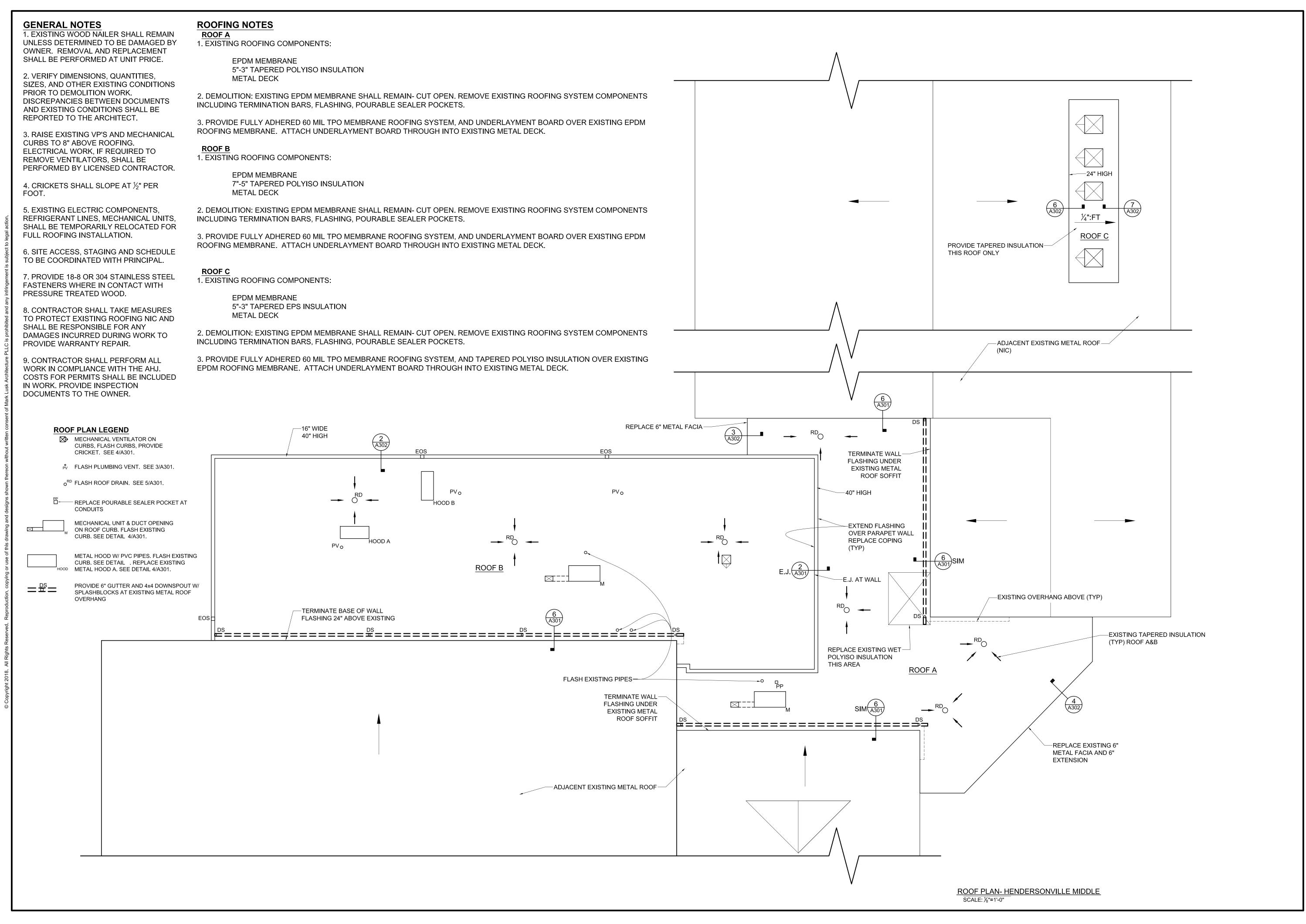
VAPOR BARRIER

CWFD

2. DEMOLITION: REMOVE ALL EXISTING ROOFING COMPONENTS DOWN TO VAPOR BARRIER. REMOVE EXISTING ROOFING SYSTEM COMPONENTS INCLUDING TERMINATION BARS, FLASHING, POURABLE SEALER POCKETS. THE EXISTING VAPOR BARRIER SHALL REMAIN.

3. PROVIDE FULLY ADHERED 60 MIL TPO MEMBRANE ROOFING SYSTEM, AND TAPERED INSULATION OVER EXISTING VAPOR BARRIER. ATTACH TAPERED INSULATION THROUGH INTO EXISTING CWFD.

OFFICE ROOF PLAN- WEST HENDERSON HIGH SCALE: 1/8"=1'-0"



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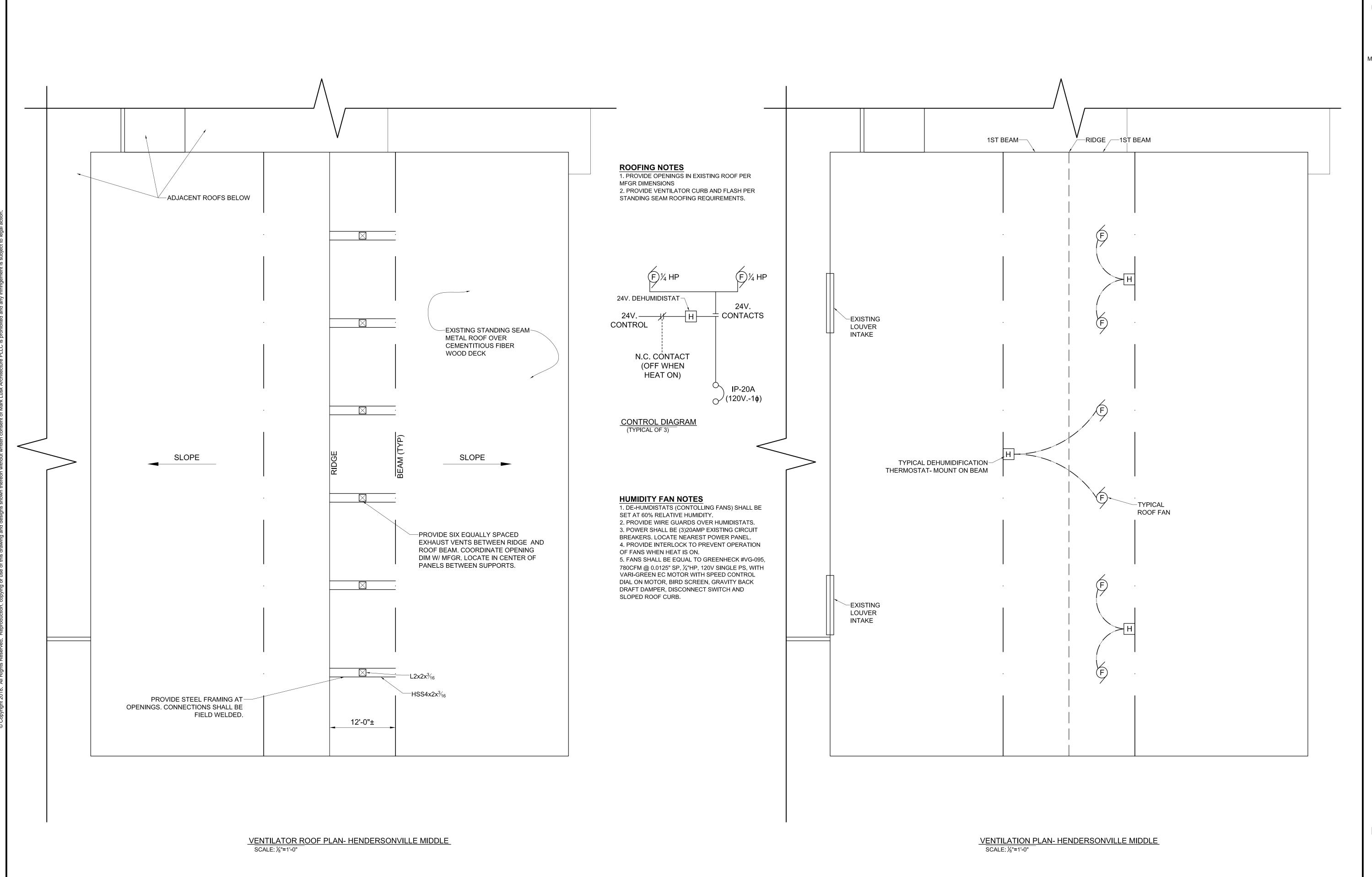
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ROOF PLAN-HENDERSONVILLE MIDDLE

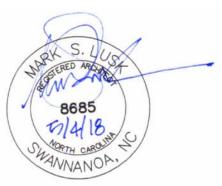


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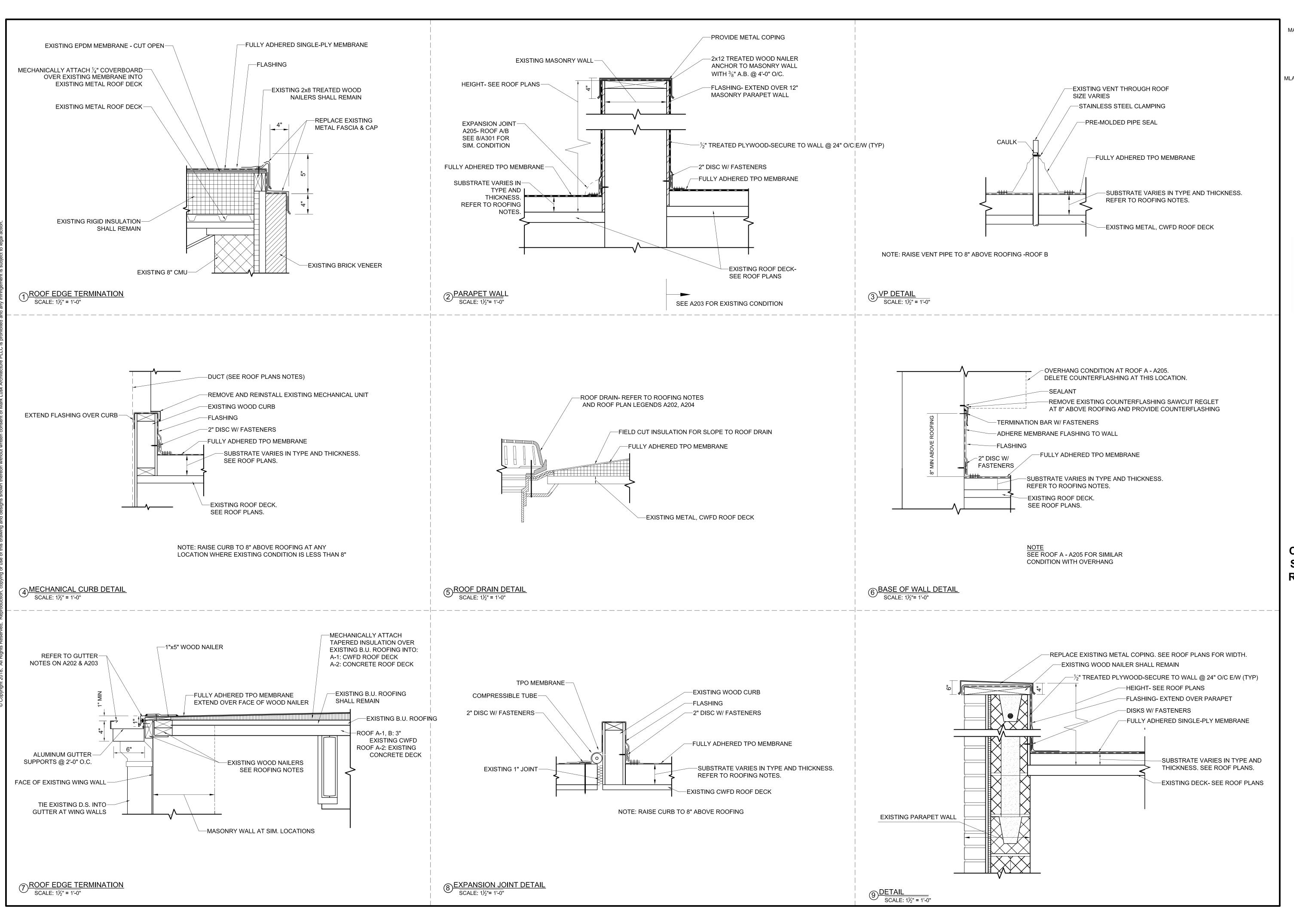
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Date: <u>5/4/18</u>

Revisions:

ROOF &
MECHANICAL
PLANSHENDERSONVILLE
MIDDLE

AM206



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STATESTURE, SALLO



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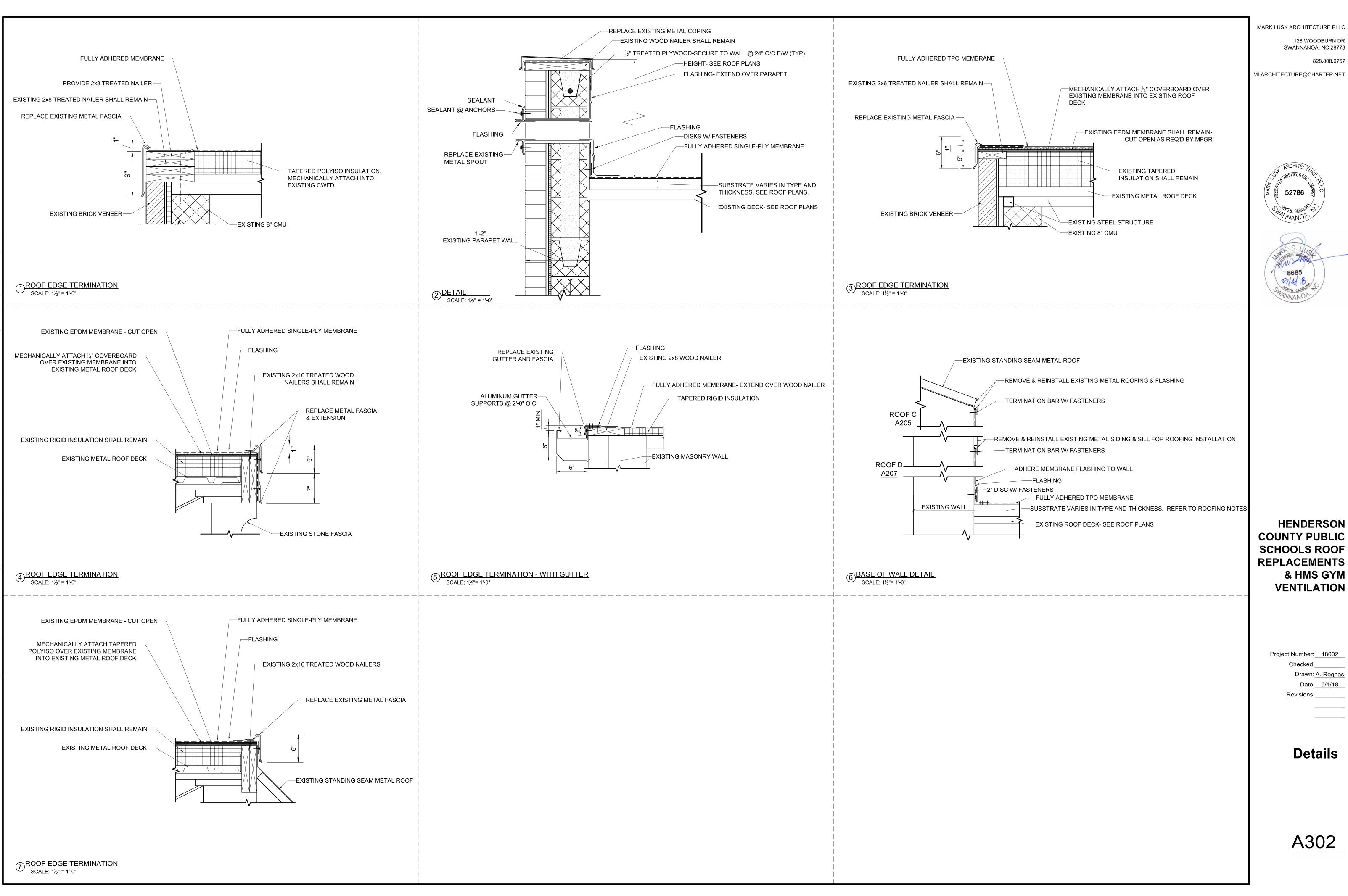
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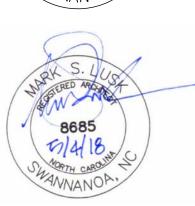
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