

Staff Report: TRC 3/19/13  
Dana Retail

**REQUEST FOR COMMITTEE ACTION**

**HENDERSON COUNTY**

**TECHNICAL REVIEW COMMITTEE**

**MEETING: March 19, 2013**

**SUBJECT: Major Site Plan Review Broadway Group/Dana Retail**

**PRESENTER: Toby Linville**

**ATTACHMENTS: Staff Report**

**SUMMARY OF REQUEST: Applicant request changing use from residential to retail sales.**

**Suggested Motion: I move that the TRC approve the major site plan for Broadway Group Retail Sales**



## Henderson County, North Carolina Code Enforcement Services

### 1. Committee Request

- 1.1. **Applicant:** The Broadway Group, LLC
- 1.2. **Request:** Major Site Plan Approval
- 1.3. **PIN:** 9599-22-5035
- 1.4. **Size:** 3.60 acres +/-
- 1.5. **Location:** The subject area is located off Dana Road near intersection with Upward Rd.
- 1.6. **Supplemental Requirements:**

#### SR 7.14. Retail Sales and Services Less than or Equal to 50,000 Square Feet (*Gross Floor Area*)

- (1) Site Plan. Major *Site Plan* required in accordance with §200A-331 (Major Site Plan Review).
- (2) Lighting. *Adequate lighting* shall be placed in areas used for vehicular/pedestrian access including, but not limited to: stairs, sidewalks, crosswalks, intersections, or changes in grade. *Lighting mitigation* required.

Map A: Aerial Photo/Pictometry





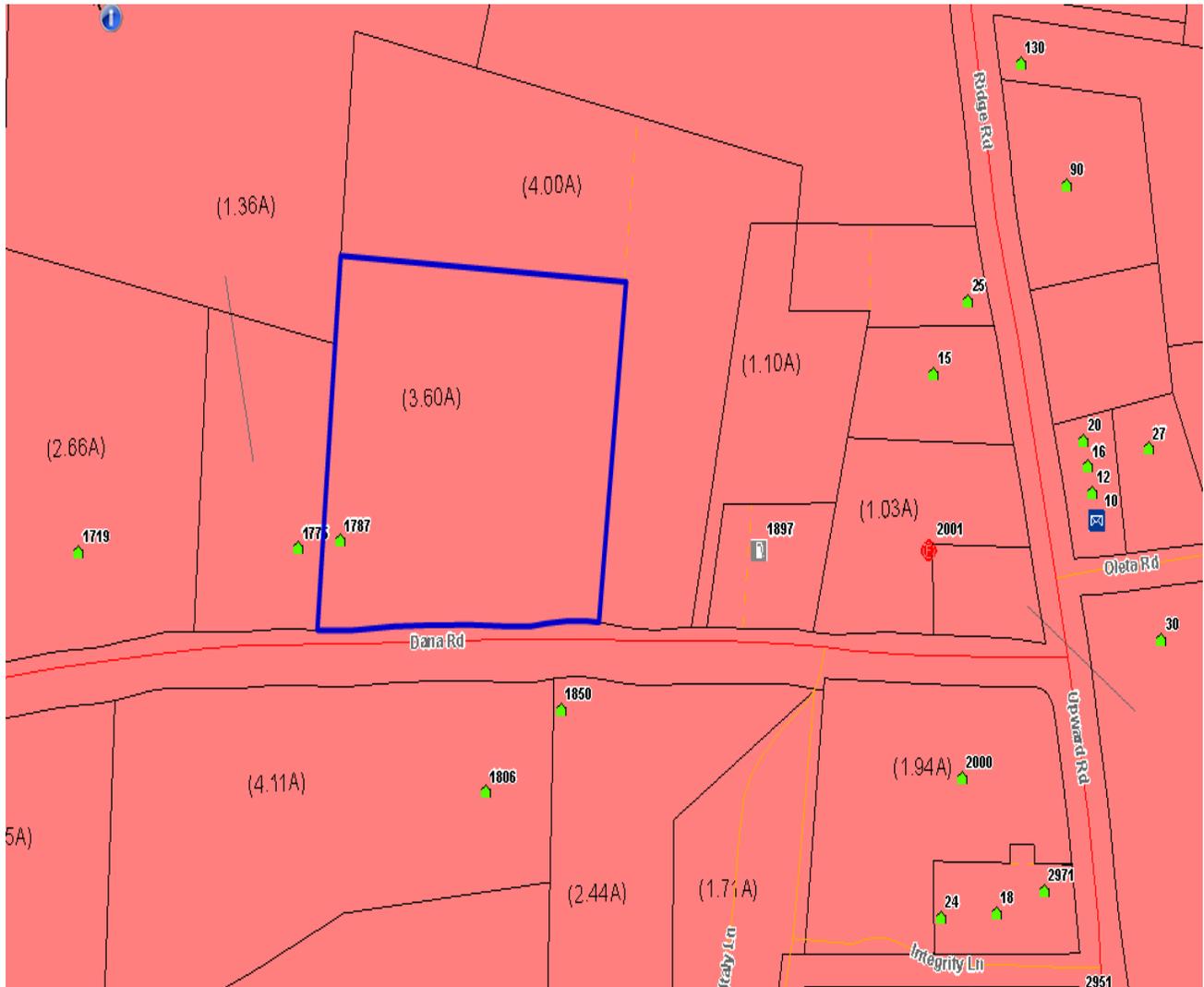
**2. Current Conditions**

**2.1 Current Use:** This parcel is currently vacant.

**2.2 Adjacent Area Uses:** The surrounding properties consist of mixed residential and commercial uses.

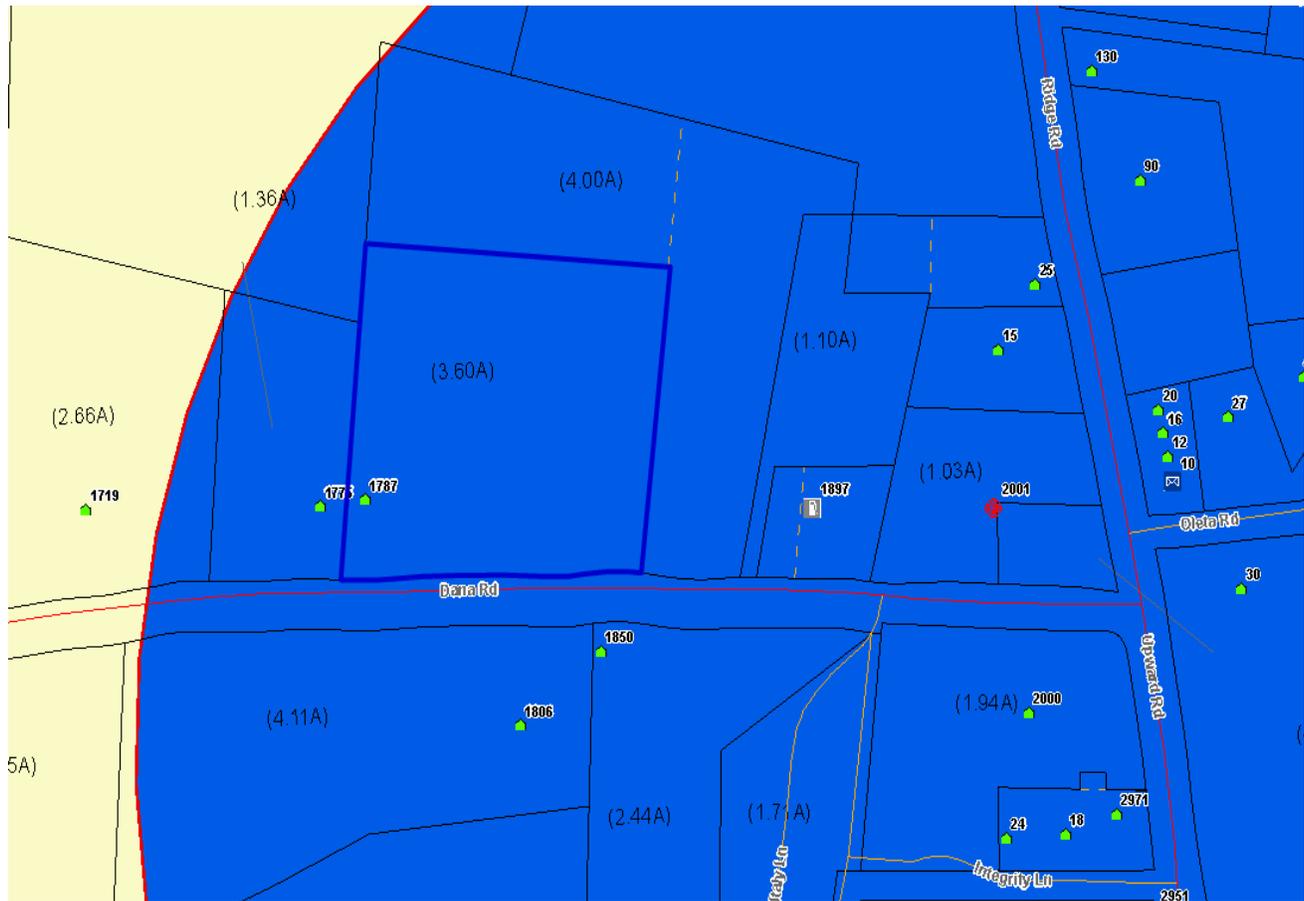
**2.3 Zoning:** The current and surrounding property to the north, south, east, and west is Local Commercial.

### Map B: Current Zoning



3. **Floodplain /Watershed Protection** The property is not located in a Special Flood Hazard Area. The property is not in a Water Supply Watershed district.
4. **Water and Sewer** Private well and septic system will serve this property.  
**Public Water:** Public water is not available for this property.  
**Public Sewer:** Public sewer is not available for this property.

**Map C: CCP Future Land Use Map**



**5. Staff Comments**

**The 2020 CCP:** The CCP Future Land Use Map places the Subject Area in the Community Service Center Area. The text and map of the 2020 CCP suggest that the Subject Area would be more suitable for the following:

1. *Community Service Centers* are intended to be intensive, efficient, defined concentrations of mixed services that meet the needs of the surrounding community and defined service areas. *Community Service Centers* are appropriate for a mixture of commercial uses scaled to the service area in question; residential uses of varying densities depending upon available services; and *Community Facilities* such as schools, parks, community centers, and other similar *Community Facilities*. The mixture and intensity of land uses contained within *Community Service Centers* are intended to be appropriate within the context of the surrounding community and intended service area. *Community Service Centers* should also be properly controlled by appropriate aesthetic standards, access management standards, and other appropriate development control measures.

**6. Staff Recommendations**

Staff's Position at this time, under the guidelines of current plans, policies and studies, is to approve the Major Site Plan because it is consistent with the current surrounding land uses and future land use recommendations.

**7. Photographs**

**Looking North from Dana Road**



**Looking Northwest from Dana Road**



**Looking East**

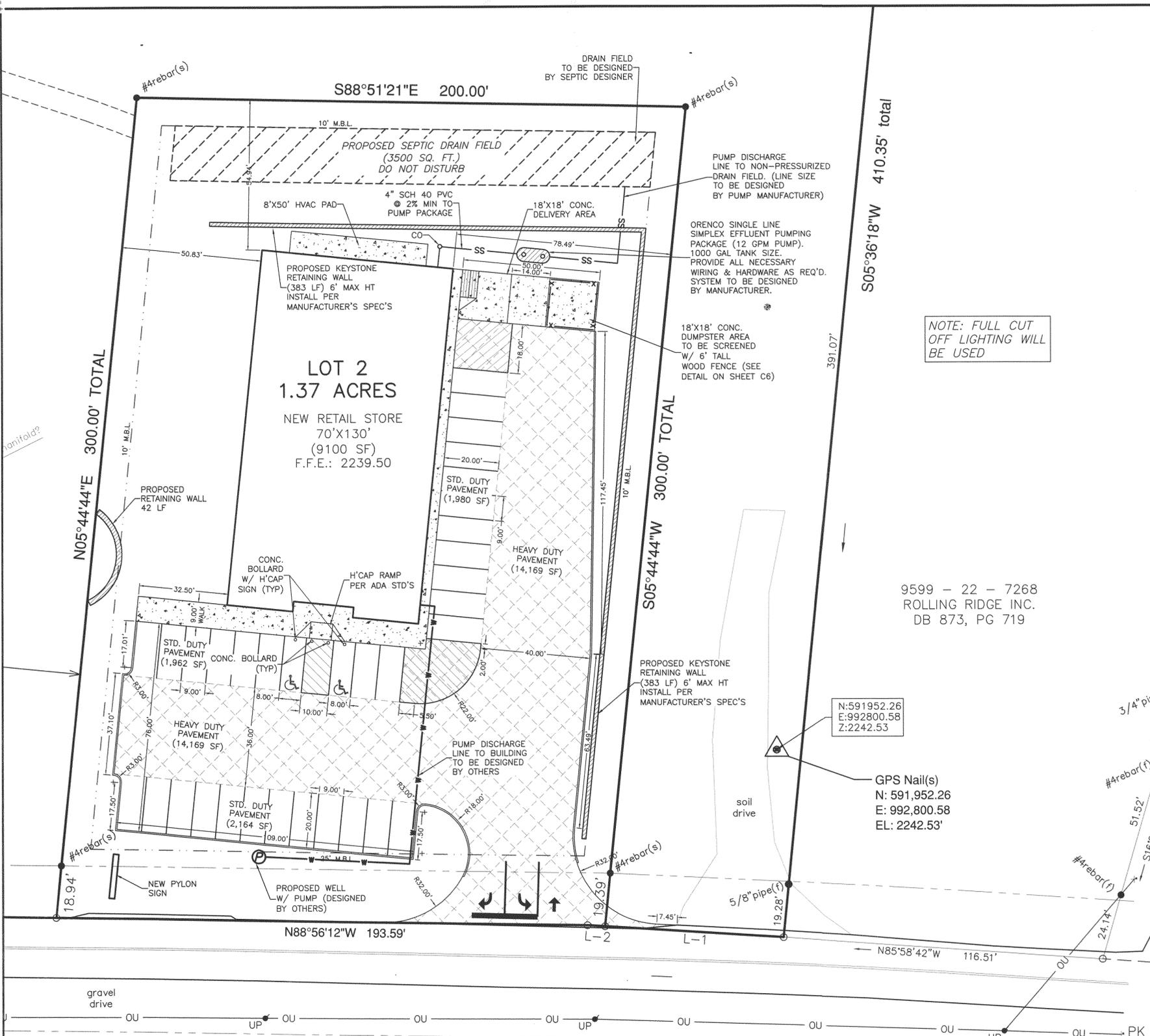


**Looking Northeast**



**Looking South**





**LINE DATA**  
 L-1: N 86°25'38" W, 65.20'  
 L-2: N 86°25'38" W, 6.41'

**LEGEND**

- #4rebar(s) DENOTES SET IRON AS DESCRIBED
- 3/4" iron(s) DENOTES EXISTING MONUMENTATION
- DENOTES COMPUTED POINT
- RIGHT OF WAY
- PROPERTY LINE
- ADJOINING PROPERTY LINES
- OVERHEAD UTILITY
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE

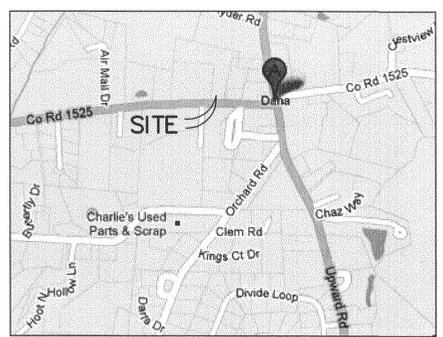
- NOTES:**
- SUBJECT PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AREA PER FEMA PANEL NUMBER 37009599 J, EFFECTIVE DATE: OCTOBER 2, 2008.
  - SUBJECT PROPERTY IS NOT LOCATED WITHIN THE WS-IV PROTECTED WATERSEHD AREA.
  - SUBJECT AND ADJOINING PROPERTY ZONED: HENDERSON COUNTY "LC" SETBACKS: FRONT = 25', SIDE AND REAR = 10'
  - PROPERTY IS SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY, COVENANTS, RESTRICTIONS, CONDITIONS AND RESERVATIONS OF RECORD AFFECTING SUBJECT PROPERTY.

REVISED: FEB. 25, 2013  
 BOUNDARY AND TOPOGRAPHIC SURVEY FOR  
**The Broadway Group, LLC**  
 BEING A PART OF THE PROPERTY OF ROLLING RIDGE INC., RECORDED IN DEED BOOK 835, PAGE 453, BLUE RIDGE TSP., HENDERSON CO., NC

PLAT PREPARED BY:  
 KING ENGINEERING OF CONCORD, INC. C-0953  
 401 POTEAT DRIVE  
 MORGANTON, NORTH CAROLINA 28655  
 PHONE (828) 403 - 5586

JANUARY 31, 2013  
 JOB NUMBER: 13002

- PAVEMENT CONSTRUCTION GENERAL NOTES**
- NCDOT 2006, SHALL MEAN NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2006 EDITION.
  - CRUSHED AGGREGATE BASE COURSE PLANT MIXED SHALL BE PLACED IN ACCORDANCE WITH SECTION 520, NCDOT 2006. ALL MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 1010, 100% COMPACTION REQ'D.
  - PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH SECTION 700, NCDOT 2006.
  - BITUMINOUS CONCRETE BINDER LAYER SHALL BE PLACED IN ACCORDANCE WITH SECTION 610, 1-19.00, NCDOT 2006.
  - BITUMINOUS CONCRETE WEARING SURFACE LAYER SHALL BE PLACED IN ACCORDANCE WITH SECTION 610, 5-9.50, NCDOT 2006.
  - THE SITE SHALL BE CLEARED AND ALL UNSUITABLE MATERIAL REMOVED PRIOR TO PLACING AND COMPACTING EMBANKMENTS.
  - ALL SUBGRADES SHALL BE CLEARED AND GRUBBED, SCARIFIED TO A DEPTH OF 8", AND THEN RECOMPACTED TO 100% OF THE MAXIMUM DRY DENSITY, PLUS OR MINUS 2% OF OPTIMUM MOISTURE (ASTM-D6798).
  - IN ROCK EXCAVATION A MINIMUM OF 1 FOOT OF SOIL SHALL BE PLACED OVER ROCK PRIOR TO PLACEMENT OF BASE MATERIAL.
  - CONCRETE WHEEL STOPS ARE TO BE PRECAST 2500 PSI MIN. COMPRESSIVE STRENGTH CONCRETE, 6"x9"x24" L. WHEEL STOPS ARE TO BE SECURELY ATTACHED TO PAVT. WITH A MINIMUM OF 2-5/8"x24" GALV. STEEL DOWELS EMBEDDED IN WHEEL STOPS AT 1/3 POINTS, AND FIRMLY BONDED TO WHEEL STOP AND PAVT.
  - PAVEMENT MARKING PAINT SHALL BE ALKYD-RESIN TYPE, READY-MIXED, COMPLYING WITH FS TT-P-115, TYPE I, AASHTO M-248, TYPE N, OR LATEX WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952. APPLY PAVT. MARKING PAINT WITH MECHANICAL EQUIPMENT, PER THE MFR'S RECOMMENDATIONS TO PRODUCE PAVT. MARKINGS OF DIMENSIONS INDICATED ON THE PLANS WITH UNIFORM, STRAIGHT EDGES, AND A MINIMUM WET FILM THICKNESS OF 15 mils (4mm).



9599 - 22 - 7268  
 ROLLING RIDGE INC.  
 DB 873, PG 719

N:591952.26  
 E:992800.58  
 Z:2242.53

GPS Nail(s)  
 N: 591,952.26  
 E: 992,800.58  
 EL: 2242.53'

CONSTRUCTION SCHEDULE						
ACTIVITY	MONTH 1	MONTH 2	MONTH 3	MONTH 4	MONTH 5	MONTH 6
START CONSTRUCTION						
INSTALLATION OF SILT FENCE, CONSTRUCTION EXITS, & SEDIMENT TRAP, & OTHER EROSION CONTROL DEVICES						
CLEARING, GRUBBING AND DEMOLITION						
GRADING						
BUILDING CONSTRUCTION						
STORMWATER SYSTEM INSTALLATION						
INSTALLATION OF UTILITIES						
TEMPORARY GRASSING (PER STABILIZATION TABLE)						
PAVING/BASE						
AFTER DENSE GRADED BASE HAS BEEN INSTALLED FOR ALL VEHICULAR PARKING AREAS EAST OF TEMPORARY SEDIMENT TRAP, TRAP IS TO BE CLEANED & RE-SHARDED.						
PERMANENT VEGETATION						
MAINTENANCE OF EROSION CONTROL MEASURES						
REMOVE TEMPORARY MEASURES						
END CONSTRUCTION						

**NOTES:**

- IF PERMANENT VEGETATION FALLS IN A PERIOD OF TIME WHEN PERMANENT GRASSING IS NOT ALLOWED, THE SITE SHALL BE PERMANENTLY GRASSED AT THE BEGINNING OF THE NEXT GRASSING SEASON.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT GRASS HAS BEEN ESTABLISHED.

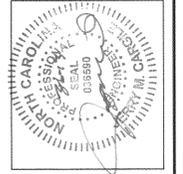
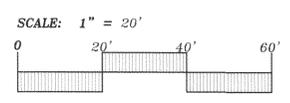
**SITE AREA DETAILS**  
 STANDARD ASPHALT/CONC. PVMT = 6,106 SQ. FT.  
 HEAVY DUTY ASPHALT/CONC. PVMT = 14,169 SQ. FT.  
 SIDEWALK NEXT TO BLDG = 1,490 SQ. FT.  
 HVAC PAD = 400 SQ. FT.  
 DUMPSTER/DELIVERY AREA CONCRETE = 900 SQ. FT.  
 TOTAL DISTURBED AREA = 51,836 SQ. FT.

**NCDENR SITE CONSTRUCTION NARRATIVE:**  
 THIS SET OF PLANS IS FOR THE CONSTRUCTION OF A NEW 9100 SQ. FT. RETAIL STORE WITH 33 NEW PARKING SPACES. THE STORMWATER RUNOFF FROM THIS SITE WILL BE ROUTED THROUGH A WATER QUALITY UNIT AND FINALLY THROUGH A DRY DETENTION BASIN. THIS SITE HAS A LARGE AMOUNT OF OFFSITE RUNOFF THAT WILL BE CARRIED THROUGH THE PROPOSED SITE AND DISCHARGE TO AN EXISTING 18" C.M.P. THAT RUNS PARALLEL TO DANA ROAD.

**DEVELOPMENT REGULATIONS:**  
 ZONED: HENDERSON COUNTY "LC"  
 FRONT SETBACK: 25 FEET  
 SIDE SETBACK: 10 FEET  
 REAR SETBACK: 10 FEET  
 PARKING REQ'D: = 9100/400 = 22.75  
 PARKING PROVIDED: 33  
 PAVEMENT & CONCRETE = 23,737 SF  
 PROPOSED BUILDING = 9,100 SF  
 TOTAL IMPERVIOUS COVER = 32,757 SF



**SITE DEVELOPMENT PLAN**  
 SHEET 1 OF 1



**NEW RETAIL STORE**  
 PREPARED FOR THE BROADWAY GROUP LLC  
 DANA ROAD (S.R. 1525)  
 DANA, HENDERSON COUNTY, NC

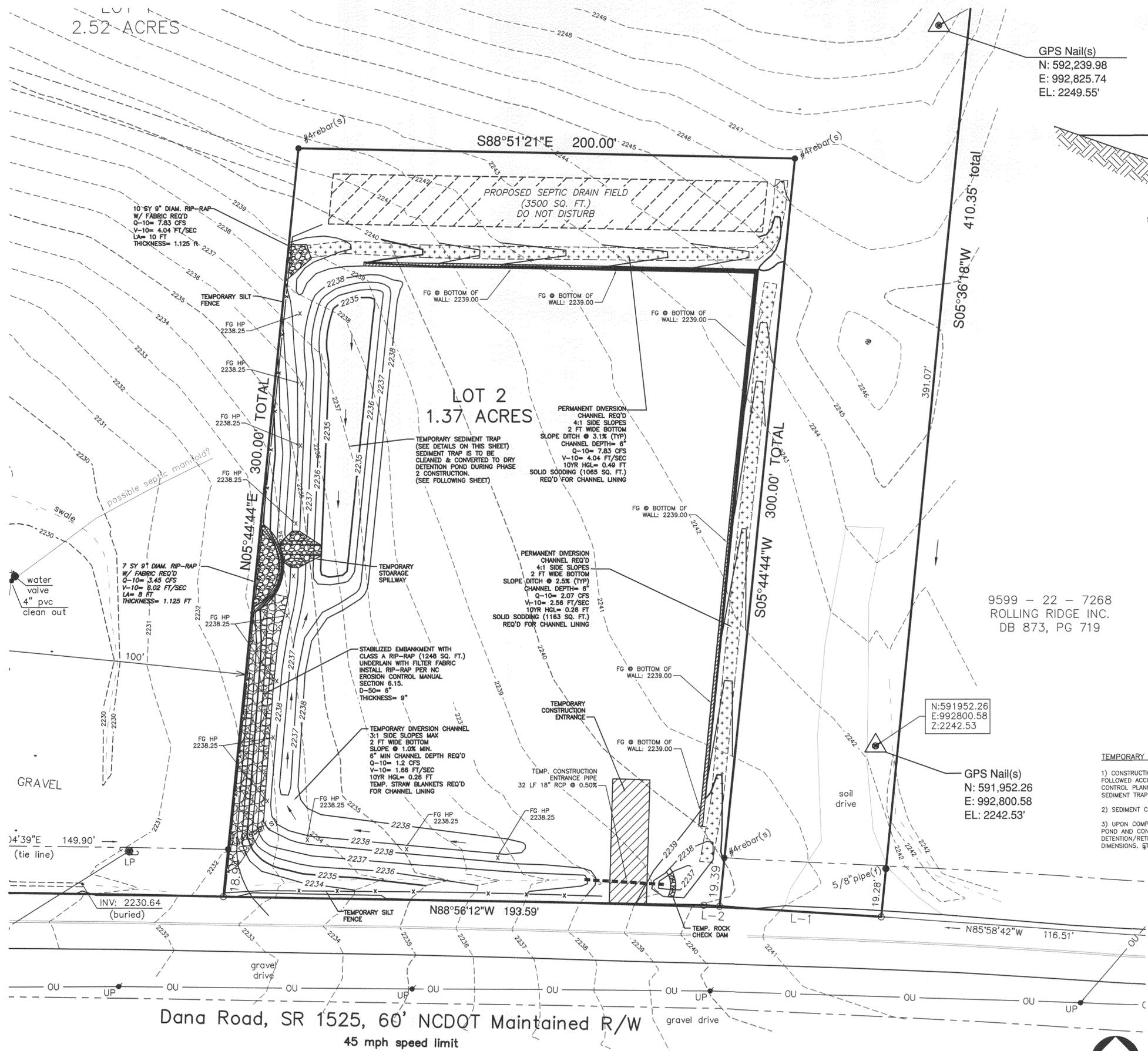
**REVISIONS:**  
 3/6/13 REV PER TECH REVIEW

**DRAWN BY:** B. BAILEY  
**FIELD DATE:** 03-04-2013  
**OFFICE DATE:** 03-04-2013  
**CHECKED BY:** K. MILLS  
**FILE NAME:** DANA NC BASE

JOB NO.: P13-020  
 SCALE: AS NOTED  
 SHT. NO. **C1** OF **6**

2.52 ACRES

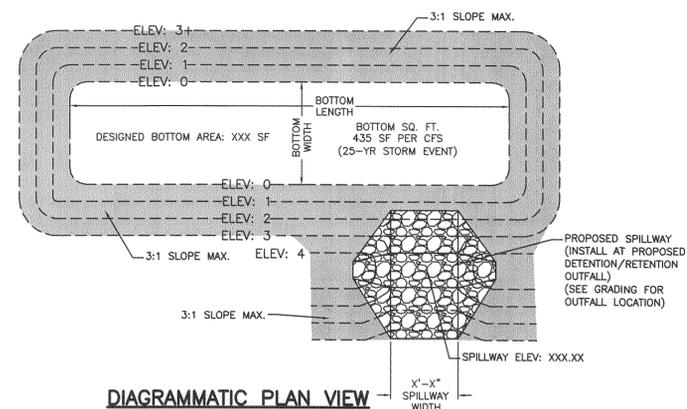
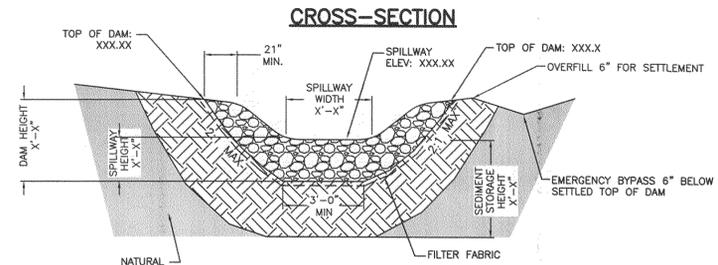
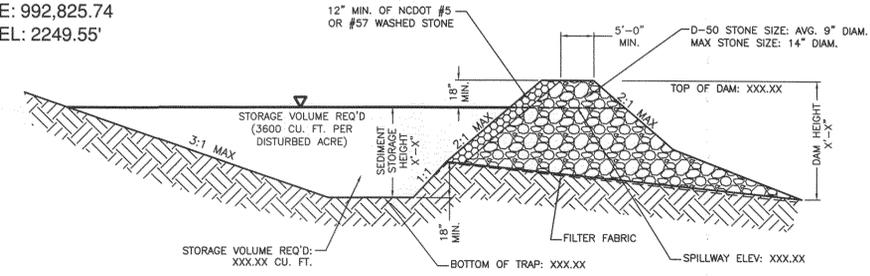
LOT 2  
1.37 ACRES



GPS Nail(s)  
N: 592,239.98  
E: 992,825.74  
EL: 2249.55'

9599 - 22 - 7268  
ROLLING RIDGE INC.  
DB 873, PG 719

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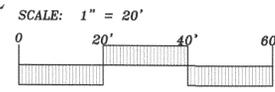


- TEMPORARY SEDIMENT TRAP NOTES:**
- CONSTRUCTION SPECIFICATIONS AND MAINTENANCE ARE TO BE FOLLOWED ACCORDING TO NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, SECTION 6.60 "TEMPORARY SEDIMENT TRAP."
  - SEDIMENT CLEANOUT LEVEL IS TO BE 1/2 OF DAM DESIGN HEIGHT.
  - UPON COMPLETION OF GRADING ACTIVITIES, REMOVE SEDIMENT FROM POND AND CONSTRUCT PROPOSED FINAL STORMWATER DETENTION/RETENTION BASIN ACCORDING TO THE ELEVATIONS, SHAPE, DIMENSIONS, ETC. INDICATED ON THE APPROVED CONSTRUCTION PLANS.

TEMPORARY SEDIMENT TRAP SPECIFICATIONS	
TOP OF DAM (ELEV)	2238.25
TEMPORARY DAM HEIGHT (FT)	3.25
SPILLWAY WIDTH (FT)	4.00
SPILLWAY ELEVATION	2236.50
BOTTOM OF TRAP ELEVATION	2235.00
SEDIMENT STORAGE HEIGHT	1.50
BASEIN DRAINAGE AREA (SF)	41646.00
STORAGE VOLUME REQ'D (CU. FT.)	3441.82
STORAGE VOLUME PROVIDED (CU. FT.)	4608.00
25-YR STORM EVENT INFLOW (CFS)	2.30
BOTTOM WIDTH (FT)	VARIES
BOTTOM LENGTH (FT)	125.00
REQ'D BOTTOM AREA (SF)	1000.50
DESIGNED BOTTOM AREA (SF)	1545.00

**1** TEMPORARY SEDIMENT TRAP  
NOT TO SCALE

**GRADING PLAN & EROSION CONTROL  
(INITIAL PHASE)**



**NEW RETAIL STORE**  
PREPARED FOR THE BROADWAY GROUP LLC  
DANA ROAD (S.R. 1525)  
DANA, HENDERSON COUNTY, NC

REVISIONS:

NO.	DATE	DESCRIPTION

DRAWN BY: B. BAILEY  
FIELD DATE: 03-04-2013  
OFFICE DATE: 03-04-2013  
CHECKED BY: K. MILLS  
FILE NAME: DANA NC BASE

JOB NO.: P13-020  
SCALE: AS NOTED  
SHT. NO. **C2** OF **6**

Dana Road, SR 1525, 60' NCDOT Maintained R/W  
45 mph speed limit

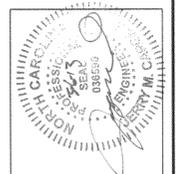


SHEET 1 OF 1

2.52 ACRES

GPS Nail(s)  
N: 592,239.98  
E: 992,825.74  
EL: 2249.55'

NPDES GENERAL STORMWATER PERMIT GROUND STABILIZATION CRITERIA		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10 FEET OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)



### EROSION CONTROL LEGEND

- TEMPORARY ROCK DOUGHNUT INLET PROTECTION. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.54.
- TEMPORARY HARDWARE CLOTH & GRAVEL INLET PROTECTION. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.51.
- PERMANENT RIP-RAP OUTLET PROTECTION. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.41.
- TEMPORARY ROLLED EROSION CONTROL BLANKET. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.17.
- PERMANENT SODDING. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.12.
- TEMPORARY CONSTRUCTION ENTRANCE. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.06.
- TEMPORARY SILT FENCE. INSTALL & MAINTAIN BMP PER NC STATE EROSION CONTROL MANUAL SECTION 6.62.

### EARTHWORK QUANTITIES

CUT/FILL BASED ON FINISHED GRADE SURFACE:  
 CUT = 2377 C.Y. (RAW #)  
 FILL = 1181 C.Y. (RAW #) (1476 C.Y. ADJUSTED)  
 NET = 901 C.Y. REQ'D FILL (INCLUDING 25% SHRINKAGE)  
 APPROXIMATE FILL REMOVED TO ACCOUNT FOR PADS AND PAVEMENTS:  
 HEAVY DUTY PAVEMENT = 525 C.Y.  
 STANDARD PAVEMENT = 170 C.Y.  
 BLDG. PAD = 334 C.Y.  
 SIDEWALK/AC PAD = 341 C.Y.  
 DUMPSTER/DELIVER PAD = 28 C.Y.  
 TOTAL VOLUME REMOVED = 1397 C.Y.  
 FINAL NET EXCESS = 2288 C.Y. EXCESS  
 NOTE: QUANTITIES LISTED ABOVE ARE APPROXIMATIONS BASED ON PAVEMENT THICKNESS LISTED IN CONSTRUCTION DETAILS AND ESTIMATED CUT DEPTHS FOR PADS.

### EROSION AND SEDIMENT CONTROL CONSTRUCTION SEQUENCE

- INSTALL CONSTRUCTION ENTRANCES WITH CRUSHED AGGREGATE BASE COURSE AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC WILL BE ENTERING AND EXITING THE SITE. CONSTRUCTION ENTRANCES USED FOR REMOVAL OF ONSITE MATERIALS SHALL EXTEND TO THE LOADING AREA, BUT IN NO CASE SHALL ANY CONSTRUCTION ENTRANCE BE LESS THAN 50 FEET IN LENGTH OR 6" IN DEPTH. WIDTH SHALL NOT BE LESS THAN 15 FEET.
- CONSTRUCT SEDIMENT TRAPS (IF ANY ARE INDICATED ON THE PLANS).
- GRADE IN THE PROPOSED DITCHES AS SHOWN ON THE GRADING PLAN, AND DIRECT DRAINAGE FROM DISTURBED AREAS TO THEM.
- INSTALL ROCK CHECK DAMS IN DITCHES AS THEY ARE CONSTRUCTED, AND INSTALL SILT FENCES AT INDICATED LOCATIONS. INSTALL CHECK DAMS AND INLET PROTECTION STORM SEWER STRUCTURES AS THEY ARE CONSTRUCTED.
- ALL DISTURBED AREAS SHOULD BE MULCHED, FERTILIZED, AND SEEDED WITHIN 14 DAYS MAXIMUM AND CERTAIN AREAS WITHIN 7 DAYS. (SEE STABILIZATION TABLE)
- WASH DOWN CONSTRUCTION ENTRANCE AS NECESSARY TO LIMIT MUD AND DEBRIS BEING CARRIED ONTO ADJACENT ROADS. DRAINAGE FROM CONSTRUCTION ENTRANCE SHALL BE GRADED TO DRAIN TO SILT FENCES, OR OTHER EROSION CONTROL MEASURES.
- FOLLOWING COMPLETION OF PAVEMENT, STORM SYSTEM, AND MULCHING AND SEEDING ACTIVITIES, FLUSH OR CLEAN ALL SEDIMENT FROM STORM PIPE SYSTEM.
- REMOVE SEDIMENT FROM DITCHES, AND REGRADE TO DEPTH AND SIZE SHOWN ON THE GRADING PLAN. SPREAD AND GRADE COLLECTED MATERIALS, AND SEED.
- WHEN CONSTRUCTION IS COMPLETE AND UPON APPROVAL OF THE LOCAL GOVERNING AGENCY, REMOVE SILT FENCES, CHECK DAMS, AND GRAVEL BAG FILTERS. SPREAD AND GRADE COLLECTED MATERIALS, AND SEED. SPREAD STRAW AND SEED.
- UPON APPROVAL FROM CATAWBA COUNTY EROSION CONTROL INSPECTOR, REMOVE SEDIMENT TRAPS, AND SEED DISTURBED AREA.

### EARTHWORK GENERAL NOTES

- THE SITE TOPOGRAPHY AND OTHER TOPOGRAPHIC DATA SHOWN ON THE PLANS OR INCLUDED IN THE SPECIFICATIONS ARE FOR THE INFORMATION OF THE CONTRACTOR. THE CONTRACTOR SHALL MAKE SUCH ADDITIONAL INVESTIGATIONS AS REQUIRED TO ACQUAINT HIMSELF ADEQUATELY WITH THE SITE, INCLUDING SUBSURFACE SOIL CONDITIONS, FOR PREPARATION OF HIS BID, AND FOR THE SUCCESSFUL EXECUTION OF THE WORK.
- UNLESS INDICATED OTHERWISE ON THE PLANS, ALL PROPOSED CONTOURS AND ALL PROPOSED SPOT ELEVATIONS SHOWN ARE FINISHED GRADE.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE PROTECTION OF HIS WORK. SUCH GRADING AS IS REQUIRED FOR THIS PURPOSE SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE OWNER MAY DIRECT THE CONTRACTOR TO PERFORM SUCH GRADING AND DRAINAGE AS IS NECESSARY TO PREVENT SURFACE RUNOFF FROM DAMAGING THE WORK.
- THE CONTRACTOR SHALL BE REQUIRED TO INSTALL SILT FENCES, CHECK DAMS, AND OTHER EROSION & SEDIMENT CONTROL MEASURES TO PREVENT LOOSE DIRT AND SEDIMENT FROM WASHING ONTO STREETS AND ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES UNTIL FINAL INSPECTION BY THE LOCAL GOVERNING AGENCY.
- ALL EARTH FILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY, PLUS OR MINUS 2% OF OPTIMUM MOISTURE (ASTM-D6798), EXCEPT FOR EARTH FILLS UNDER ROADS WHICH ARE TO COMPLY WITH THE PAVING SPECIFICATIONS.
- ALL EARTH FILL SHALL BE PLACED IN UNIFORM LAYERS OR LIFTS NOT EXCEEDING 6" IN COMPACTED THICKNESS, UNLESS INDICATED OTHERWISE ON THE PLANS.
- ALL EARTH FILL SHALL BE PLACED IN ACCORDANCE WITH NCDOT 2008 STANDARDS. ALL EARTH FILL UNDER BUILDINGS SHALL ALSO MEET THE REQUIREMENTS OF THE ARCHITECT'S PLANS AND SPECIFICATIONS.
- IF A GEOTECHNICAL REPORT HAS BEEN PREPARED FOR THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE SITE PREPARATION RECOMMENDATIONS SPECIFIED WITHIN THIS DOCUMENT, UNLESS MORE STRINGENT REQUIREMENTS ARE GIVEN ON THE PLANS OR WITHIN THE PROJECT SPECIFICATIONS.

NEW RETAIL STORE  
 PREPARED FOR THE BROADWAY GROUP LLC  
 DANA ROAD (S.R. 1525)  
 DANA, HENDERSON COUNTY, NC

REVISIONS:  
 3/6/13 REV PER TECH REVIEW

DRAWN BY: B. BAILEY  
 FIELD DATE:  
 OFFICE DATE: 03-04-2013  
 CHECKED BY: K. MILLS  
 FILE NAME: DANA NC BASE

JOB NO.: P13-020  
 SCALE: AS NOTED  
 SHT. NO. C3 OF 6

S88°51'21"E 200.00'  
 PROPOSED SEPTIC DRAIN FIELD  
 (3500 SQ. FT.)  
 DO NOT DISTURB

LOT 2  
 1.37 ACRES  
 NEW RETAIL STORE  
 70' X 130'  
 (9100 SF)  
 F.F.E.: 2239.50

9599 - 22 - 7268  
 ROLLING RIDGE INC.  
 DB 873, PG 719

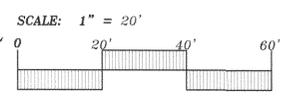
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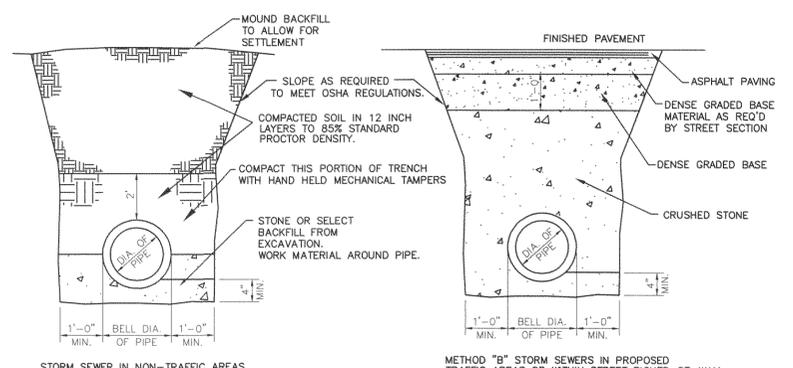
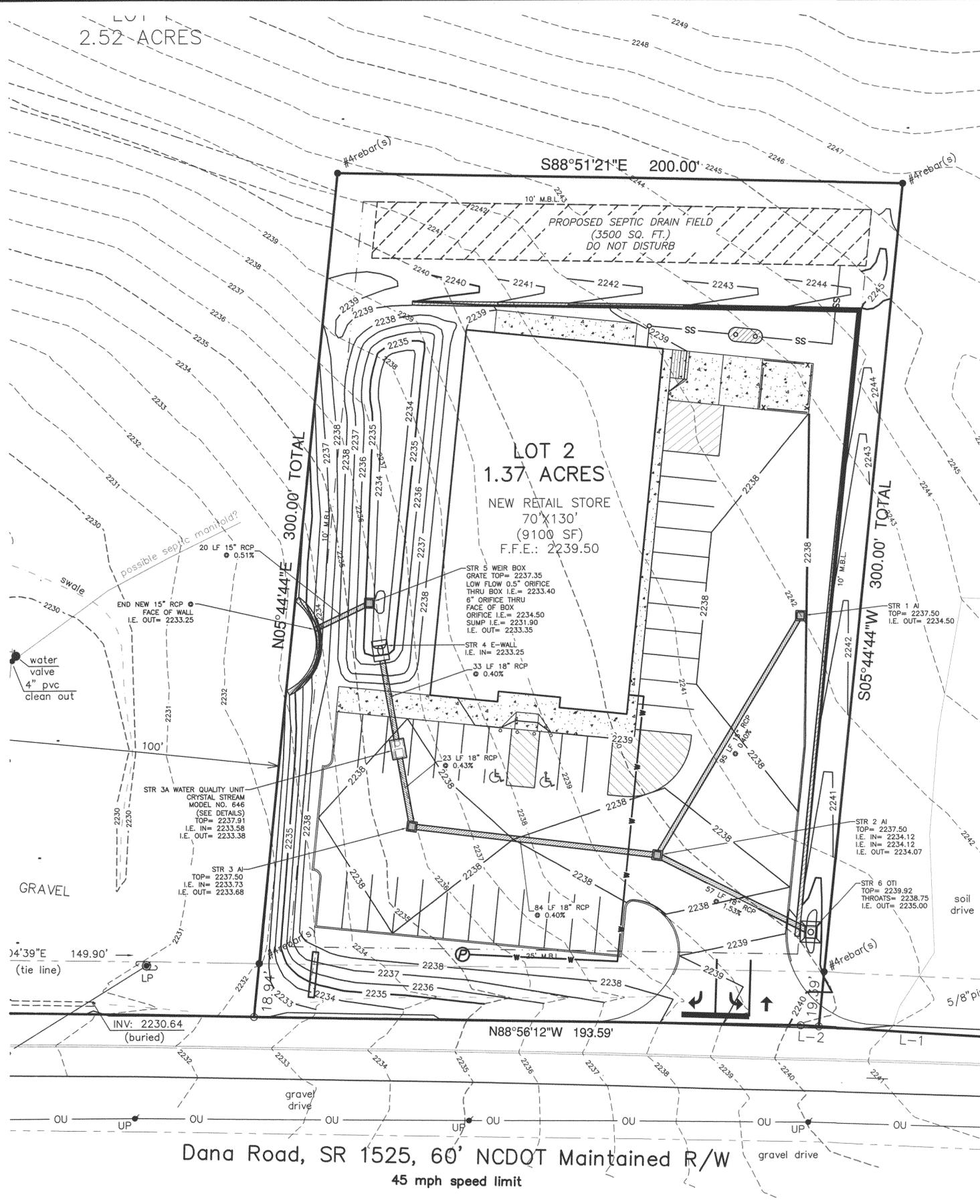
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Dana Road, SR 1525, 60' NCDOT Maintained R/W  
 45 mph speed limit

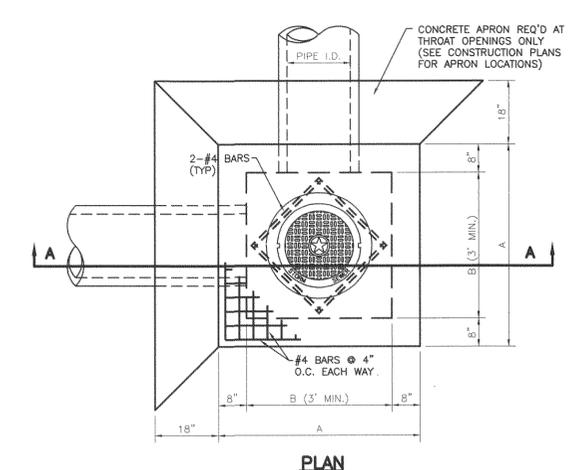


GRADING PLAN & EROSION CONTROL  
 SHEET 1 OF 1



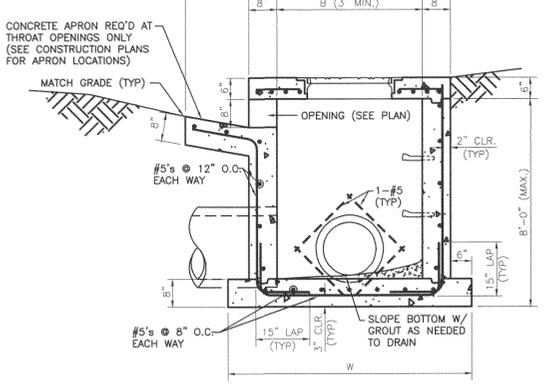


1 **STORM SEWER PIPE BEDDING**  
C4 NOT TO SCALE



PLAN

INLET DIMENSIONS			
PIPE I.D.	A	B	W
12"	4'-4"	3'-0"	5'-4"
15"	4'-4"	3'-0"	5'-4"
18"	4'-4"	3'-0"	5'-4"
21"	4'-8"	3'-2"	5'-6"
24"	4'-9"	3'-5"	5'-9"
30"	5'-4"	4'-0"	6'-4"
36"	5'-10"	4'-6"	6'-10"



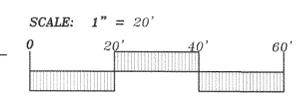
SECTION "A"-A"

2 **OPEN THROAT INLET OR JUNCTION BOX**  
C4 NOT TO SCALE

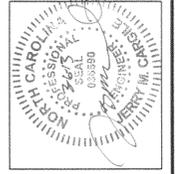
- NOTES
- ALL CONCRETE SHALL BE CLASS "A" AND SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
  - REINFORCING SHALL BE INTERMEDIATE GRADE (GRADE 60) DEFORMED BARS AND SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR BILLET STEEL CONCRETE REINFORCEMENT BARS, ASTM A-63 AND DEFORMATIONS CONFORMING TO ASTM A-305.
  - STEPS ARE REQUIRED ON ALL INLET BOXES WHEN DIMENSION FROM BOTTOM SLAB FLOW LINE TO TOP OF TOP SLAB IS GREATER THAN 4'-0".
  - WHEN BRICK CONSTRUCTION IS USED, WALLS SHALL BE 8" BRICK WHEN H < 5', USE 12" BRICK WHEN H > 5', WITH 1/2" THICK MORTAR ON BOTH SIDES.



**STORM SEWER PLAN**  
SHEET 1 OF 1



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**ASITE**  
INCORPORATED  
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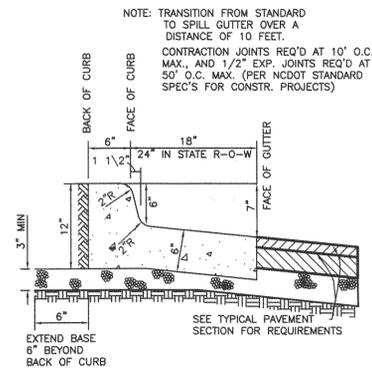


**NEW RETAIL STORE**  
**PREPARED FOR THE BROADWAY GROUP LLC**  
DANA ROAD (SR. 1525)  
DANA, HENDERSON COUNTY, NC

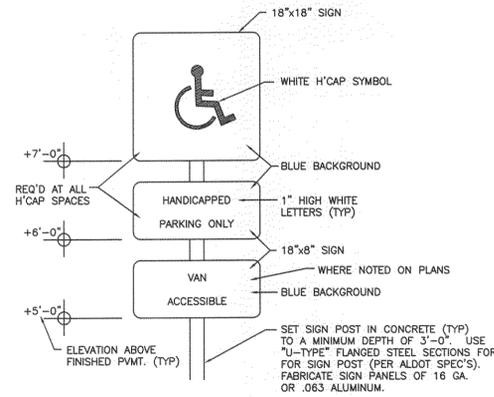
REVISIONS:  
3/6/13 REV PER TECH REVIEW

DRAWN BY: [blank]  
FIELD DATE: [blank]  
OFFICE DATE: 03-04-2013  
CHECKED BY: K.MILLS  
FILE NAME: DANA, NC BASE

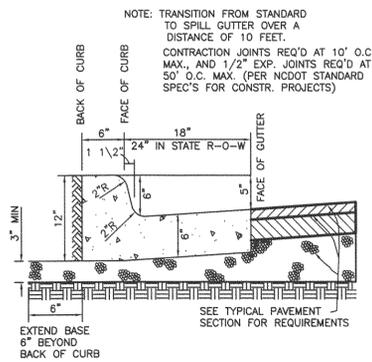
JOB NO.: P13-020  
SCALE: AS NOTED  
SHT. NO. **C4** OF 6



**1**  
C5  
**SPILL CURB & GUTTER**  
NOT TO SCALE



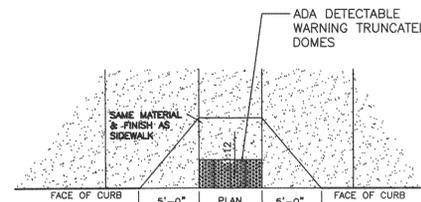
**5**  
C5  
**H'CAP SIGN DETAIL VAN ACCESSIBLE**  
NOT TO SCALE



**2**  
C5  
**STANDARD CURB & GUTTER**  
NOT TO SCALE

- 1 168 LBS./S.Y. (1-1/2") BITUMINOUS CONCRETE SURFACE COURSE, REF. 610, SF-9.5A, NCDOT 2006 OF SPECIFICATIONS.
- 2 168 LBS./S.Y. (1-1/2") BITUMINOUS CONCRETE SURFACE COURSE, REF. 610, I-19.0B, NCDOT 2006 OF SPECIFICATIONS.
- 3 0.04 - 0.08 GAL./S.Y. TACK COAT AS REQ'D BY SPECS. ALL MATERIALS ARE TO BE IN ACCORDANCE WITH SECTION 605 OF THE NCDOT 2006 SPECIFICATIONS.
- 4 8" LAYER OF CRUSHED AGGREGATE BASE COURSE PLANT MIXED SHALL BE PLACED IN ACCORDANCE WITH SECTION 520, NCDOT 2006. ALL MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 1010. 100% COMPACTION REQ'D.

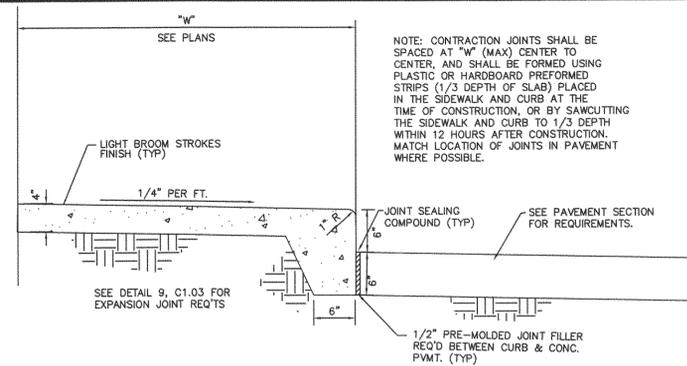
**6**  
C5  
**STANDARD PAVEMENT SECTION**  
NOT TO SCALE



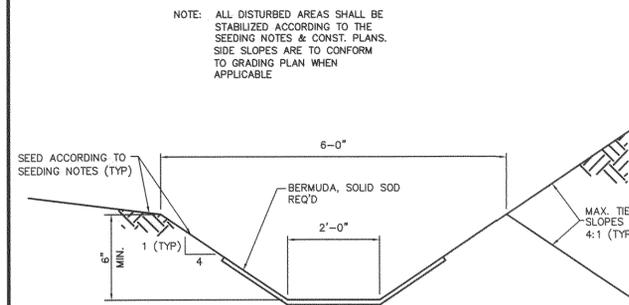
**3**  
C5  
**SIDEWALK RAMP "B"**  
NOT TO SCALE

- 1 224 LBS./S.Y. (2") BITUMINOUS CONCRETE SURFACE COURSE, REF. 610, SF-9.5A, NCDOT 2006 OF SPECIFICATIONS.
- 2 224 LBS./S.Y. (2") BITUMINOUS CONCRETE SURFACE COURSE, REF. 610, I-19.0B, NCDOT 2006 OF SPECIFICATIONS.
- 3 0.04 - 0.08 GAL./S.Y. TACK COAT AS REQ'D BY SPECS. ALL MATERIALS ARE TO BE IN ACCORDANCE WITH SECTION 605 OF THE NCDOT 2006 SPECIFICATIONS.
- 4 8" LAYER OF CRUSHED AGGREGATE BASE COURSE PLANT MIXED SHALL BE PLACED IN ACCORDANCE WITH SECTION 520, NCDOT 2006. ALL MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 1010. 100% COMPACTION REQ'D.

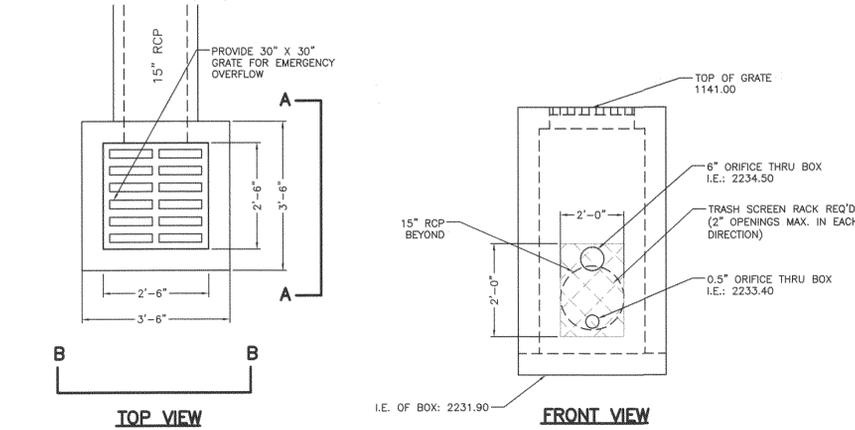
**7**  
C5  
**HEAVY DUTY PAVEMENT SECTION**  
NOT TO SCALE



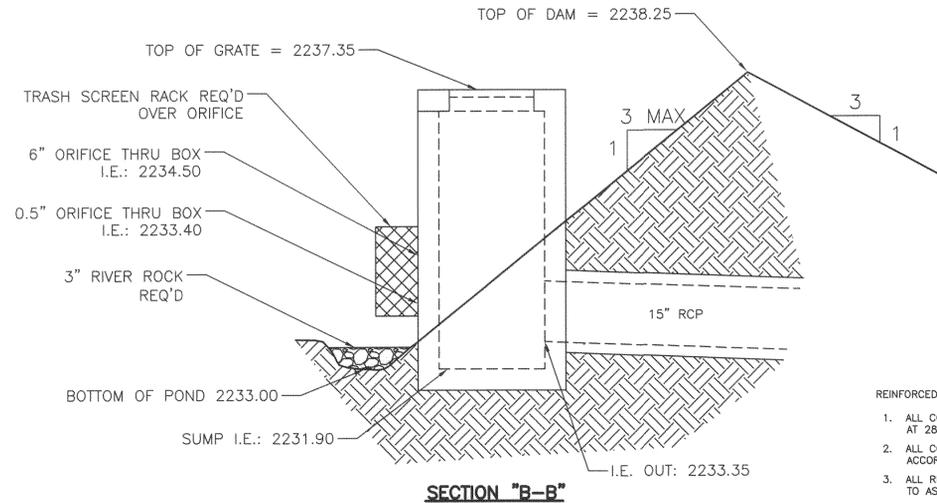
**4**  
C5  
**CONCRETE SIDEWALK & TURN-DOWN CURB DETAIL**  
NOT TO SCALE



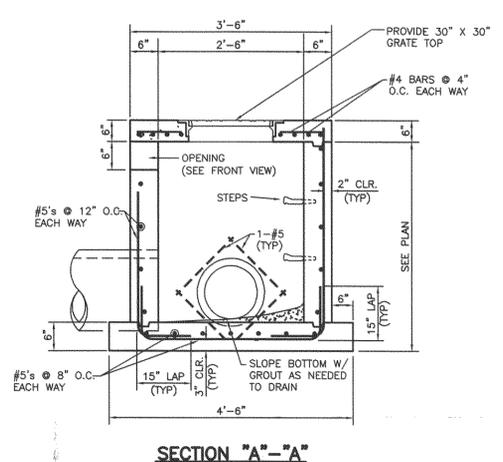
**8**  
C5  
**TRAPEZOIDAL SWALE**  
NOT TO SCALE



**9**  
C5  
**WEIR BOX DETAIL**  
NOT TO SCALE



**9**  
C5  
**WEIR BOX DETAIL**  
NOT TO SCALE



- REINFORCED CONCRETE NOTES**
1. ALL CONCRETE SHALL BE AIR ENTRAINED 3000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS, (CLASS "A"), UNLESS NOTED OTHERWISE ON THE PLANS.
  2. ALL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED WITH CONTINUOUS SHEAR KEYS IN ACCORDANCE WITH THE SHEAR KEY DETAIL ON THE PLANS.
  3. ALL REINFORCING STEEL SHALL BE GRADE 60 DEFORMED BARS, AND SHALL CONFORM TO ASTM A615, FOR BILLET STEEL.
  4. LAP SPLICES AND BAR EMBEDMENTS SHALL BE IN ACCORDANCE WITH THE TABLE ON THE PLANS.
  5. CONCRETE AIR CONTENT AND SLUMP SHALL BE IN ACCORDANCE WITH THE TABLE ON THE PLANS.
  6. ALL REINFORCING BARS SHALL BE SHOP BENT IN ACCORDANCE WITH THE TABLE ON THE PLANS. HEATING OF REINFORCING BARS TO BEND THEM, OR STRAIGHTEN THEM WILL NOT BE ALLOWED.
  7. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, SMOOTH FABRIC WITH AN ASTM YIELD STRENGTH OF 65,000 PSI.

- GENERAL NOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING APPLICATION, AND PAYING FOR ALL NECESSARY PERMITS.
  2. THE CONTRACTOR SHALL PREVENT THE DESTRUCTION OF ALL SURVEY MONUMENTS, BENCH MARKS, PROPERTY CORNERS AND ALL OTHER SURVEY POINTS. WHERE THE REMOVAL OF SUCH POINTS IS NECESSARY FOR THE ACCOMPLISHMENT OF THE WORK, THE CONTRACTOR IS TO INFORM THE ENGINEER IN WRITING, PRIOR TO THE DISTURBANCE OF ANY POINT, AND IS NOT TO DISTURB THE POINT UNTIL WRITTEN PERMISSION TO DO SO HAS BEEN GRANTED BY THE ENGINEER.
  3. ALL EXISTING TREES AND SHRUBS OUTSIDE OF THE LIMITS OF WORK SHALL BE PROTECTED DURING CONSTRUCTION, AND ARE NOT TO BE DAMAGED IN ANY MANNER.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING STREETS AND OTHER STRUCTURES WHICH IS CAUSED BY CONSTRUCTION ACTIVITIES.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF ALL BOULDERS, DEBRIS, EXCESS CONSTRUCTION MATERIALS, MATERIAL GENERATED FROM THE DEMOLITION OF EXISTING STRUCTURES AND FACILITIES, AND TRASH.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING EXISTING UTILITIES LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OR COMPLETENESS OF THE EXISTING UTILITIES SHOWN ON THE PLANS.
  7. UNLESS INDICATED OTHERWISE ON THE PLANS, ALL STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-78). COMPACTED GRANULAR MATERIAL FOR BEDDING SHALL BE REQUIRED WHERE UNSUITABLE GROUND WATER OR OTHER CONDITIONS PREVENT THE CONTRACTOR FROM OBTAINING A PROPERLY SHAPED TRENCH BOTTOM.
  8. ALL PAVEMENT CUTS SHALL BE REPAIRED WITH MATERIAL IN KIND TO THAT REMOVED.
  9. UNLESS INDICATED OTHERWISE ON THE PLANS, ALL RIP RAP SHALL BE CLASS I, IN ACCORDANCE WITH SECTION 814, ALDOT, 1995, AND SHALL BE GROUDED WHERE INDICATED ON THE PLANS.
  10. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL DEVICES AND SAFETY MEASURES FOR CONSTRUCTION WORK WITHIN PUBLIC RIGHT-OF-WAYS AND OTHER AREAS WHICH REQUIRE ITS' USE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE DOES NOT INCLUDE REVIEW OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

**10**  
C5  
**CONCRETE SLOPE PAVED ENDWALL**  
NOT TO SCALE

land planning  
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INCORPORATED

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phone 256.539.1221 • fax 256.539.1220



**NEW RETAIL STORE**  
**PREPARED FOR THE BROADWAY GROUP LLC**  
DANA ROAD (S.R. 1525)  
DANA, HENDERSON COUNTY, NC

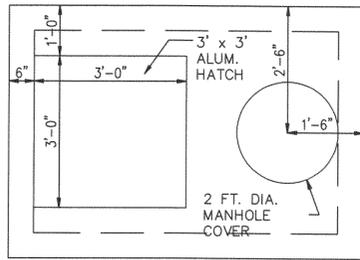
REVISIONS:

NO.	DATE	DESCRIPTION

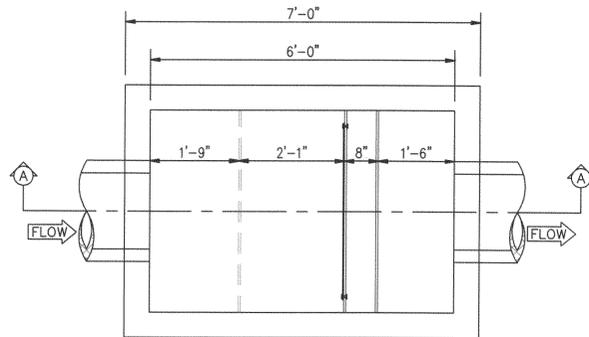
DRAWN BY: B. BAILEY  
FIELD DATE: 03-04-2013  
OFFICE DATE: 03-04-2013  
CHECKED BY: K. MILLS  
FILE NAME: DANA NC BASE

JOB NO.: P13-020  
SCALE: AS NOTED  
SHT. NO. **C5** OF **6**

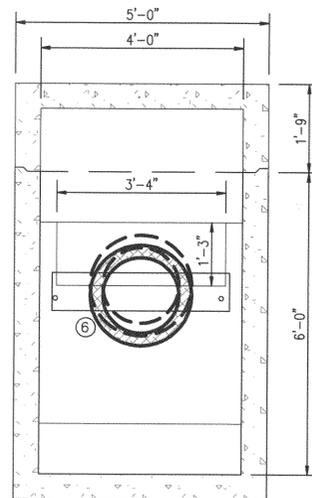
**CONSTRUCTION DETAILS**  
SHEET 1 OF 2



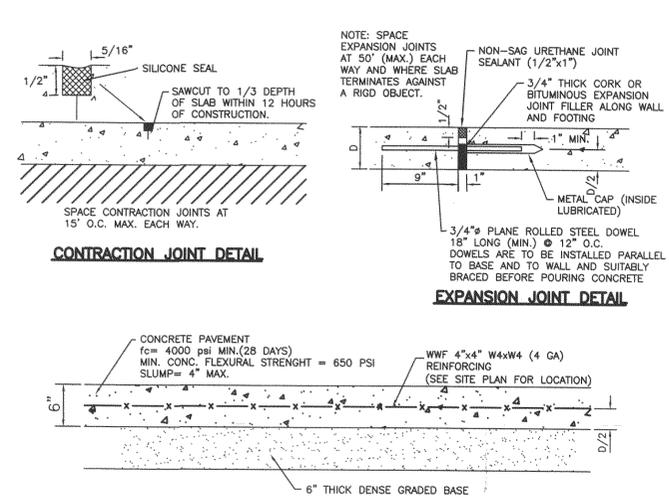
TOP VIEW (SLAB)



TOP VIEW (INTERNAL)



SECTION B

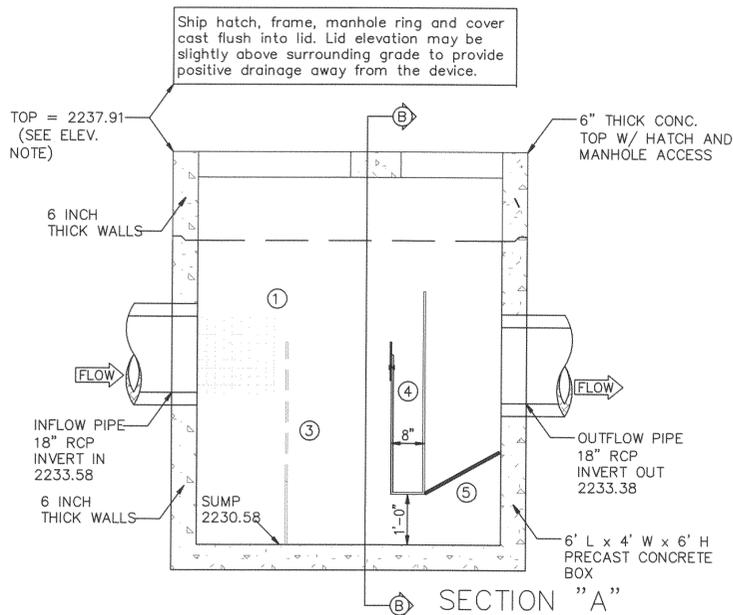


2 CONCRETE PAVEMENT DETAILS  
NOT TO SCALE

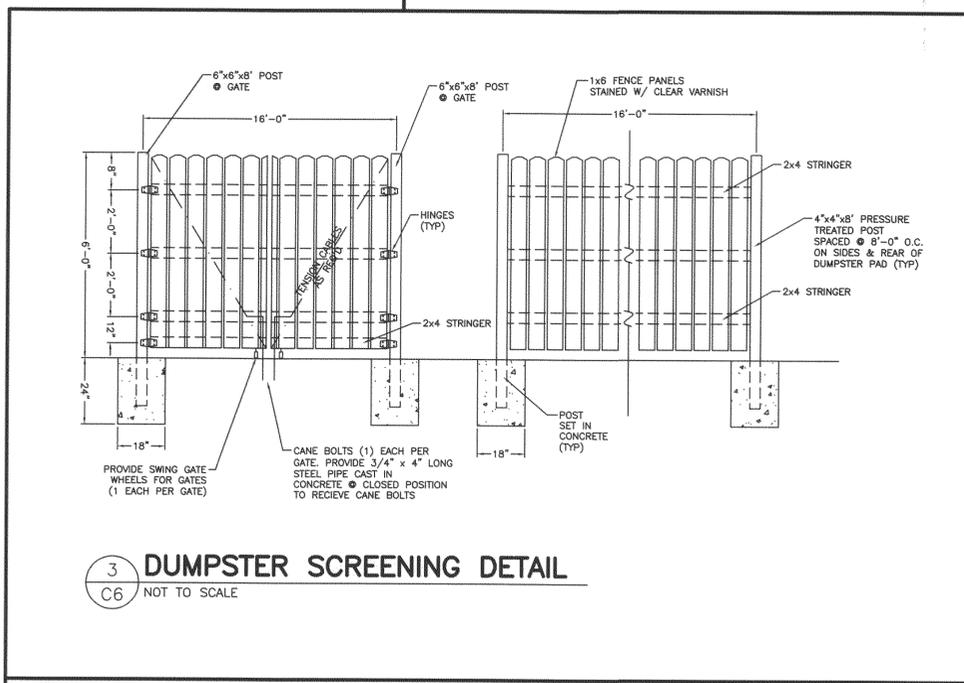
LEGEND

- ① EXPANDED ALUMINUM BASKET W/ 1/4" MESH LINING, 1'-6" H x 1'-6" L x 4'-0" W, UPFIT 3'-0" FROM SUMP
- ③ 2ND INTERNAL BAFFLE W/ 1" HOLES DRILLED AT 1 1/4" O.C., 4'-0" H.
- ④ SPILL PROTECTION RESERVOIR 4'-0" H. WITH A 0'-9" FRONT CUT.
- ⑤ 3/4" COCONUT FIBER FILTER IN ALUMINUM FRAME 1'-8" LONG.
- ⑥ 1/4" ALUMINUM PLATE, 9" H., 3'-6" WIDE.

- 1. ALL PIPES SHALL BE CONSTRUCTED TO BE FLUSH WITH THE INSIDE WALLS.
- 2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PIPING, INCLUDING PIPES BETWEEN VAULTS.
- 3. ALL VAULT LIFTING CONNECTIONS SHALL BE LOCATED ON THE OUTSIDE OF THE VAULT WALLS.
- 4. CONCRETE VAULT PRE-CASTER IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE CONCRETE VAULTS. WALL AND SLAB THICKNESSES SHALL BE ALTERED ACCORDINGLY.



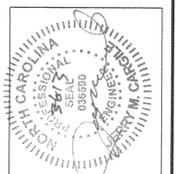
SECTION "A"



3 DUMPSTER SCREENING DETAIL  
NOT TO SCALE

CRYSTALSTREAM "CRYSTALCLEAN" WATER QUALITY VAULT MODEL "646"

1 C6 NOT TO SCALE



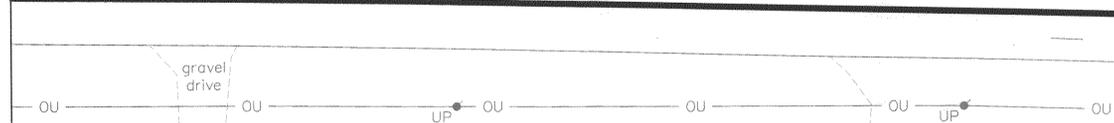
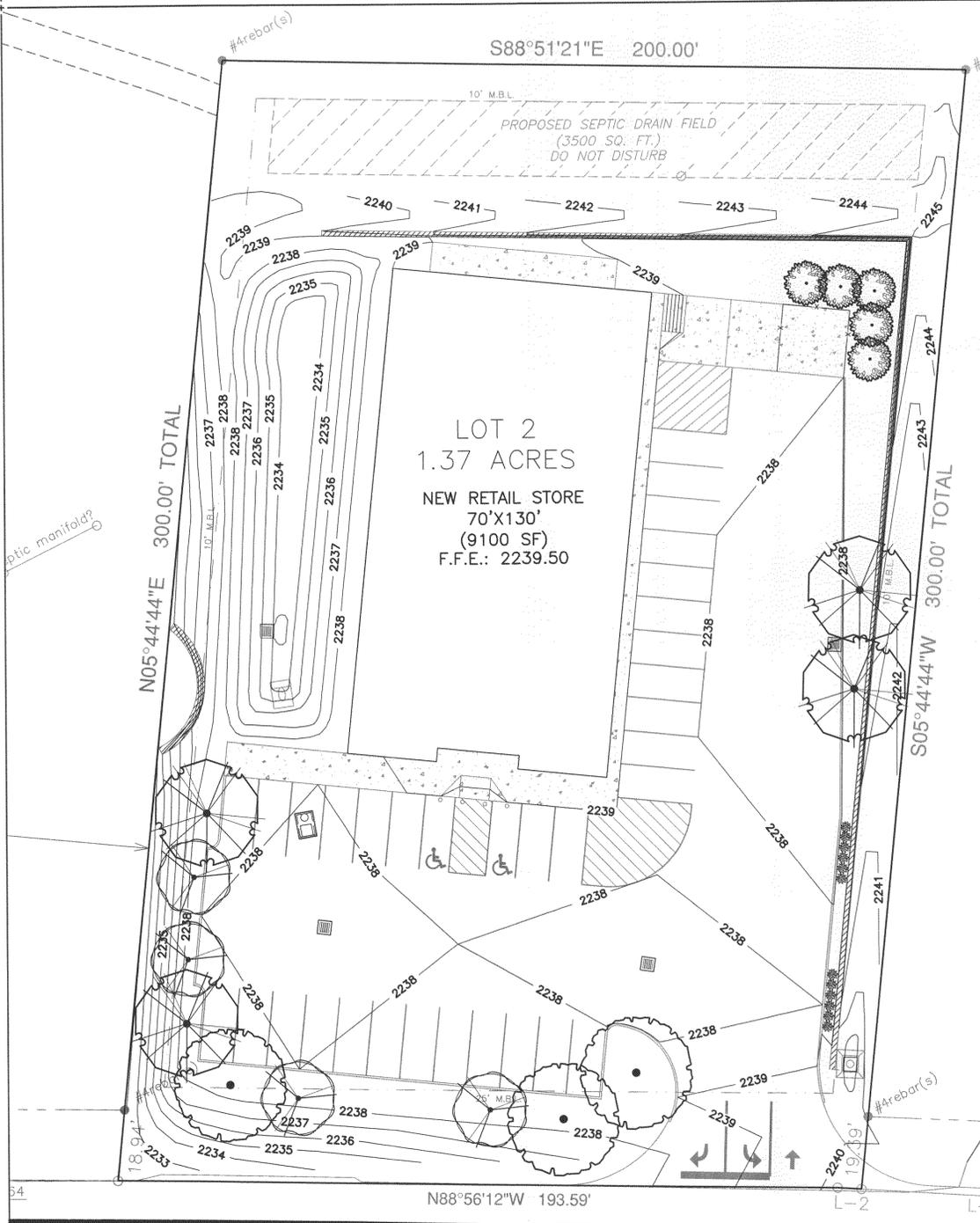
NEW RETAIL STORE  
PREPARED FOR THE BROADWAY GROUP LLC  
DANA ROAD (S.R. 1525)  
DANA, HENDERSON COUNTY, NC

DRAWN BY:	B. BAILEY
FIELD DATE:	03-08-2013
OFFICE DATE:	03-04-2013
DATE:	03-04-2013
FILE NAME:	DANA, NC BASE

JOB NO.: P13-020  
SCALE: AS NOTED  
SHT. NO. C6 OF 6







Dana Road, SR 1525, 60' NCDOT  
45 mph speed limit



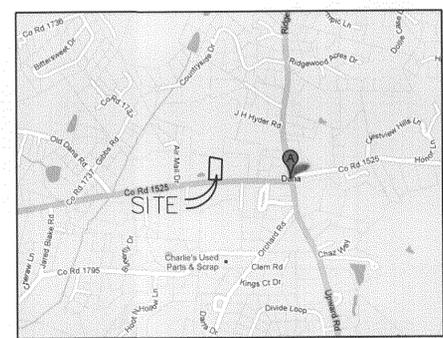
NOTE: ALL UTILITY LOCATIONS HAVE BEEN PROVIDED BY THE RESPECTIVE UTILITY DEPARTMENTS OR COMPANIES. CONTRACTORS ARE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. CALL UTILITY COMPANY OR CITY DEPARTMENTS FOR GROUND LOCATIONS BEFORE DIGGING.

**LANDSCAPE REQUIREMENTS**

**PARKING LOT LANDSCAPE STANDARDS:**  
 1 TREE PER 5 PARKING SPACES (33 SPACES)  
 TREES REQUIRED: 6, 6(7)  
 TREES PROVIDED: 7

2 TREES OR 6 SHRUBS PER 100 LF PARKING WITHIN 20' OF PROPERTY LINES (254 LF)  
 TREES REQUIRED: 6  
 TREES PROVIDED: 4  
 SHRUBS PROVIDED: 12 (SUBSTITUTE FOR 2 TREES)

**SCREEN STANDARDS:**  
 CLASS ONE SCREEN  
 5 SHRUBS PROVIDED AT 8' APART

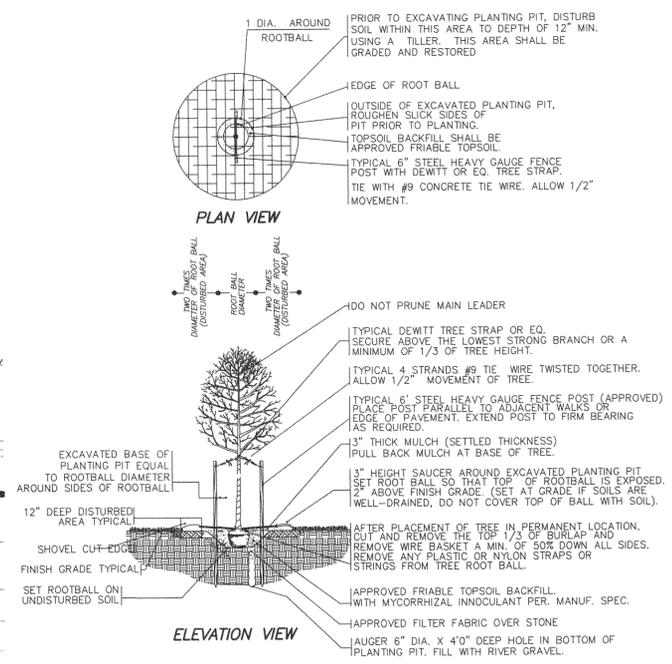


VICINITY MAP  
(NOT TO SCALE)

NOTE: THE OWNER, LESSEE, OR HIS AGENT SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, AND PROTECTING ALL LANDSCAPING IN A HEALTHY AND GROWING CONDITION, AND FOR KEEPING IT FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIALS SHALL BE REPLACED WITHIN ONE YEAR AFTER NOTIFICATION OR DURING THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

NOTE: SOD SHALL BE FESTUCA ARUNDINACEA SCHREB (FESCUE, TALL) THE SOD SHALL BE PLACED ON THE PREPARED SURFACE WITH THE EDGES IN CLOSE CONTACT, CRACKS BETWEEN BLOCKS OF SOD SHALL BE CLOSED WITH SMALL PIECES OF SOD, AND ACCEPTABLE LOAMY TOP SOIL SHALL BE USED TO FILL JOINTS. THE ENTIRE SODDED AREA SHALL THEN BE TAMPED IN PLACE IN A SATISFACTORY MANNER AND WATERED AS NECESSARY.

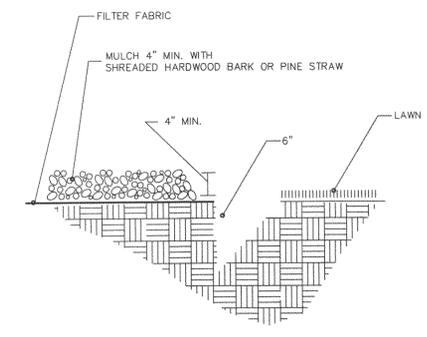
\*\*\*SOD ALL DISTURBED AREAS WITHIN THE PROPERTY LIMITS.\*\*\*



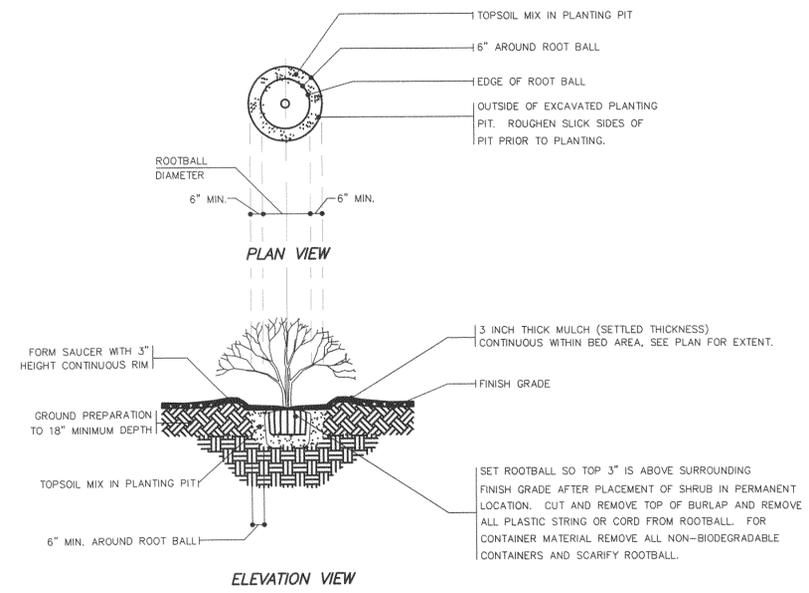
2 TREE PLANTING  
(L1) NOT TO SCALE

LANDSCAPE NOTES

- Contractor is responsible for the location of underground utilities on the site. Repair damaged utilities to owner's satisfaction at no additional cost.
- Verify quantities on plans before pricing work and provide plant material in sizes and varieties shown on the drawings and plant list.
- All plant material shall be guaranteed one full year, free replacement on labor & material. Separate agreement with installer shall be provided, to include contact name/ph. numbers
- Sod all areas according to landscape plan and seed all others. See note below.
- Landscape architect may or may not at his/her discretion accept substitutions.
- Provide freshly dug trees and shrubs. Do not use naturally collected materials.
- Plant material stored on the site more than 8 hours prior to planting shall be heeled in with mulch and kept moist.
- Install all plant materials in accordance with all local codes and ordinances.
- Stake plant locations for approval by landscape architect before installation. Adjust stake locations as directed.
- All plants shall meet specifications. Rootballs shall meet or exceed size standards set forth in ANSI 260.1, "American Standard for Nursery Stock". Main leaders of all trees shall remain intact.
- Mulch plant pits and planting beds with pine straw or shredded wood chips to a depth of 3 inches.
- Prepare all topsoil to be used in all planting areas in the following proportions:  
 4 parts top soil  
 2 parts decomposed organic matter  
 1 part approved soil amendment  
 1 part mycorrhizae fungi per manufacturer spec's
- Remove from site any plant material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified plant material.
- When landscape work is complete, landscape architect will, upon request make an inspection to determine acceptability.
- Maintain all plant material until the job is accepted in full by the landscape architect unless otherwise specified.
- Locate plant material prior to submitting bid / or qualify bid with recommended plant substitutions. Submission of bid shall constitute contractor's acceptance of plant availability.
- All trees will be mulched with pine straw or shredded wood chips, and be staked as shown on drawings. Stakes and guy wire to be removed by and remain the property of the contractor.



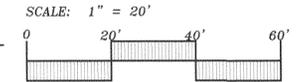
1 SHOVEL-CUT EDGE  
(L1) NOT TO SCALE



3 SHRUB PLANTING  
(L1) NOT TO SCALE



LANDSCAPE PLAN + DETAILS  
SHEET 1 OF 1



NEW RETAIL STORE  
 PREPARED FOR THE BROADWAY GROUP LLC  
 DANA ROAD (SR 1525)  
 DANA, HENDERSON COUNTY, NC

DRAWN BY:	CRC
FIELD DATE:	
OFFICE DATE:	3.4.13
CHECKED BY:	
FILE NAME:	13-020_LP

JOB NO.: P13-020  
 SCALE: AS NOTED  
 SHT. NO.: **L1** of **1**